



**TAKE NOTICE THAT A REGULAR MEETING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF PHARR, TEXAS
WILL BE HELD AT CITY HALL, COMMISSIONERS' ROOM,
118 S. CAGE BLVD., 2ND FLOOR, PHARR, TEXAS
COMMENCING AT 4:00 PM ON
MONDAY, MARCH 24, 2025**

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law. All persons desiring to address the governing body must register with the presiding city clerk prior to the scheduled meeting.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes of February 24, 2025 - Regular Called Meeting

D. PUBLIC HEARING: *(Ordinance No. O-2019-31). A registered speaker during the public hearing may not exceed 1.5 minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the presiding clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.*

1) Rio Delta Engineering, representing Aguirre Family Limited Partnership LP., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Heavy Commercial District (H-C) to Limited Industrial District (L-I). The property is legally described as being 2.13 acres, more or less, out of Lot 1, Blackbird Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1908 West Sharm Drive. **COZ#250203**

2) Oscar Garza, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Single-Family Residential District (R-1) to General Business District (C). The property is legally described as being 0.98 acres, more or less, out of Lot 180, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 324 South Veterans Boulevard. **COZ#250204**

E. PLATS:

1) SAMES, representing Jennifer Van Alstyne, Managing Member for McAllen Radiator Service, Inc., is requesting preliminary plat approval of the proposed Whitechapel Park Subdivision. The property is legally described as being a 13.17 acre tract of land out of Lot 186, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 800 Block of West Sam Houston Avenue. **SUB#241234**

F. ANNOUNCEMENTS:

G. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Board may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Board may convene in a closed, non-public meeting to discuss any matters related to **real property and deliberate the purchase, exchange, lease, or value of real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Board may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Board may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Board may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.087, the Board may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

H. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

I. ADJOURNMENT:

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Clerk's Office at 956-402-4100 Ext 1007 or FAX 956-475-3442 or Email cityclerksoffice@pharr-tx.gov for further information. Braille is not available.

I, the undersigned authority, do hereby certify that the above notice of said Regular Meeting of the Planning and Zoning Commission of the City of Pharr was posted on the bulletin board at City Hall and on the City's web page at www.pharr-tx.gov. This Notice was posted on the 20th day of March 2025 at 4:30 p.m. and will remain posted continuously for at least 72 hours preceding the scheduled time of said Meeting, in compliance with Chapter 551 of the Government Code, Vernon's Texas Codes, Annotated (Open Meetings Act).



WITNESS MY HAND AND SEAL, this 20th day of March 2025



ALESSANDRA GARCIA, CPM
ASSISTANT CITY CLERK

I certify that the attached notice and agenda of items to be considered by the Planning and Zoning Commission was removed from the bulletin board of City Hall on the _____ day of _____, 20____ by,

Name: _____

Title: _____

MINUTES
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. March 10, 2025 - 4:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, March 10, 2025, and following was the record of attendance.

MEMBERS PRESENT: Danny Wylie
Rafael Munguia
Charlie Ramirez
Ruben Luna
Romeo Cantu Jr.
Mercedes Guillen
Roberto Carrillo Jr.

MEMBERS ABSENT: Andy Castro
Javier Gutierrez

STAFF PRESENT: David Friedlein, Assistant City Manager
Ricardo Rodriguez III, City Attorney
Kimberly Mendoza, Director of Development Services
Joe Garza, Assistant Director of Development Services
Eddie Martinez, Planner III
Laura Fonseca, Planner II
Joanna Villarreal, Planner I
Tania Goo, Secretary

ITEM A. CALL TO ORDER

1) ROLL CALL AND POSSIBLE ACTION ON THE EXCUSING OF ANY ABSENT MEMBER

Danny Wylie, Chairman, called the meeting to order at 4:00 p.m. Roll call established a quorum.

Board Member Rafael Mungia **moved** to excuse the absent members. Board Member, Ruben Luna, seconded the motion and when put to a vote it carried unanimously.

ITEM B. PUBLIC TESTIMONY

There were no comments from the public.

ITEM C. APPROVAL OF MINUTES

1) MINUTES FOR FEBRUARY 24, 2025 - REGULAR MEETING

Danny Wylie, Chairman, introduced the item.

Board Member Romeo Cantu Jr. **moved** to approve. Board Member Ruben Luna second the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING:

1) JAVIER HINOJOSA, REPRESENTING SENDERO ESTATES, LLC., OWNER, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO TOWNHOUSE RESIDENTIAL DISTRICT (R-TH). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 22.94 ACRES, MORE OR LESS, OUT OF LOT 255, KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 1000 BLOCK OF EAST JAVELINA DRIVE. COZ#250201

Laura Fonseca, Planner II, introduced the item and stated the applicant requested a Change of Zone from Agricultural and/or Open Space District (A-O) to Townhouse Residential District (R-TH) in order to develop and construct townhomes. She went over the property's legal description and physical address and stated the property had frontage along East Javelina Drive, a 70 ft. minor collector street which runs east and west with a posted speed limit of 30 miles per hour or less as identified in the City of Pharr's Thoroughfare Plan. She further stated the property was legally described as being 22.94 acres, more or less, out of Lot 255, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

Laura Fonseca, Planner II, stated the property was zoned Agricultural and/or Open Space District upon annexation on January 21, 2025 and stated the properties to the south and west were rezoned from Agricultural and/or Open Space District (A-O) to General Business District (C) on February 15, 2016. Ms. Fonseca stated the property to the north was rezoned from Agricultural and/or Open Space District (A-O) to Planned Unit Development District (PUD) on March 17, 1992, and stated city limits lie to the east. She further stated there have been no other zoning requests within the vicinity of the subject property since that time. And the property was generally designated for Public/Semi Public use in the Land Use Plan.

Laura Fonseca, Planner II, stated the Residential Townhouse District (R-TH) was established to provide adequate space and site diversification for medium-density residential development that was single-family, on separate lots, and typically owner occupied. She stated Townhouse development was a low to medium-density use and before zoning to townhouse usage, the increased requirements for street, water and fire

protection, wastewater, drainage, and adequate open space must be met. She further stated Townhouse developments must be properly buffered from non-residential uses and protected from high volumes of non-single-family traffic, or from pollution and/or environmental hazards.

Laura Fonseca, Planner II, further stated twenty-two (22) letters were mailed out to the surrounding property owners within a two hundred (200) foot radius on February 21, 2025, and a legal notice was published in the Advance News Journal on February 19, 2025. Ms. Fonseca stated staff received no response to the letters or the legal notice.

Laura Fonseca, Planner II, stated Development Services was recommending approval of the rezoning request from Agricultural and/or Open Space District (A-O) to Townhouse Residential District (R-TH) as the property met area requirements and had adequate ingress and egress. She stated, if approved, the owner would need to comply with all City Ordinances and City Department requirements and stated the item would be placed on the City Commission agenda scheduled for March 17, 2025, at 4:00 p.m. and Lastly, Ms. Fonseca stated there was no representation in the audience.

Board member Rafael Mungia inquired about the density for townhomes per acre.

Joe Garza, Assistant Director of Development Services, stated the minimum lot area for townhomes was 2,500 square feet.

There being no further discussion, Board Member Rafael Mungia **moved** to approve. Board Member Charlie Ramirez seconded the motion and when put to vote, it carried unanimously.

2) MDG INVESTMENT GROUP DBA MONARCH HOMES, REPRESENTING JASSO EXPRESS RGV, LLC., OWNER, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM SINGLE-FAMILY RESIDENTIAL DISTRICT (R-1) TO RESIDENTIAL MULTI-FAMILY HIGH DENSITY DISTRICT (R-MFHD). THE PROPERTY IS LEGALLY DESCRIBED AS LOT 15, BEAMSLEY SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 1200 WEST KENNEDY STREET. COZ#250202

Laura Fonseca, Planner II, introduced the item and stated the applicant requested a Change of Zone from Single-Family Residential District (R-1) to Residential Multi-Family High Density District (R-MFHD) in order to develop and construct 13 apartment units. She went over the property's legal description and physical address and stated the property had frontage along West Kennedy Street, a 50-ft – 60-ft local street which runs east and west with a posted speed limit of 20 to 30 miles per hour as identified in the City of Pharr's Thoroughfare Plan. Ms. Fonseca further stated the property was legally described as Lot 15, Beamsley Subdivision, Pharr, Hidalgo County, Texas.

Laura Fonseca, Planner II, stated the properties to the east and west, were zoned Single-Family Residential District (R-1), when the city was annexed in 1989 and the property to the north was rezoned from Single-Family Residential District (R-1) to General Business District (C) on March 21, 2016. She stated the property to the south was rezoned from Residential Townhouse District (R-TH) to Medium Density Multi-Family Residential District (R-3) on June 20, 2016 and there were no other zoning requests within the general vicinity of the subject property since that time. Ms. Fonseca stated the property was generally designated for commercial use in the Land Use Plan.

Laura Fonseca, Planner II, stated the Residential Multi-Family High Density District (R-MFHD) was established to provide adequate space and site diversification for medium to high density areas and stated this may be a zone for transitional areas developed for single-family usage, due to the need for rehabilitation, or changes in the character of the neighborhood which were now deemed suitable for some multifamily development. Ms. Fonseca stated this zone allowed medium to high density developments, and should be located where additional requirements for streets, water and fire protection, wastewater, drainage and adequate open space shall be met. She further stated R-MFHD uses should not run traffic over long distances of single-family residential-sized streets or neighborhoods and should be located close to arterials or collectors capable of carrying additional traffic. Ms. Fonseca stated Multi-family developments were not a buffer between single-family and commercial uses and should be properly buffered from non-residential land uses and traffic, or from pollution and environmental hazards.

Laura Fonseca, Planner II, further stated thirteen (13) letters were mailed out to the surrounding property owners within a two hundred (200) foot radius on February 21, 2025, and a legal notice was published in the Advance News Journal on February 19, 2025. She stated staff received no response to the letters or the legal notice.

Laura Fonseca, Planner II, stated Development Services was recommending approval of the rezoning request from Single-Family Residential District (R-1) to Residential Multi-Family High Density District (R-MFHD) as the property met area requirements and had adequate ingress and egress. She further stated the proposed rezoning aligned well with the existing development trends and land use patterns in the general area and, if approved, the owner would need to comply with all City Ordinances and City Department requirements.

Laura Fonseca, Planner II, stated there was representation in the audience.

Marco Garcia, representing MDG Investment Group DBA Monarch Homes stated they were proposing 13 apartment units on the property and would comply with all City Ordinances and City Department requirements.

There being no further discussion, Board Member Charlie Ramirez **moved** to approve. Board Member Ruben Luna seconded the motion and when put to vote, it carried unanimously.

3) RED TAPE II, INC., D/B/A STILETTOS CABARET, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A SEXUALLY ORIENTED BUSINESS LICENSE. THE PROPERTY IS LEGALLY DESCRIBED AS ALL OF LOT 2, ALBRAD SUBDIVISION UNIT #3, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 1050 NORTH SUGAR ROAD. SOB#001254

Joanna Villarreal, Planner I, introduced the item and stated Red Tape II, Inc., d/b/a Stilettos Cabaret, had filed with the Planning and Zoning Commission a request for a Sexually Oriented Business License in a General Business District (C). She went over the property's legal description and physical address and stated the property was physically located at 1050 North Sugar Road. She stated the property was legally described as all of Lot 2, Albrad Subdivision Unit #3, Pharr, Hidalgo County, Texas.

Joanna Villarreal, Planner I, stated the property was zoned General Business District (C) and the surrounding area to the north, south, east and west were zoned General Business District (C). She stated the area was generally designated for commercial use in the Land Use Plan.

Joanna Villarreal, Planner I, further stated thirty-four (34) surrounding property owners were notified of the request by letter on February 26, 2025, and a legal notice was published in the Advance News Journal on February 26, 2025. She stated staff received one call for information and one objection letter.

Joanna Villarreal, Planner I, stated Development Services was recommending approval of the Sexually Oriented Business License in a General Business District (C) subject to the applicant and site being in compliance with all City Ordinances and City Department requirements. She stated the item would be placed on the City Commission agenda for March 17, 2025, at 4:00 p.m. and stated there was representation in the audience.

There being no further discussion, Board Member Rafael Mungia moved to approve. Board Member Charlie Ramirez seconded the motion and when put to vote, it carried unanimously.

4) RED TAPE II, INC., D/B/A STILETTOS CABARET, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CONDITIONAL USE PERMIT AND LATE HOURS PERMIT TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISE CONSUMPTION. THE PROPERTY IS LEGALLY DESCRIBED AS ALL OF LOT 2, ALBRAD SUBDIVISION UNIT #3, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 1050 NORTH SUGAR ROAD. CUP#120418

Joanna Villarreal, Planner I, introduced the item and stated Red Tape II, Inc., d/b/a Stilettos Cabaret, had filed with the Planning and Zoning Commission a request for a

Conditional Use Permit and Late Hours Permit to allow the sale of alcoholic beverages for on-premise consumption in a General Business District (C). She stated the property was zoned General Business District (C) and the surrounding area to the north, south, east and west was zoned General Business District (C). Ms. Villarreal stated the area was generally designated for commercial use in the Land Use Plan.

Joanna Villarreal, Planner I, further stated nine (9) surrounding property owners were notified of the request by letter on February 26, 2025, and a legal notice was published in the Advance News Journal on February 26, 2025. She stated staff received no response to the letters or the legal notice.

Joanna Villarreal, Planner I, stated Development Services was recommending approval of the Conditional Use Permit and Late Hours Permit to allow the sale of alcoholic beverages for on-premise consumption in a General Business District (C) subject to the applicant and site being in compliance with all City Ordinances and City Department requirements. She stated the item would be placed on the City Commission agenda scheduled for March 17, 2025, at 4:00 p.m. and stated there was representation in the audience.

There being no further discussion, Board Member Rafael Mungia moved to approve. Board Member Charlie Ramirez seconded the motion and when put to vote, it carried unanimously.

5) 7-ELEVEN INC., HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISE CONSUMPTION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING LOT 1, STRIPES PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED AT 3501 SOUTH CAGE BOULEVARD. CUP#250202

Joanna Villarreal, Planner I, introduced the item and stated 7-Eleven INC., had filed with the Planning and Zoning Commission a request for a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Heavy Commercial District (H-C).

Joanna Villarreal, Planner I, stated the property was zoned Heavy Commercial District (H-C) and the properties to the east were zoned Residential Multi-Family District (R-MF) and Agricultural and/or Open District (A-O). She further stated the properties to the north and south were zoned Agricultural and/or Open Space District (A-O) and the properties to the west were zoned General Business District (C) and Agricultural and/or Open Space District (A-O). She stated the area was generally designated for commercial in the Land Use Plan.

Joanna Villarreal, Planner I, further stated twelve (12) surrounding property owners were notified of the request by letter on February 21, 2025, and a legal notice was

published in the Advance News Journal on February 19, 2025. She stated staff received no response to the letters or the legal notice.

Joanna Villarreal, Planner I, stated Development Services was recommending approval of the Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Heavy Commercial District (H-C) subject to the applicant and site being in compliance with all City Ordinances and City Department requirements. She stated the item would be placed on the City Commission agenda for March 17, 2025, at 4:00 p.m. and stated there was no representation in the audience.

There being no further discussion, Board Member Romeo Cantu Jr. **moved** to approve. Board Member Mercedes Guillen seconded the motion and when put to vote, it carried unanimously.

ITEM E. PLATS:

- 1) WINDROSE LAND SURVEYING AND PLATTING, REPRESENTING MARCELLA B. ROCHA, ASSISTANT SECRETARY OF CIRCLE K STORES, INC., IS REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED CIRCLE-K #2709238 SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 1.987 ACRE TRACT OF LAND OUT OF THE JUAN JOSE HINOJOSA SURVEY AND BEING A PORTION OUT OF LOT 340, KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 8000 BLOCK OF SOUTH CAGE BOULEVARD. SUB#241236**

Eddie Martinez, Planner III, introduced the item and went over the property's legal description. He stated the property was located within the 8000 Block of South Cage Blvd and stated the property was zoned General Business District (C). He stated the adjacent zones were Single Family Residential District (R-1) to the north and south, General Business District (C) to the east and west. Mr. Martinez stated the property was designated for commercial use in the Land Use Plan.

Eddie Martinez, Planner III, stated Development Services recommended preliminary plat approval of the proposed Circle-K #2709238 Subdivision subject to the following conditions noted in the packet. He stated there was no representation in the audience.

There being no further discussion, Board Member Ruben Luna **moved** to approve the request for preliminary plat approval of the proposed Circle-K #2709238 Subdivision. Board Member Romeo Cantu Jr. seconded the motion and when put to a vote, it carried unanimously.

- 2) PABLO SOTO JR., P.E., REPRESENTING JOSE ANGEL TREVINO, OWNER, IS REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED T-JAM SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A**

**2.498 ACRE TRACT OF LAND, OUT OF LOT 167, KELLY-PHARR
SUBDIVISION, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED
WITHIN THE 700 BLOCK OF WEST INTERSTATE 2. SUB#220721**

Eddie Martinez, Planner III, introduced the item and went over the property's legal description. He stated the property was located within the 700 Blk. of W. Interstate 2 and stated the property was zoned Heavy Commercial District (H-C). He stated the adjacent zones were General Business District (C) and Heavy Commercial District (H-C) to the north, Heavy Commercial District (H-C) to the east, Agricultural and/or Open Space District (A-O) and General Business District (C) to the south and General Business District (C) to the west. Mr. Martinez stated the property was designated commercial use in the Land Use Plan.

Eddie Martinez, Planner III, stated Development Services recommended preliminary approval of the proposed T-Jam Subdivision subject to the following conditions noted in the packet. He stated there was representation in the audience.

There being no further discussion, Board Member, Rafael Mungia, moved to approve the request for preliminary plat approval of the proposed T-Jam Subdivision. Board Member Ruben Luna seconded the motion and when put to a vote, it carried unanimously.

ITEM F. ANNOUNCEMENTS:

Kimberly Mendoza, Director of Development Services, welcomed the newest board member of the Planning and Zoning Commission, Roberto Carrillo Jr.

Following the introduction, Mrs. Mendoza also welcomed the consultants who worked on updating the city's Comprehensive Plan. She further explained the Comprehensive Plan served as a master plan outlining the city's growth and development over the next ten years. She stated the consulting team included Fred Lopez from LOI Engineers, along with representatives from Freese and Nichols and TXP.

Fred Lopez introduced the consultants and provided an overview of the Comprehensive Plan, emphasizing its significance for the community. He highlighted key areas of focus, including transportation, economic development, and infrastructure.

Lastly, Mr. Lopez informed the board members about the ongoing progress of the plan.

ITEM G. CLOSED SESSION:

None

ITEM H. RECONVENE:

None

ITEM I. ADJOURMENT:

There being no further business, Board Member Ruben Luna **moved** to adjourn. Board Member Charlie Ramirez seconded the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 4:26 p.m.

PLANNING & ZONING COMMISSION

Danny Wylie, Chairman

ATTEST:

Andy Castro, Secretary

APPROVED: _____



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.1.

DATE SUBMITTED: March 20, 2025

MEETING DATE: March 24, 2025

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: Rio Delta Engineering, representing Aguirre Family Limited Partnership LP., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Heavy Commercial District (H-C) to Limited Industrial District (L-I). The property is legally described as being 2.13 acres, more or less, out of Lot 1, Blackbird Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1908 West Sharm Drive. **COZ#250203**

Classification: Public Hearing

(* If closed session, City Attorney must review and approve.)

Issue: Rio Delta Engineering, representing Aguirre Family Limited Partnership LP., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Heavy Commercial District (H-C) to Limited Industrial District (L-I) in order to develop and construct flex warehouses.

Fiscal Consideration:

Staff Recommendation: Development Services recommends approval of the rezoning request from Heavy Commercial District (H-C) to Limited Industrial District (L-I) as the property meets area requirements, complies with the Future Lane Use Plan, and has adequate ingress and egress. The proposed rezoning is consistent with the existing development trends and land use patterns in the general area. If approved, the owner must comply with all City Ordinances and City Department requirements.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 3/20/2025
Approved - 3/21/2025
Final Approval - 3/21/2025



MEMORANDUM

DATE: MONDAY, MARCH 24, 2025

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: Re-zoning Request: From Heavy Commercial District (H-C) to Limited Industrial District (L-I). The property is legally described as being 2.13 acres, more or less, out of Lot 1, Blackbird Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1908 West Sharm Drive. COZ#250203

Comprehensive zoning and rezoning regulations and ordinances should be adopted and designed to facilitate, as much as possible, the following items:

1. To lessen congestion;
2. Secure safety from fire, panic and other dangers;
3. To promote health and general welfare;
4. To provide adequate light and air;
5. To protect the overcrowding of land and abutting traffic ways;
6. Avoid undue concentration of population, and;
7. To facilitate the adequate provisions of transportation, water, sewage, schools, parks, and other public requirements as per Local Government Code, Sect. 211.004.

DESCRIPTION OF PROPERTY:

Rio Delta Engineering, representing Aguirre Family Limited Partnership LP., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Heavy Commercial District (H-C) to Limited Industrial District (L-I) in order to develop and construct flex warehouses.

The subject site is located on the north side of West Sharm Drive, approximately 350 ft. east of North Jackson Road and has a physical address of 1908 West Sharm Drive. The property is legally described as being 2.13 acres, more or less, out of Lot 1, Blackbird Subdivision, Pharr, Hidalgo County, Texas.

The property fronts West Sharm Drive, a 50-ft – 60-ft local street which runs east and west with a posted speed limit of 20 to 30 miles per hour as identified in the City of Pharr's Thoroughfare Plan.

The property, the properties to the east, west, and south were rezoned from Agricultural and/or Open Space District (A-O) to Heavy Commercial District (H-C) on June 20, 2000. The Pharr-McAllen Lateral Drainage Canal lies to the north of the property. There have been no other zoning requests within the general vicinity of the subject property since that time. The property is generally designated for commercial and industrial use in the Future Land Use Plan.

The Limited Industrial District is intended for industrial parks and larger, cleaner types of industries. The manufacturing uses should be conducted within a totally enclosed building. Any activities conducted outside should be screened and buffered, and no external effects such as excessive noise or odor should extend beyond the property lines. The sites for such uses are typically a minimum of two acres and average five to ten acres, with a significant amount of land dedicated to landscaping.

Thirteen (13) letters were mailed out to the surrounding property owners within a two hundred (200) foot radius on March 7, 2025, and a legal notice was published in the Advance News Journal on March 5, 2025. Staff received no response to the letters or the legal notice.

Development Services is recommending **approval** of the rezoning request from Heavy Commercial District (H-C) to Limited Industrial District (L-I) as the property meets area requirements, complies with the Future Land Use Plan, and has adequate ingress and egress. The proposed rezoning is consistent with the existing development trends and land use patterns in the general area. If approved, the owner must comply with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of April 7, 2025, at 4:00 p.m.

PLANNING COMMISSION OPTIONS:

1. Approve the rezoning request;
2. Table the item for:
 - a) consideration by the full board;
 - b) additional information;
 - c) additional time for applicant and adjacent property owners to meet;
3. Disapprove the request.



REQUEST FOR CHANGE OF ZONE & AMENDMENT TO LAND USE PLAN

**Rio Delta Engineering, representing
Aguirre Family Limited Partnership LP., owner**
APPLICANT

Heavy Commercial District (H-C)
CURRENT ZONE

1908 West Sharm Drive
ADDRESS

Limited Industrial District (L-I)
PROPOSED ZONE

	YES	NO
1 Does the property meet the minimum area requirements for the proposed zone?	X	
2 Does the property have adequate ingress and egress?	X	
3 Will the change of zone be compatible with surrounding properties? (Zoning and Land Use)	X	
4 Is the property located along a major thoroughfare?		X
5 Will the property have adequate parking for the proposed use?	X	
6 Will the property have adequate landscaping as per City Ordinance?	X	
7 Will the zone change increase the volume of traffic?		X
8 Will a buffer be required?		X
9 Is the proposed change in line with the Future Land Use Plan?	X	

STAFF RECOMMENDATIONS:

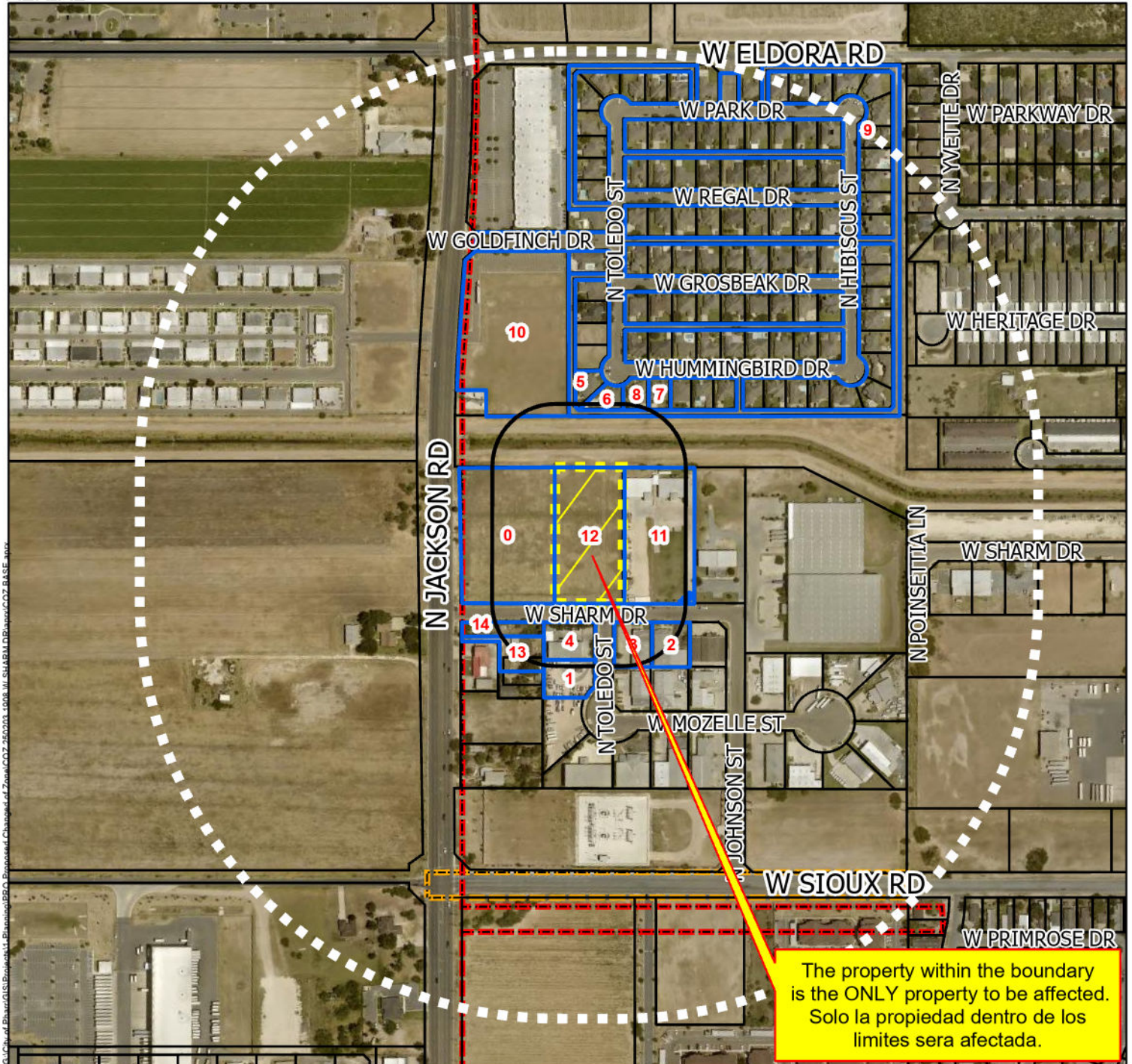
Approval

Development Services is recommending approval of the rezoning request from Heavy Commercial District (H-C) to Limited Industrial District (L-I) as the property meets area requirements, complies with the Future Land Use Plan, and has adequate ingress and egress. The proposed rezoning is consistent with the existing development trends and land use patterns in the general area. If approved, the owner must comply with all City Ordinances and City Department requirements.

Laura Fonseca, Planner II
PREPARED BY

March 7, 2025
DATE

AERIAL

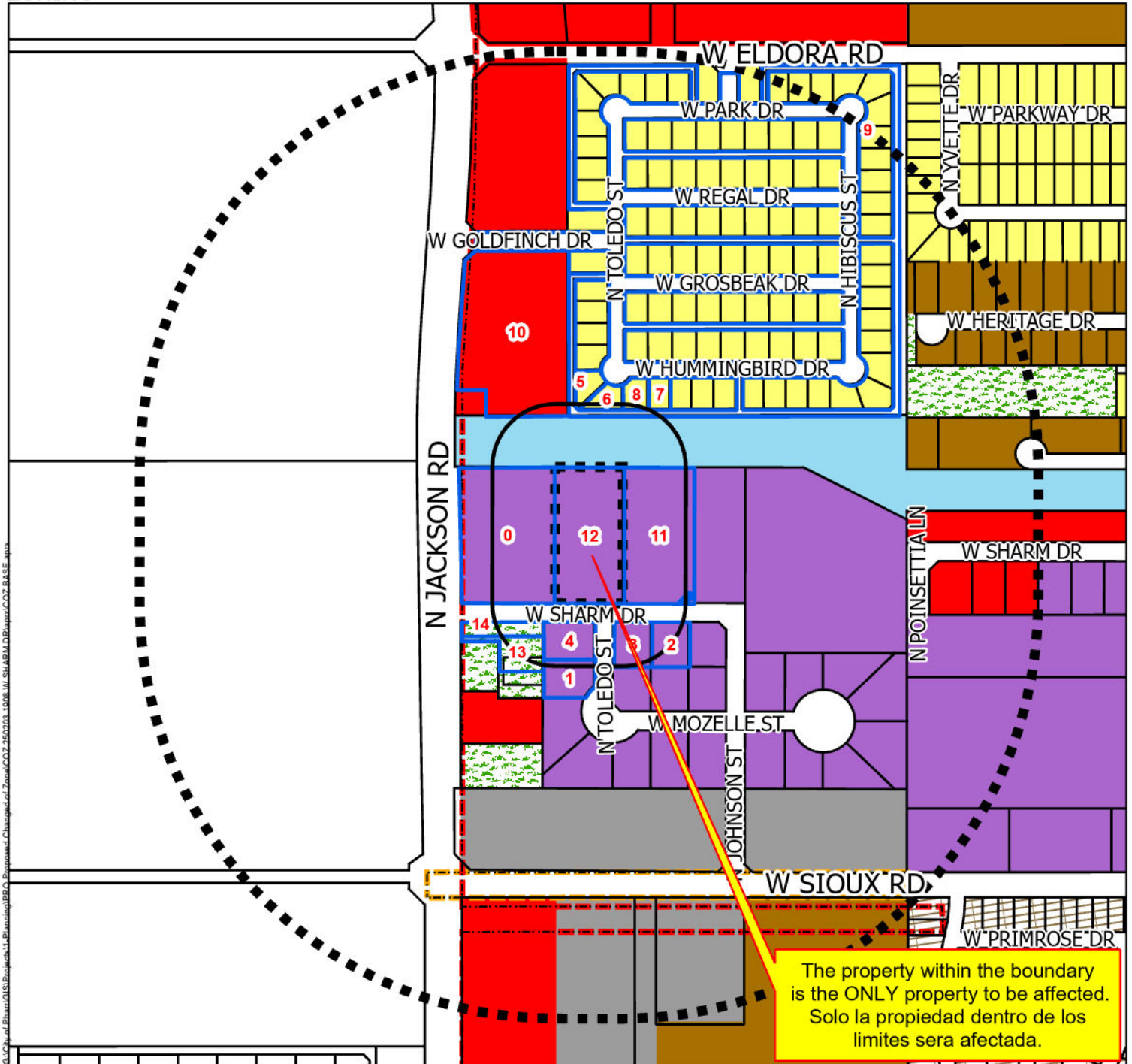


- Pharr City Limit
- Quarter Mile Radius
- 200ft_Buffer
- Subject Property

All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



ZONING



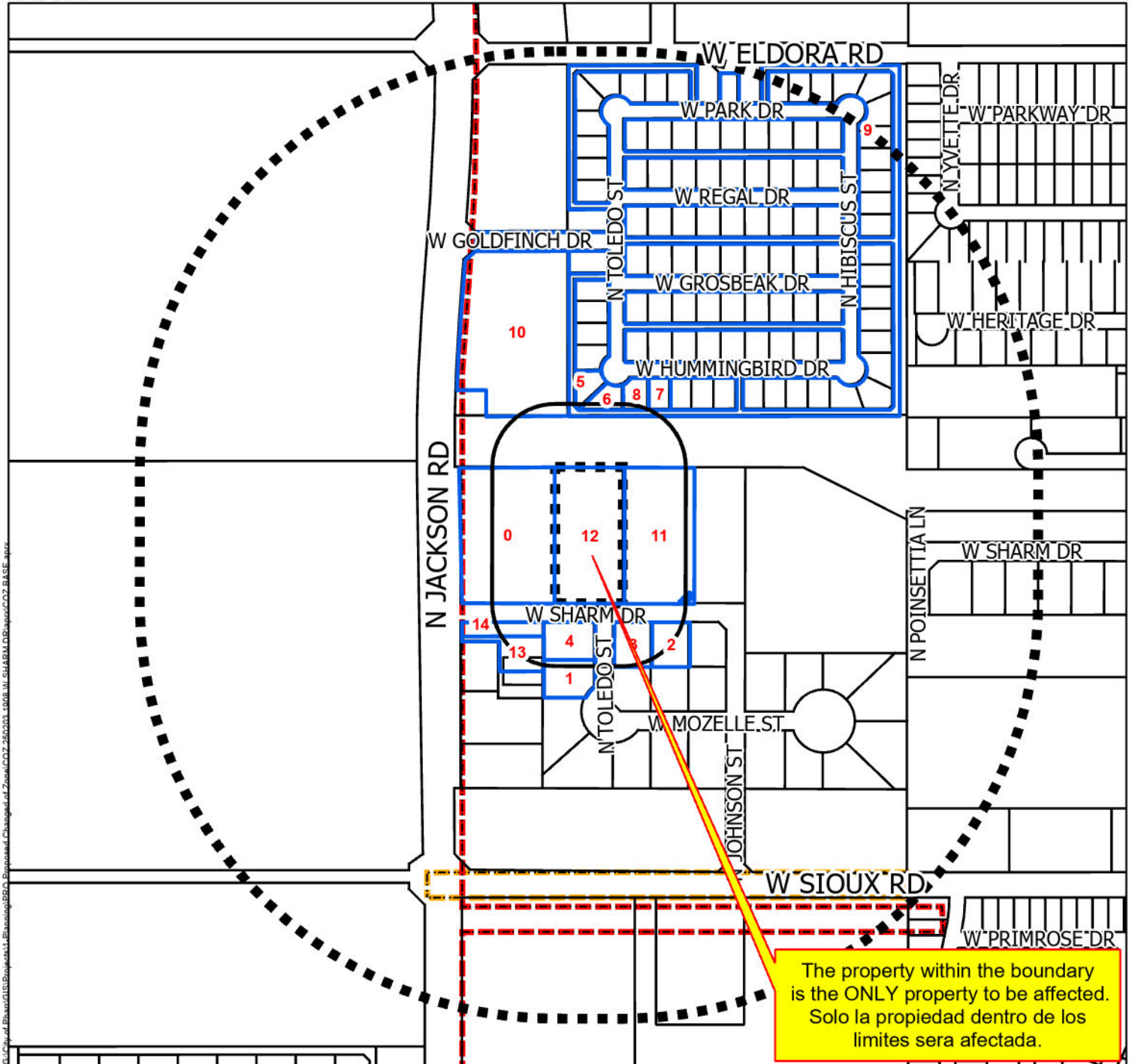
The property within the boundary
is the ONLY property to be affected.
Solo la propiedad dentro de los
limites sera afectada.

- | | | | |
|-------------------------|---------------------------------------|-------------------|--------------------------|
| Pharr City Limit | Single Family | Rail Road R.O.W | Limited Industrial |
| Quarter Mile Radius | Single Family Small Lot | Government Owned | Neighborhood Commercial |
| 200ft_Buffer | Residential Multi-Family | General Business | Office Professional |
| Subject Property | Residential Multi-Family High Density | Business District | PSJA ISD |
| Zoning | Mobile Home | Drainage Easement | Hidalgo ISD |
| ZONE | Townhouse | Heavy Commercial | Valley View ISD |
| Agricultural Open Space | HUD Code | Heavy Industrial | Planned Unit Development |

All Information displayed on this map is subject
to verification by field survey or by the agency
responsible for maintaining the information.
This map is intended for general information only.



RADIUS

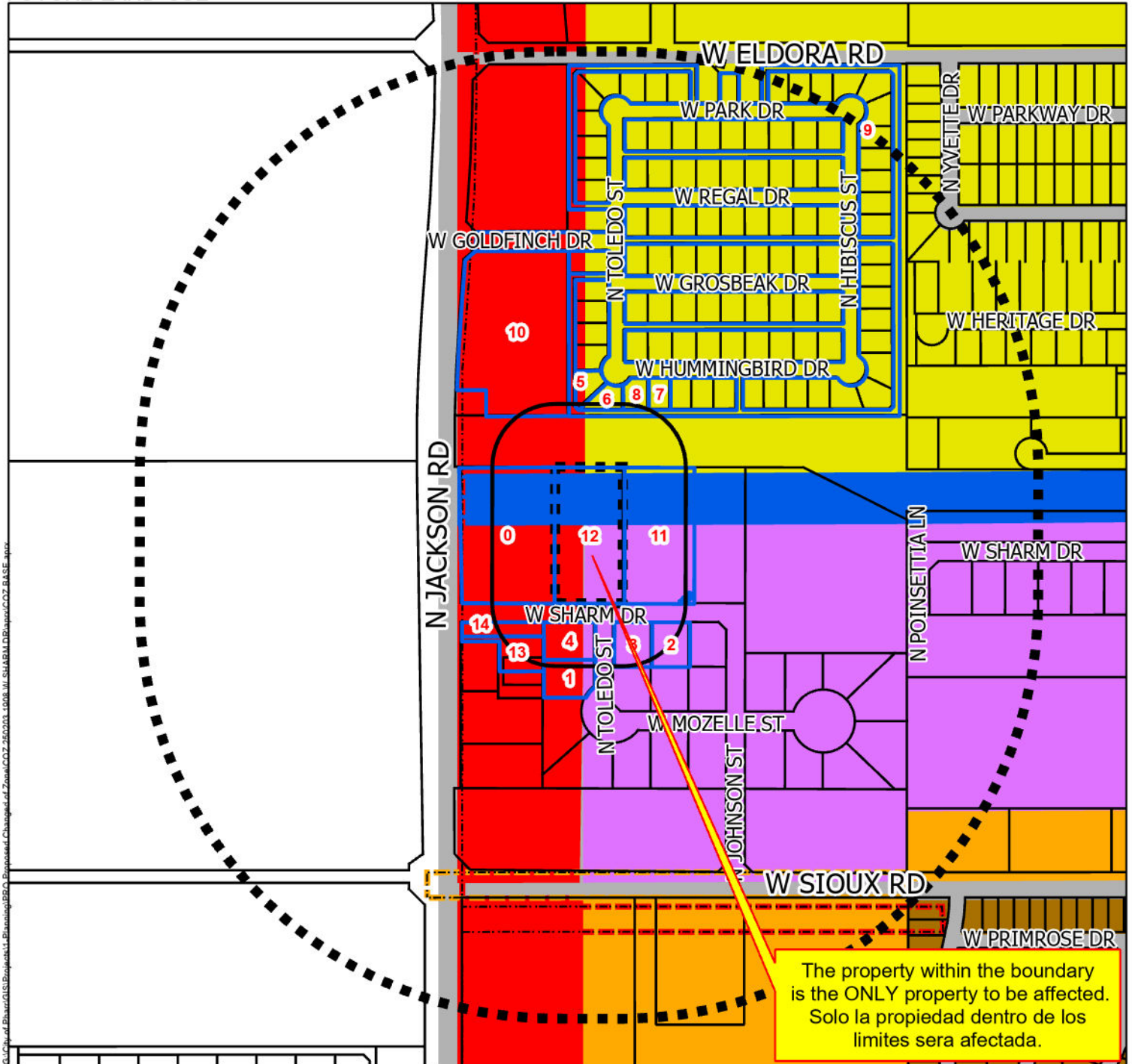


- Pharr City Limit
- Quarter Mile Radius
- 200ft_Buffer
- Subject Property

All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



FUTURE LAND USE



- Pharr City Limit
- Quarter Mile Radius
- 200ft_Buffer
- Subject Property

Future Land Use

FUTURELAND

- Irrigation
- Agriculture

- Single Family Res.
- Multi-Family Res.
- Manufactured Homes
- Industrial

- Commercial
- Public/Semi Public
- ROW
- Parks

All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.





jmerc
DESIGN
CONSULTING, LLC

J. MERCADO
EDINBURG, TEXAS
jmercDESIGN@gmail.com
956-792-0523

THESE DRAWINGS SHALL
REMAIN THE PROPERTY OF
jmercDESIGN. THEY MAY NOT
BE RE-USED, REPRODUCED OR
ALTERED IN ANY WAY
WITHOUT PRIOR WRITTEN
APPROVAL FROM AND WITH
APPROPRIATE COMPENSATION
TO jmercDESIGN.

Texas

Blackbird Lot 1
Preliminary Site Plan
Pharr,

NO.	DATE	DESCRIPTION
1	04-29-24	ISSUED FOR PERMIT

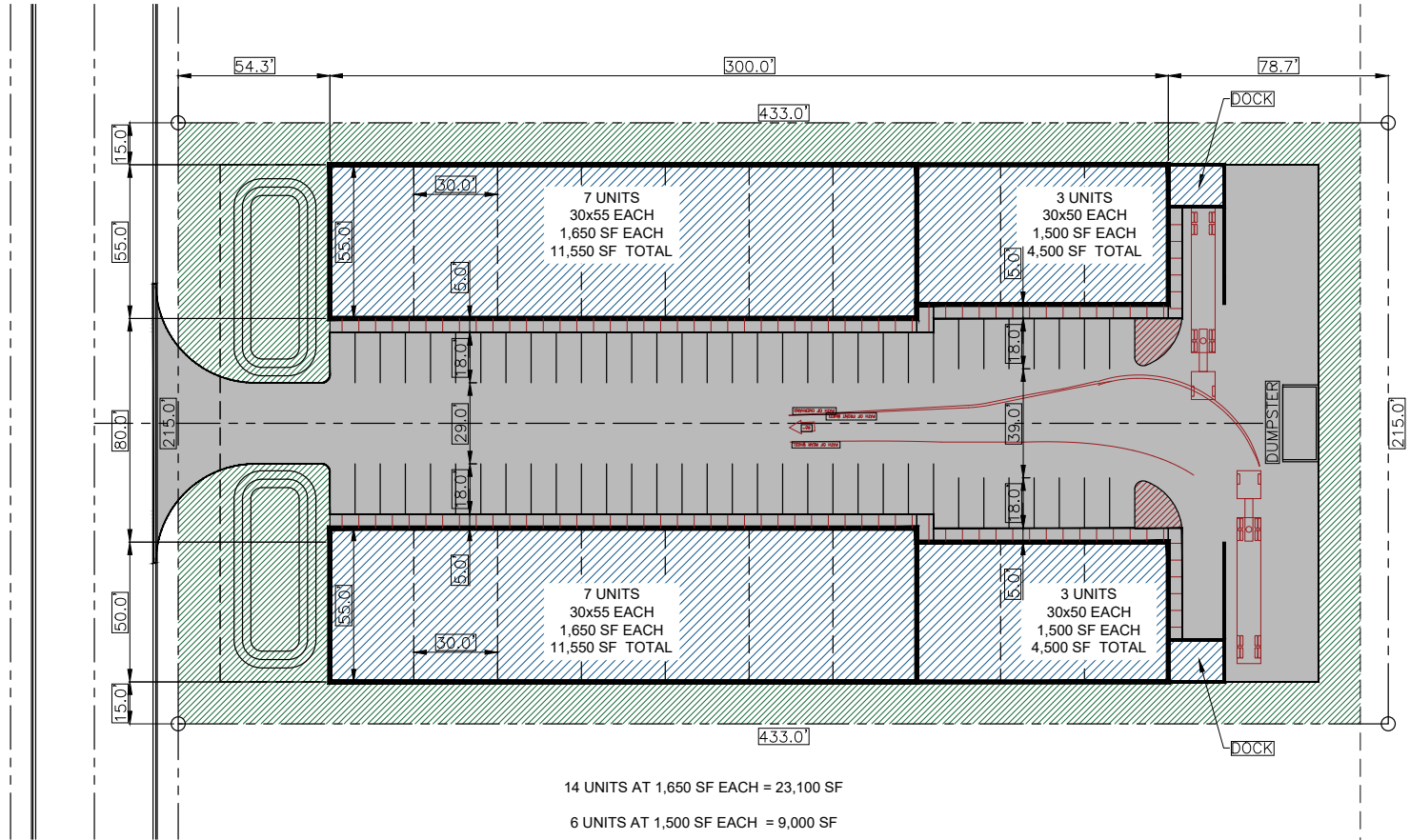
Site Plan
TITLE
04-29-24
ISSUE DATE

J. MERCADO
JOB NUMBER
DRAWN BY

CHECKED BY

SHEET NUMBER

X1.1



A SITE PLAN
SCALE 3/4" = 20'-0"

OPTION 3
PRELIM SITE PLAN
FOR REVIEW 09-09-24



Pharr
Development Services



Site Photo
1908 West Sharm Drive





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.2.

DATE SUBMITTED: March 20, 2025

MEETING DATE: March 24, 2025

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: Oscar Garza, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Single-Family Residential District (R-1) to General Business District (C). The property is legally described as being 0.98 acres, more or less, out of Lot 180, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 324 South Veterans Boulevard.
COZ#250204

Classification: Public Hearing

(* If closed session, City Attorney must review and approve.)

Issue: Oscar Garza, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Single-Family Residential District (R-1) to General Business District (C) in order to develop and construct a commercial development.

Fiscal Consideration:

Staff Recommendation: Development Services recommends approval of the rezoning request from Single-Family Residential District (R-1) to General Business District (C) as the property meets area requirements and has adequate ingress and egress. The proposed rezoning aligns well with the existing development trends in the general area. If approved, the owner must comply with all City Ordinances and City Department requirements.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 3/20/2025
Approved - 3/21/2025
Final Approval - 3/21/2025



MEMORANDUM

DATE: MONDAY, MARCH 24, 2025

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: Re-zoning Request: From Single-Family Residential District (R-1) to General Business District (C). The property is legally described as being 0.98 acres, more or less, out of Lot 180, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 324 South Veterans Boulevard. COZ#250204

Comprehensive zoning and rezoning regulations and ordinances should be adopted and designed to facilitate, as much as possible, the following items:

1. To lessen congestion;
2. Secure safety from fire, panic and other dangers;
3. To promote health and general welfare;
4. To provide adequate light and air;
5. To protect the overcrowding of land and abutting traffic ways;
6. Avoid undue concentration of population, and;
7. To facilitate the adequate provisions of transportation, water, sewage, schools, parks, and other public requirements as per Local Government Code, Sect. 211.004.

DESCRIPTION OF PROPERTY:

Oscar Garza, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Single-Family Residential District (R-1) to General Business District (C) in order to develop and construct a commercial development.

The subject site is located on the northwest corner of East Kelly Avenue and South Veterans Boulevard, approximately 0.15 miles south of East Business Highway US 83 and has a physical address of 324 South Veterans Boulevard. The property is legally described as being 0.98 acres, more or less, out of Lot 180, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

The property fronts South Veterans Boulevard, a 100 ft. minor arterial which runs north and south with a posted speed limit of 30 - 45 miles per hour as identified in the City of Pharr's Thoroughfare Plan. The property also has frontage along East Kelly Avenue, an 80 ft. major collector that runs east and west with a posted speed limit of 30 miles per hour or less as identified in the City of Pharr's Thoroughfare Plan.

The property, the properties to the west and a portion of the property to the north were zoned Single-Family Residential District (R-1), when the city adopted the current Zoning Ordinance in 1982. The remaining portion of the property to the north was rezoned from Office and Professional District (O-P) to Neighborhood Commercial District (N-C) on May 11, 2010. The property to the south was rezoned from Single-Family Residential District (R-1) to Office and Professional District (O-P) on September 16, 2014. The city limits lie to the east side of the property. There have been no other zoning requests within the general vicinity of the subject property since that time. The property is generally designated for Single Family Residential use in the Future Land Use Plan.

The General Business District (C) is established to provide adequate space and site diversification for most types of commercial development in the City of Pharr. Larger shopping centers and most existing commercial strips along major arterials would be included in this district. The noise, traffic, litter, late-night hours, and possible blighting influences require adequate buffering from residential areas, and the traffic from such uses should not pass-through residential areas, except on arterials or major collectors.

Sixteen (16) letters were mailed out to the surrounding property owners within a two hundred (200) foot radius on March 7, 2025, and a legal notice was published in the Advance News Journal on March 5, 2025. Staff received no response to the letters or the legal notice.

Development Services is recommending **approval** of the rezoning request from Single-Family Residential District (R-1) to General Business District (C) as the property meets area requirements and has adequate ingress and egress. The proposed rezoning aligns well with the existing development trends in the general area. If approved, the owner must comply with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of April 7, 2025, at 4:00 p.m.

PLANNING COMMISSION OPTIONS:

1. Approve the rezoning request;
2. Table the item for:
 - a) consideration by the full board;
 - b) additional information;
 - c) additional time for applicant and adjacent property owners to meet;
3. Disapprove the request.



REQUEST FOR CHANGE OF ZONE & AMENDMENT TO LAND USE PLAN

Oscar Garza, owner

APPLICANT

Single-Family Residential District (R-1)

CURRENT ZONE

324 South Veterans Boulevard

ADDRESS

General Business District (C)

PROPOSED ZONE

		YES	NO
1	Does the property meet the minimum area requirements for the proposed zone?	X	
2	Does the property have adequate ingress and egress?	X	
3	Will the change of zone be compatible with surrounding properties? (Zoning and Land Use)	X	
4	Is the property located along a major thoroughfare?	X	
5	Will the property have adequate parking for the proposed use?	X	
6	Will the property have adequate landscaping as per City Ordinance?	X	
7	Will the zone change increase the volume of traffic?		X
8	Will a buffer be required?	X	
9	Is the proposed change in line with the Future Land Use Plan?		X

STAFF RECOMMENDATIONS:

Approval

Development Services is recommending approval of the rezoning request from Single-Family Residential District (R-1) to General Business District (C) as the property meets area requirements and has adequate ingress and egress.

The proposed rezoning aligns well with the existing development trends in the general area.

If approved, the owner must comply with all City Ordinances and City Department requirements.

Laura Fonseca, Planner II

PREPARED BY

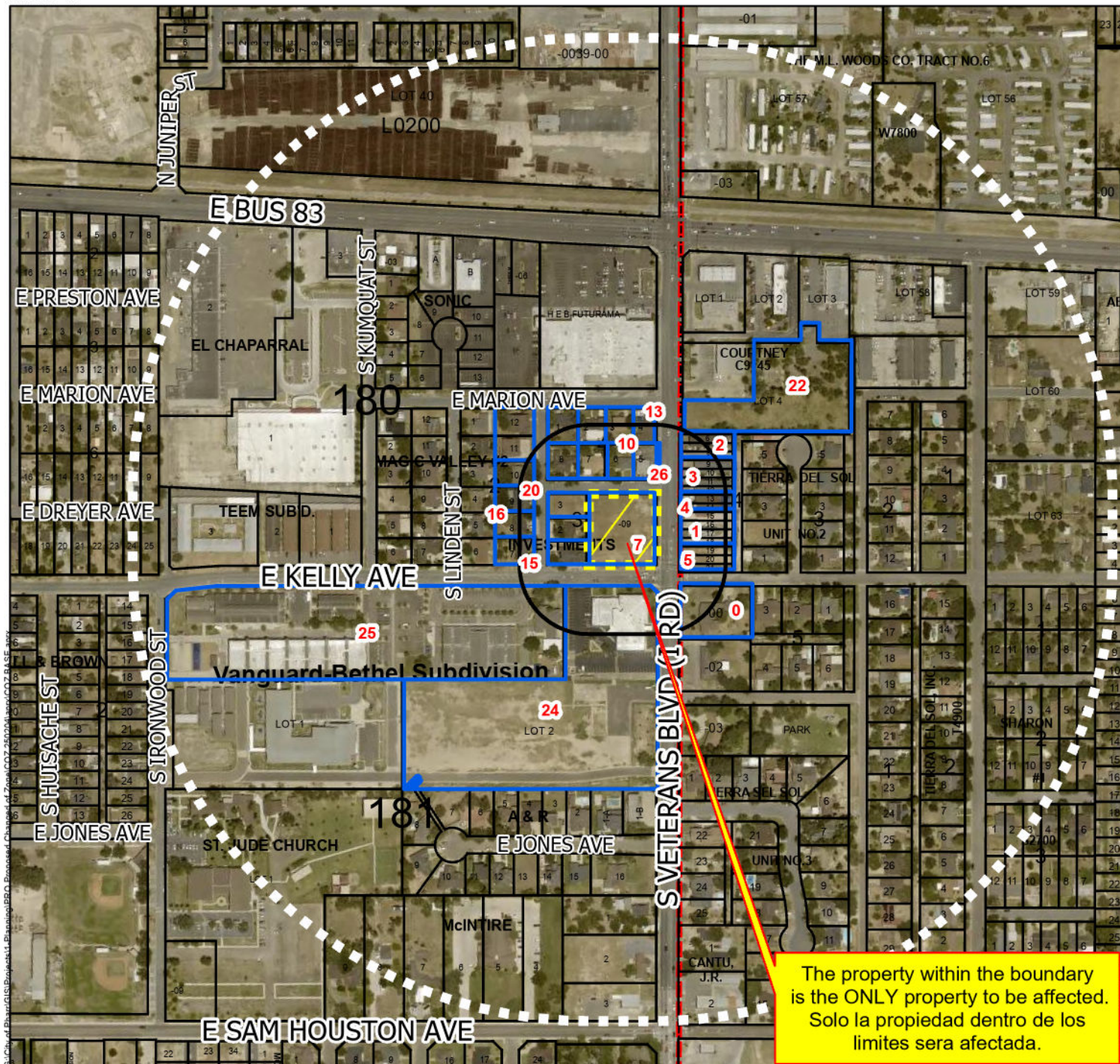
March 11, 2025

DATE

Proposed Change of Zone
as being 0.98 acres, more or less, out of Lot
180, Kelly-Pharr Subdivision
Oscar Garza



AERIAL



The property within the boundary
is the ONLY property to be affected.
Solo la propiedad dentro de los
limites sera afectada.

- 200ft_Buffer
- Notification List
- Subject Property
- Quarter Mile Radius
- Pharr City Limit

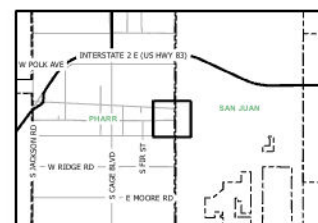
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City of Pharr, Texas
Engineering Department
956.402.4221

Date: 2/25/2025

Scale: 1:5,000

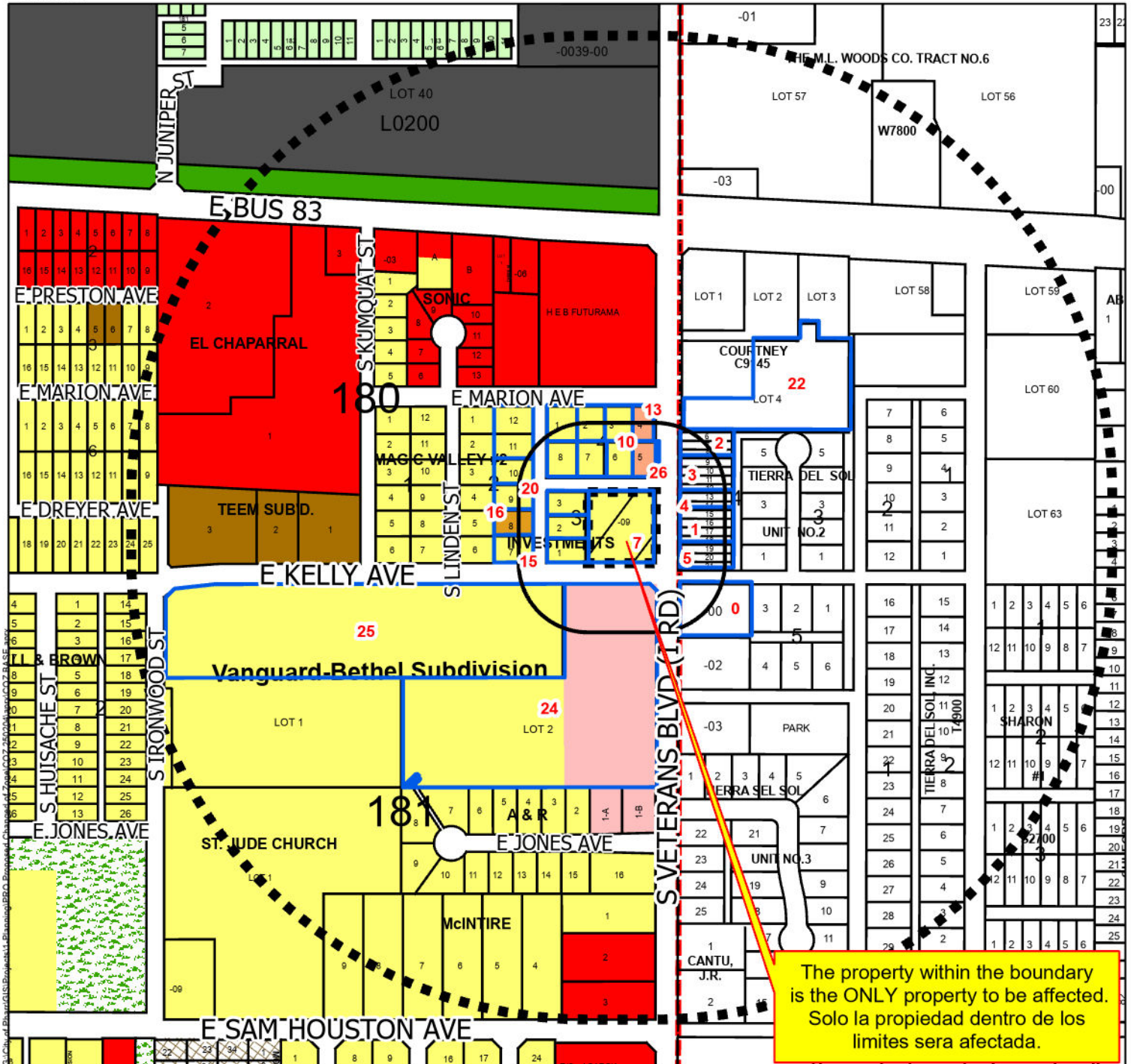
0 210 420 840 1,260 1,680 Feet



Proposed Change of Zone
as being 0.98 acres, more or less, out of Lot
180, Kelly-Pharr Subdivision
Oscar Garza



ZONING



City of Pharr, Texas
Engineering Department
956.402.4221

Date: 2/25/2025

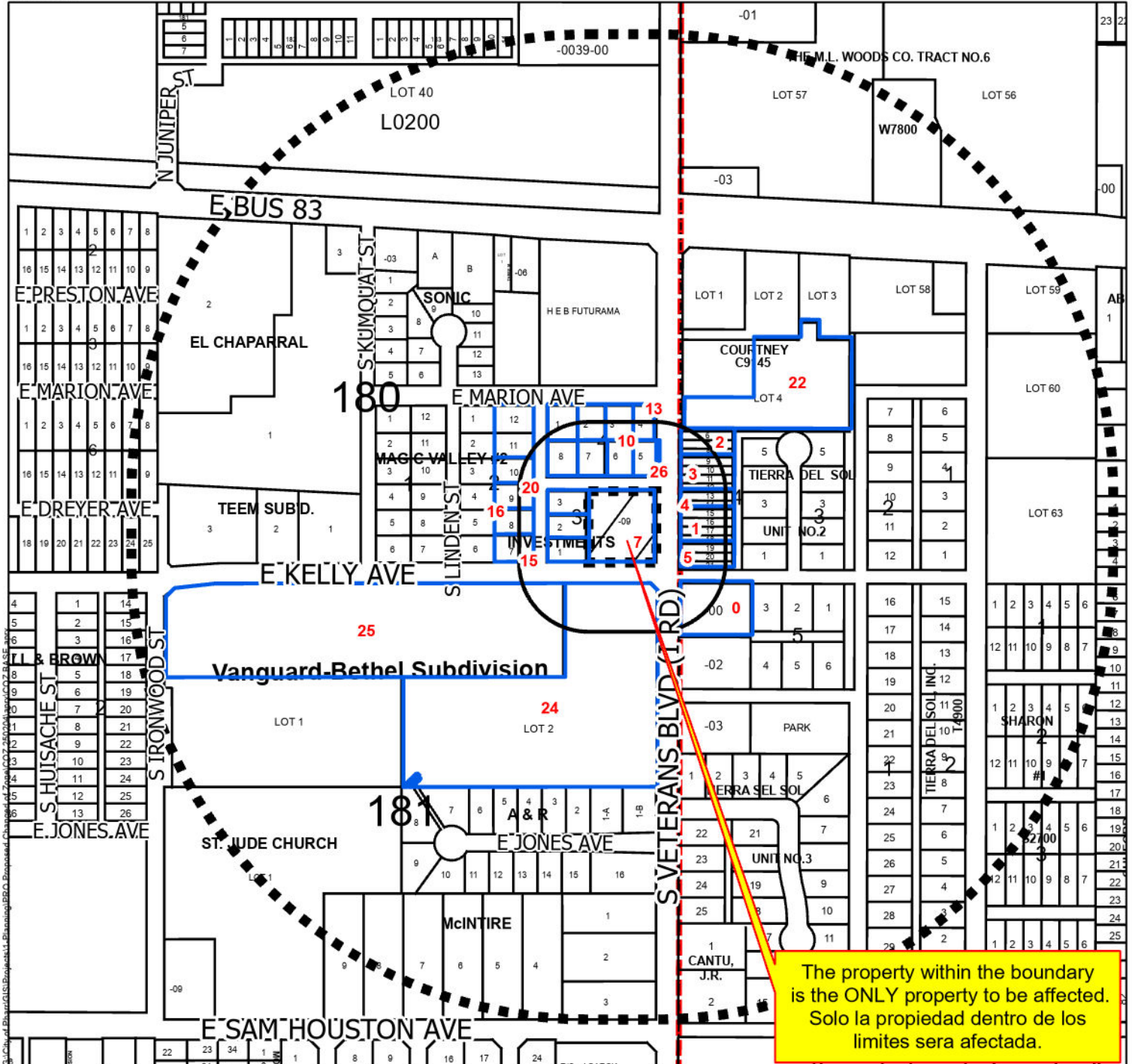
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Proposed Change of Zone
as being 0.98 acres, more or less, out of Lot
180, Kelly-Pharr Subdivision
Oscar Garza

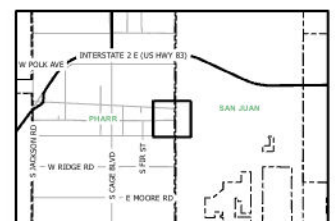


RADIUS



- 200ft_Buffer
- Notification List
- Subject Property
- Quarter Mile Radius
- Pharr City Limit

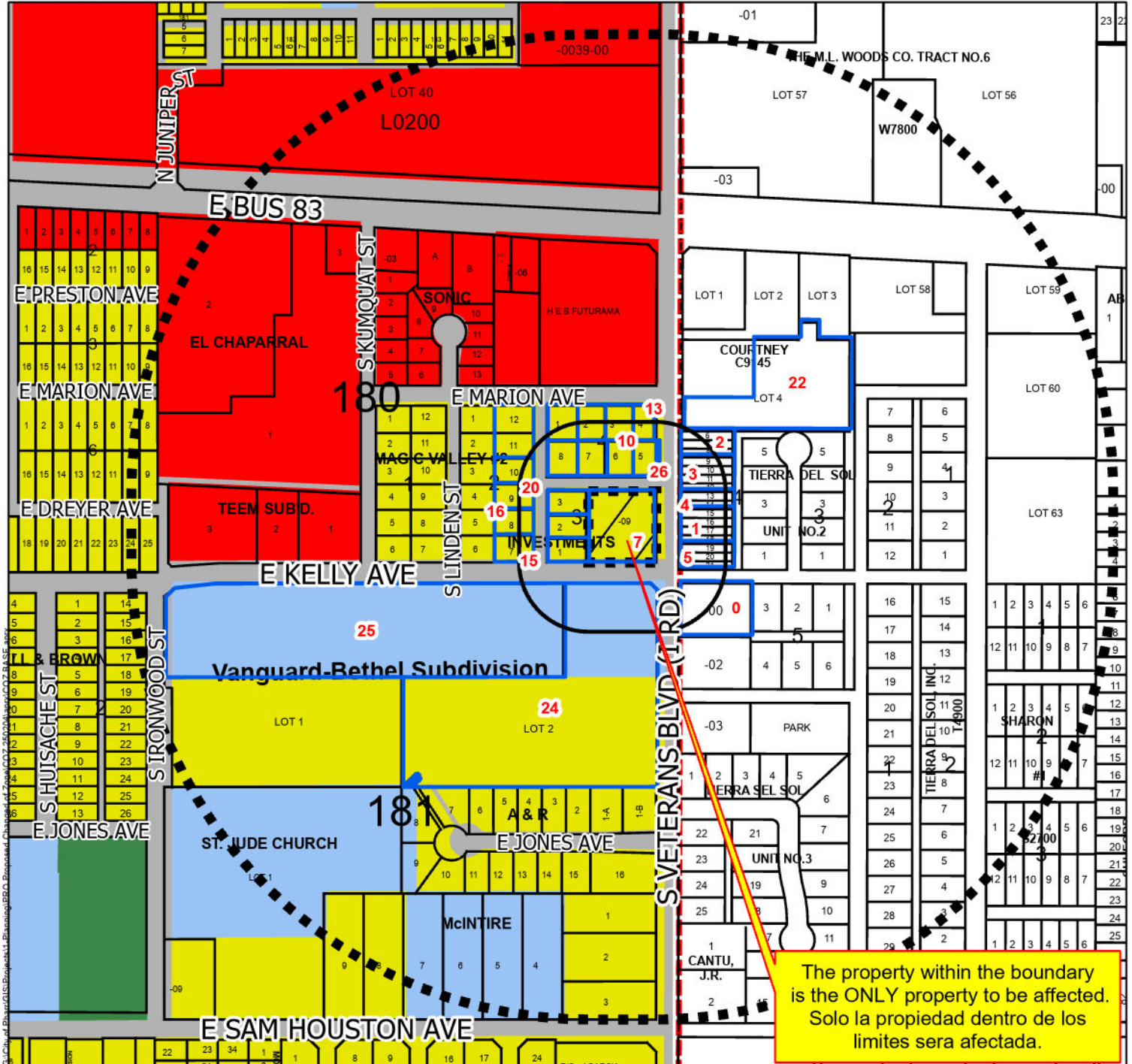
All Information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



Proposed Change of Zone
as being 0.98 acres, more or less, out of Lot
180, Kelly-Pharr Subdivision
Oscar Garza

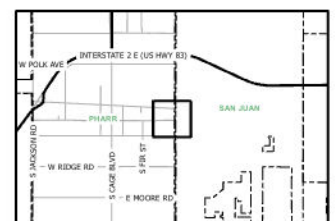


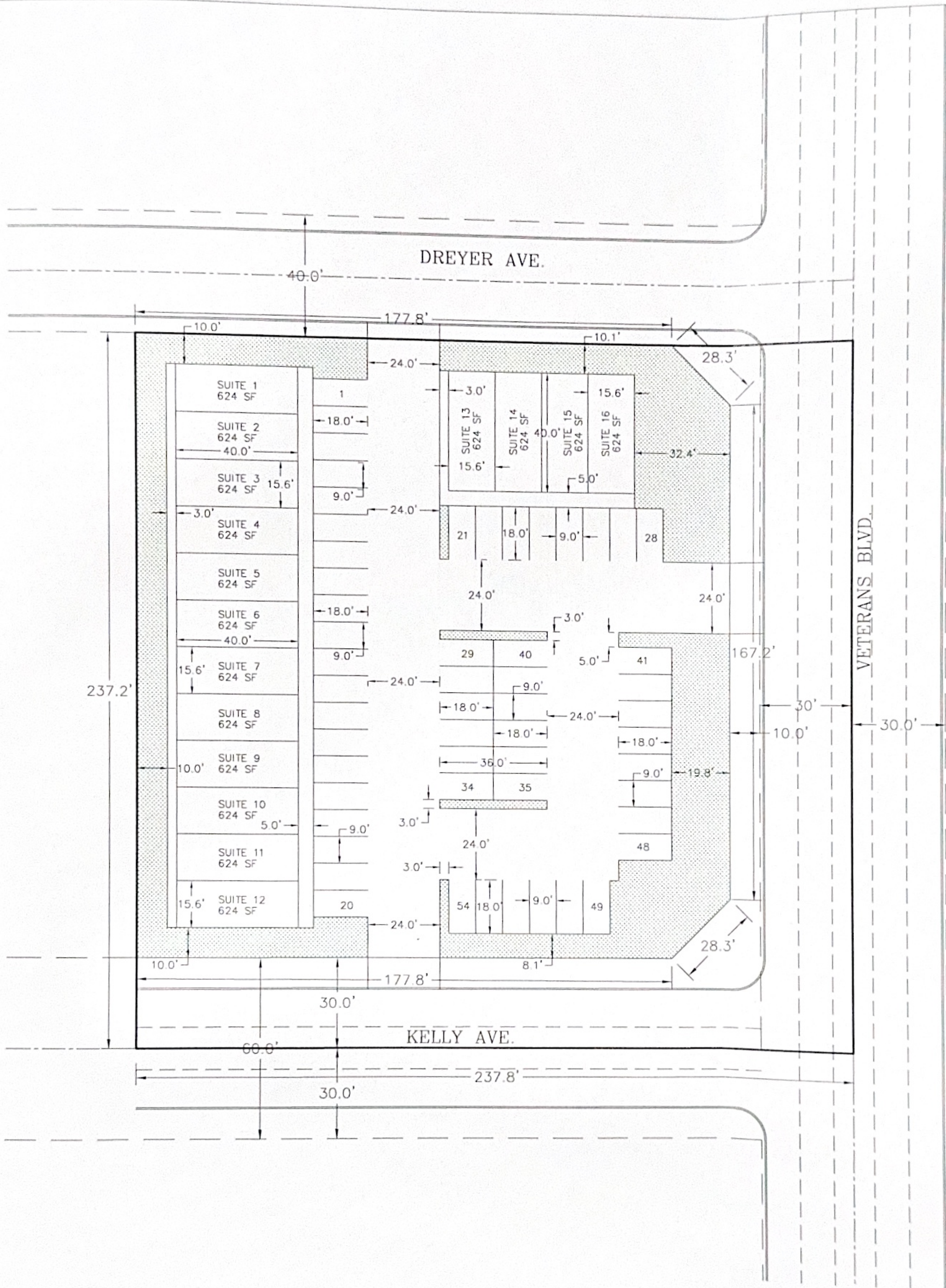
FUTURE LAND USE



- 200ft_Buffer
 - Notification List
 - Subject Property
 - Quarter Mile Radius
 - Pharr City Limit
- Future Land Use**
- Single Family Res.
 - Multi-Family Res.
 - Manufactured Homes
 - Industrial
 - Commercial
 - Public/Semi Public
 - ROW
 - Parks
 - Irrigation
 - Agriculture

All Information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.

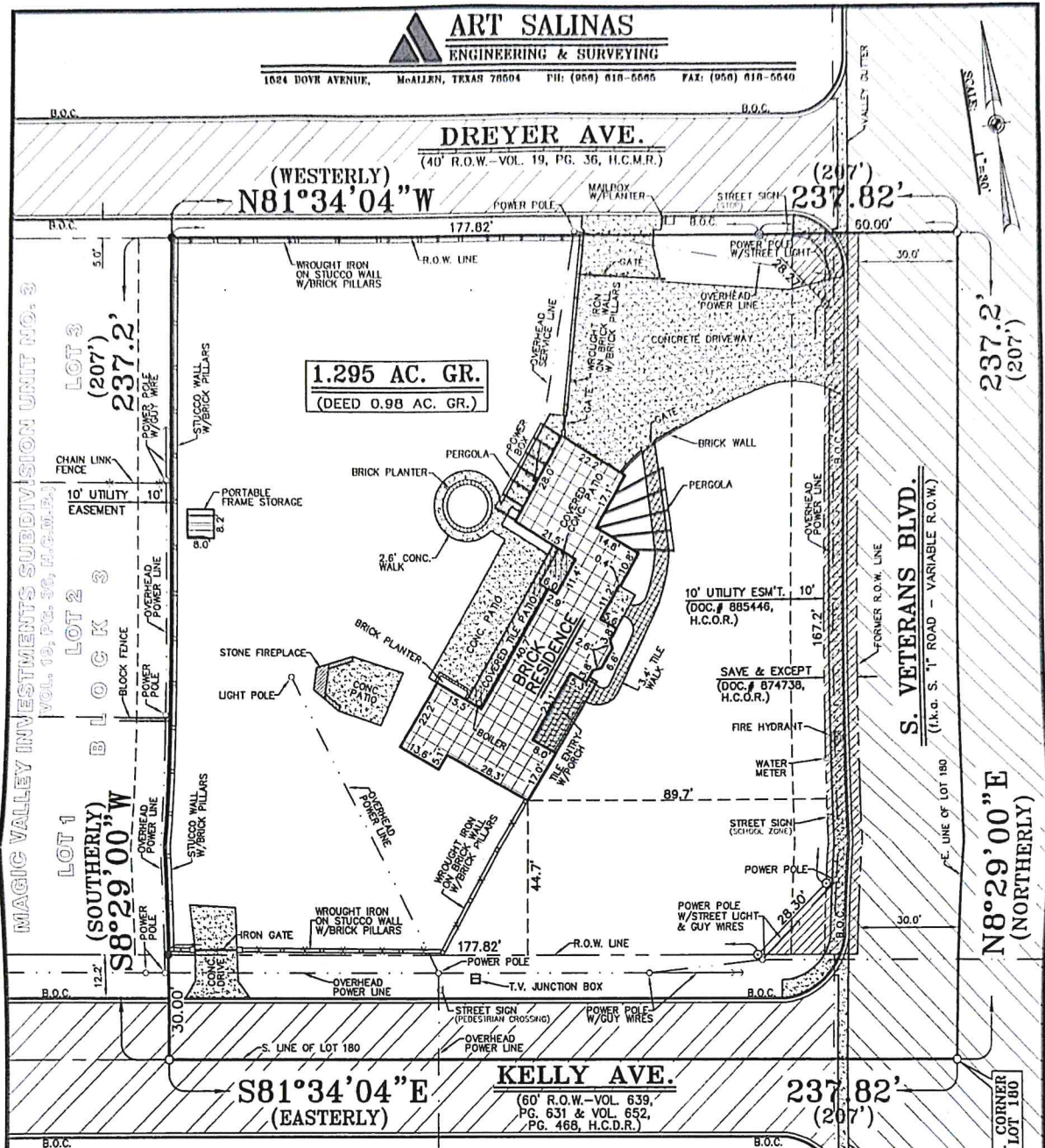






ART SALINAS
ENGINEERING & SURVEYING

1624 DOVR AVENUE, McALLISTER, TEXAS 76064 PH: (956) 618-6666 FAX: (956) 618-6640



FLOOD ZONE CERTIFICATION: The property shown hereon lies in Zone "B". Zone "B" areas lie between limits of the 100-year flood and 500-year flood; or certain areas subject to 100-year flooding with average depths less than one (1) foot or where the contributing drainage area is less than one square mile; or areas protected by levees from the base flood as per F.E.M.A. Flood Insurance Rate Map Panel No. 480347-0005-C dated 10-10-82.

- PLAT NOTES:**
1. There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements except as shown on this plat.
 2. This survey plat is prepared in connection with Title Policy G.F. # 903467 and does not guarantee title. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
 3. This survey must contain an embossed seal and signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act".
 4. This is a standard survey and does not include a subsurface utility or topographic investigation.
 5. Easement for sidewalk dated October 14, 1933, recorded in Volume 383, Page 2, Deed Records, Hidalgo County, Texas. (Blanket)
 6. Subject to any portion of the land described herein lying with canal right of way.
 7. Easements, rules, regulations and rights in favor of HIDALGO COUNTY IRRIGATION DISTRICT NO. 2. (Blanket)
 8. Subject to any oil, gas and mineral lease of record.
 9. Bearing Basis: "TX State Plane Coord. Sys. - South Zone (4805)"
- BORROWERS:** Oscar Job-Eli Garza and Claudia Garza

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE PROPERTY WHICH IS LOCATED AT 324 S. VETERANS BLVD., IN PHARR, TEXAS, DESCRIBED AS FOLLOWS:

A TRACT OF LAND OUT OF LOT ONE HUNDRED EIGHTY (180), KELLY-PHARR SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS, HIDALGO COUNTY, TEXAS, (SEE METES AND BOUNDS DESCRIPTION)

SAVE AND EXCEPT:
0.053 ACRE (2328.18 SQUARE FEET) TRACT OF LAND OUT OF A 0.98 ACRE TRACT OF LAND OUT OF LOT ONE HUNDRED EIGHTY (180), KELLY-PHARR SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 133, DEED RECORDS, HIDALGO COUNTY, TEXAS. (SEE METES AND BOUNDS DESCRIPTION)

15-48258
Job No.

11-09-15
Date

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LEGEND

- - DENOTES FOUND 1/2" PIPE
- ⊙ - DENOTES FOUND 5/8" ROD
- ⊗ - DENOTES SET "X" MARK ON CONC. DRIVEWAY
- ⊙ - DENOTES SET 1/2" ROD
- - DENOTES NO MONUMENT



Pharr
Development Services



Site Photo

324 South Veterans Boulevard





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.1.

DATE SUBMITTED: March 18, 2025

MEETING DATE: March 24, 2025

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: SAMES, representing Jennifer Van Alstyne, Managing Member for McAllen Radiator Service, Inc., is requesting preliminary plat approval of the proposed Whitechapel Park Subdivision. The property is legally described as being a 13.17 acre tract of land out of Lot 186, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 800 Block of West Sam Houston Avenue. **SUB#241234**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: SAMES, representing Jennifer Van Alstyne, Managing Member for McAllen Radiator Service, Inc., is requesting preliminary plat approval of the proposed Whitechapel Park Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Whitechapel Park Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 3/18/2025
Approved - 3/19/2025
Final Approval - 3/21/2025



MEMORANDUM

DATE: MONDAY, MARCH 24, 2025

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: WHITECHAPEL PARK SUBDIVISION
FILE NO. **SUB#241234**

GENERAL INFORMATION:

APPLICANT: SAMES, representing Jennifer Van Alosty, Managing Member for McAllen Radiator Service, Inc., is requesting preliminary plat approval of the proposed Whitechapel Park Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 13.17 acre tract of land out of Lot 186, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 800 Block of West Sam Houston Avenue.

ZONING: The property is currently zoned Residential Multi-Family High Density District (R-MFHD). The adjacent zones are Residential Multi-Family High Density District (R-MFHD), Residential Townhouse District (R-TH), Office Professional District (O-P) and Agricultural and/or Open Space District (A-O) to the north, Residential Single Family District (R-1) to the east and south and Residential Mobile Home District (R-MH) to the west. The property is designated for Single Family Residential and Commercial use in the Land Use Plan.

PROPERTY PROPOSED USE: Town houses.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Whitechapel Park Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Provide directionals for streets.
2. Max street light spacing is 250' max.

EASEMENTS:

1. City of Pharr easements shall read: 15' Exclusive easement to City of Pharr.
2. Provide offsite easement, if any.
3. Label existing or dedicated easements on plat.
4. Label and show any access onto property.
5. Label and show any electrical easements on plat, if any.

**SIDEWALK:
ADA:**

1. Follow City of Pharr Construction Standards Manual.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

DRAINAGE:

1. Provide the full wording for the detention directive, plat note #6.

OTHER:

1. On description of property remove the 130 description.
2. Remove plat notes 9 thru 13.
3. Provide a draft of HOA, for review.
4. Provide dimensions for irrigation lines within lots 59-76.
5. Provide all pertinent City of Pharr details.
6. Comments are attached for HCID #2, shall be addressed before submitting construction plans.
7. Update number of Sheets on plat.
8. Label gross or net on metes & bounds.
9. See staff comments attached.

PLAT REVIEW MEETING FOR: *WHITECHAPEL PARK SUBDIVISION*

COMMENTS: **Initials:** J.R. **MARCH 13, 2025**

WATER:

- Easements will need to be 15' exclusive to the City of Pharr.
- All water fittings will need to be MJ with megalocks.
- Will need to install in-line valves between lots 15,16 and 45,46
- Comments made change depending on circumstances.
- Follow City of Pharr Construction Standards Manual.

SEWER:

- Easements will need to be 15' exclusive to the City of Pharr.
- Will need to show sanitary sewer details.
- Will need to provide us with sewer flow calculations.
- Will need to show all sewer crossings and connections details.
- Manhole rim and lid will need to be composite base with City of Pharr logo.
- Show Manhole rim and lid detail.
- Will need to verify easements on The Grand Estates Subdivision.
- Comments made change depending on circumstances.
- Follow City of Pharr Construction Standards Manual.

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: Whitechapel Park subdivision

Reviewed by: J. Gonzalez

3/13/2025

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM (SHERWIN-WILLIAMS SILVER BRIGHT 631-1336)** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of

20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.
17. General Plat Notes & Restrictions: **ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE BUILDING PHASE IN ORDER TO MEET FIRE PROTECTION REQUIREMENTS.**

Additional Comments:

Plat Note: ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE BUILDING PHASE IN ORDER TO MEET FIRE PROTECTION REQUIREMENTS.

Standard Comments:

1. Shall provide a secondary exit as per the international fire code 2018 IFC. D106.1 PROJECTS HAVING MORE THAN 100 DWELLING UNITS.

Multiple-family residential projects having more than 100 dwelling units shall be equipped throughout with two separate and approved fire apparatus access roads.

2. Please see email attachment Appendix D for approved fire apparatus turn around dimensions.

3. Cost estimates show 10 fire hydrants and plans show only 5 fire hydrants.

4. Fire hydrants shall be placed 6 feet back of curb, one (1) foot behind the 5-foot sidewalk.

5. Please see note #8 for fire hydrant color detail.



Pharr

Public Works



MAYOR Ambrosio Hernandez, MD

COMMISSIONERS Michael Pacheco | Roberto "Bobby" Carrillo | Ramiro Caballero, MD | Daniel Chavez | Ricardo Medina | Itza Flores

Plat Review Meeting

DATE: 3-13-25

White Chapel Park Subdivision

13.17 Acres

Pharr Tx, 78577

Plat Notes:

- **No comments**

General Notes:

- **Must submit (1) digital copy in (USB) for review and three (3) hard copies of the Storm Water Pollution Prevention Plan at pre-construction meeting. Will be reviewed and must be approved Prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.**
- **Large Construction Site Notice required from T.C.E.Q. As well as all other required T.C.E.Q. permits**
- **Sediment Erosion Control Plan Required**
- **Discharge Permit required from the City of Pharr Public Works Dept.**
- **Any and all required Curb Cut, Street Cut, or Bore Permits from the Public Works Dept.**

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Whitechapel Subdivision

DATE: March 13, 2025

REVIEW: Preliminary (comments plans dated 3-11-2025)

PLAT

1. Signature and seal from P.E. is required.
2. Signature and seal from R.P.L.S. is required.
3. Note no. 6--- Revise note to say... *““Storm Water detention is required for this property. The engineer of record for this subdivision plat has estimated that an area of approximately _____ acres and a volume of approximately _____ acre feet will be required for this use. This is an estimate only and detailed analysis may reveal different requirements. No Building permit shall be issued for this platted property until a storm water detention system design has been approved by the City of Pharr for this commercial development.”* Include area and detention volumes.
4. Revise note no. 7 to include--- Internal ADA ramps and landings shall be constructed at time of subdivision construction.
5. Remove notes 12 & 13.
6. Separate note 18 into the following:
 - Owners to maintain detention / retention area.
 - Owners to maintain ROW and perimeter of subdivision.

SITE PLAN

1. Include ADA ramps and landing details. Ramps shall be required to have truncated domes.
2. Include a demo plan in plat submission.
3. Provide flow calculations for proposed sanitary sewer lines.
4. Provide flow line and elevations for sanitary sewer.
5. Provide profile view for all utility crossings.
6. Hydrants along ROW shall be 6'-ft from back of curb.
7. Provide additional inline valves as per Public Utilities request.
8. Tie-in to existing 12"-in water line shall be done using MJ Tee. Do not tie-in using tapping tee.
9. Curb and gutter along the ROW shall require 3#3 rebar.
10. "Back of curb to back of curb" width shall be 40'-ft.
11. Proposed sidewalks shall be 5'-ft in width.

- | |
|--|
| 12. Perimeter fence for detention pond shall be required with a minimum height of 4'-ft. |
|--|

DRAINAGE

- | |
|---|
| <ol style="list-style-type: none">1. Drainage plan to be reviewed and approved at building permit stage.2. All lots shall be required to provide positive drainage and outfall towards internal street and into nearest storm infrastructures. Avoid out-falling towards neighboring lots. |
|---|

CLOSEOUT DOCUMENTS

- | |
|---|
| <ul style="list-style-type: none">• All As-builts must have the following requirements:<ul style="list-style-type: none">• As-builts must reflect current field changes. Mark all field changes as existing.• Must be Geo referenced, and in an AUTOCAD file.• Submit a physical and electronic copy (USB or CD). |
|---|

STANDARD REQUIREMENTS

- **PRIOR TO SUBMITTING PRECONSTRUCTION PLANS, FIELD VERIFY ALL UTILITY TIE-INS FOR WATER, SEWER, AND STORM LINES.**
- Access road must follow City of Pharr standards for paving.
- Testing may be required for concrete, paving and backfilling items.
- Curb and gutter must meet design strength of 3000 psi and must include 3 #3 continuous rebar.
- Sidewalk must meet design strength of 3000 psi and must follow City design standard and ADA guidelines.
- Driveway shall have a design strength of 4000 psi and concrete drive shall meet the appropriate design strength to prevent damage. Must follow City design standard and ADA guidelines.
- Drainage headwall shall include a footing on top and shall be a minimum 18 inches long.
- Headwall width from edge to edge of discharge pipe shall be 18 inches minimum.
- Gate valve concrete collar dimensions shall be 30 inches x 30 inches x 6 inches.
- Proposed fire hydrants shall be 6 feet from back of curb.
- Fire hydrant detail preferred brand Mueller. (Note: connection from hydrant to valve box is mechanical joint to mechanical joint and from valve box to watermain is flange to flange).
- Show all utility crossings that may be present in this site plan.

- All sanitary sewer service “wye’s” shall require concrete cradles.
- Provide Public Works discharge permit when discharging into City storm system.
- **TCEQ requires 9'-ft separation between water and sewer lines. This includes manholes to be spaced out away from water lines.**
- **SHOULD ANY DESIGN ISSUES OCCURE DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE ENGINEER ON RECORD TO ADDRESS THESE ISSUES AND COORDINATE WITH THE CONTRACTOR. ALSO PROVIDE REVISED PLANS TO ENGINEERING DEPARTMENT FOR REVIEW.**

Gerardo Padron
Broadband Grad Engineer
Innovation & Technology Department
M: [956-966-3513](tel:956-966-3513)
O: [956-402-4900](tel:956-402-4900) Ext: 4917
Gerardo.padron@pharr-tx.gov
100 W Ferguson Ave
Pharr, TX 78577



Date: March 17, 2025

Preliminary Plat Review: Revised: Data/Telephone Installation Requirements

Subdivision: Whitechapel Park Subdivision

Plat Notes:

- No Notes

General Notes:

- As part of the development plan for Whitechapel Park Subdivision, we are outlining the necessary requirements for the installation of Fiber Optics infrastructure to ensure a reliable and efficient network for data and telephone services. The following specifications must be adhered to during the design and construction phases to meet industry standards and ensure seamless connectivity across all units.

1. Conduit Installation from Subdivision Entrance to Utility Easement:

- a. A 4-inch conduit must be installed from the entrance of the Whitechapel Park Subdivision to the utility easement on W Sam Houston Ave.
- b. The conduit shall be positioned on the west side of the utility easement along Queen Street, maintaining a 5-foot clearance from the 8-inch water line.
- c. Data/Telephone conduits must be installed on the west side, consistently 5 feet away from the water line.
- d. Queen St conduit must be installed from Sam Houston Ave and within the community property boundaries, specifically within the designated utility easement.

2. Conduit Installation from Centralized Location to Utility Easement:

- e. A 2-inch Schedule 40 Conduit must be installed from the centralized meeting point (or designated location) of each building to the public utility easement.
- f. This conduit will function as the primary pathway for Data/Telephone services, ensuring seamless connectivity.

3. Fiber Installation from Individual Units to Centralized Location:

- g. Each unit/building must have a dedicated fiber cable installed within a ****3/4-inch conduit**** for Data/Telephone services.
- h. The fiber cable must terminate at the centralized meeting point of the respective building, ensuring efficient service distribution.

4. Conduit Specifications:

- i. All conduits must adhere to ****Schedule 40**** standards to ensure durability, reliability, and compliance with industry requirements.

These measures are essential to establish a robust and efficient infrastructure for data and telephone services across all units. Compliance with these specifications is mandatory for project approval. The illustration has been attached to the comment letter.

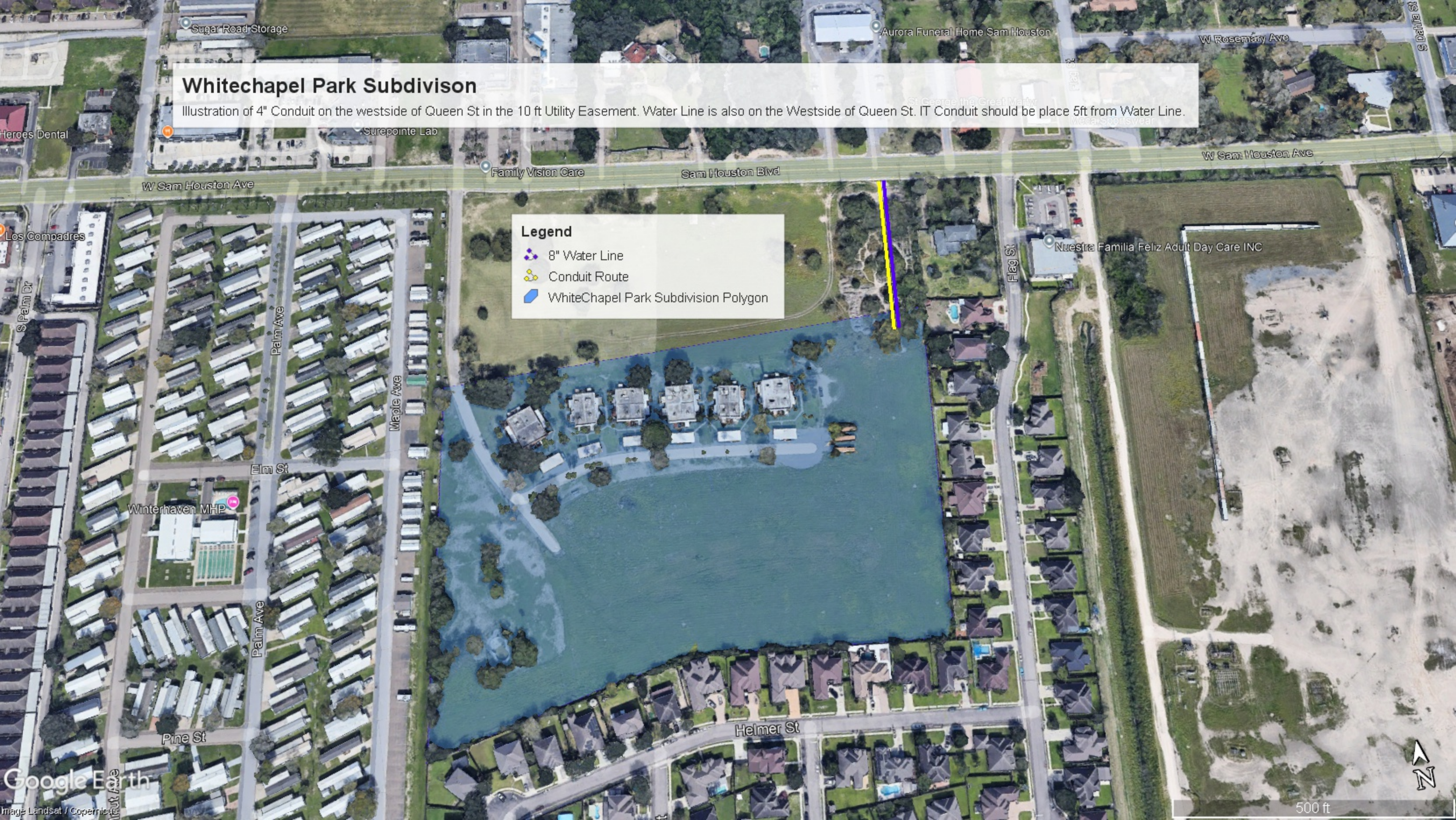
Please let us know if additional details or clarification are required to proceed with this request.

Whitechapel Park Subdivison

Illustration of 4" Conduit on the westside of Queen St in the 10 ft Utility Easement. Water Line is also on the Westside of Queen St. IT Conduit should be place 5ft from Water Line.

Legend

- 8" Water Line
- Conduit Route
- WhiteChapel Park Subdivision Polygon



From: [John Salinas](#)
To: [Eddie Martinez](#)
Cc: jl_hcid2@att.net
Subject: WHITECHAPEL PARK SUBDIVISION plat review lot 186 k-p
Date: Thursday, March 13, 2025 10:25:16 AM

***** This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. *****

Hello Eddie,

The HCID2 initial claims, comments and updates as needed for each proposal:

WHITECHAPEL PARK SUBDIVISION

1. We have an 80' Canal r.o.w. within the lot. V. 19, pg. 193 deed and v. 0, pg. 63 map and any development is not allowed. The option to purchase/release the canal r.o.w. have been reviewed but not started.
2. Developer will need to replace the pipeline along the west side.
3. We have the general r.o.w. covering all the lot. V. 19,pg. 193.
4. We need the recorded warranty deed of the land.
5. Update the signature block script:
THIS PLAT ... THE ____ (SHORTEN LINE & REMOVE COMMA) DAY OF _____, (LONGER LINE & ADD COMMA) 20 ____.
NO IMPROVEMENTS OF ANY KIND (NO "S") ...
... ATTEST: _____ (NO GAP)
6. Plat will need to exclude 0.4 acres from the district and 12.77 acres have been excluded.
7. Need the certificate of filing for the corporation/llc and documentation who is authorized to sign

If there are any questions, please advise or call our office. Thank you.

John Salinas
Hidalgo County Irrigation District No. 2
P.O. Box 6
San Juan, TX 78589
Office: (956) 787-1422
Fax: (956) 781-7622
Email: jbsalinas@hcid2.org

STATE OF TEXAS
COUNTY OF HIDALGO

I, **McAlLEN RADIATOR SERVICE, INC.**, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **WHITECHAPEL PARK SUBDIVISION** TO THE CITY OF PHARR, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH WE WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF PHARR, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF PHARR.

OWNER: McAlLEN RADIATOR SERVICE, INC.
MANAGING MEMBER: JENNIFER VAN ALYSTYNE, VICE PRESIDENT
ADDRESS: 104 N. 12TH ST. McAlLEN, TEXAS 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED, **JENNIFER VAN ALYSTYNE**, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JESSICA M. MALDONADO, PE, PMP, CFM NO. 111579 DATE

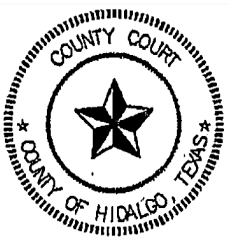
THIS DOCUMENT IS
RELEASED FOR THE
PURPOSED OF REVIEW
UNDER THE AUTHORITY OF
JESSICA M. MALDONADO, PE
111579 ON 3/17/2025
IT IS NOT TO BE USED FOR
ANY OTHER PURPOSED.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

SAMUEL D. MALDONADO, RPLS, PE NO. 6027 DATE

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSED OF REVIEW
UNDER THE AUTHORITY OF
SAMUEL D. MALDONADO,RPLS
6027 ON 3/17/2025
IT IS NOT TO BE USED FOR
ANY OTHER PURPOSED.



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM.

INSTRUMENT NUMBER _____
OF MAP RECORD OF HIDALGO COUNTY TEXAS.

BY: _____ DEPUTY.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E.
GENERAL MANAGER

DATE

STATE OF TEXAS
HIDALGO COUNTY IRRIGATION DISTRICT No. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2 ON THIS

THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KINDS (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHTS-OF-WAY OR EASEMENTS.

PRESIDENT

ATTEST:
SECRETARY

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED MAYOR OF THE CITY OF PHARR HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

DR. AMBROSIO HERNANDEZ
MAYOR, CITY OF PHARR

DATE

CITY CLERK

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

CERTIFICATION BY THE CHAIRMAN OF THE COMMISSION: I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PHARR HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

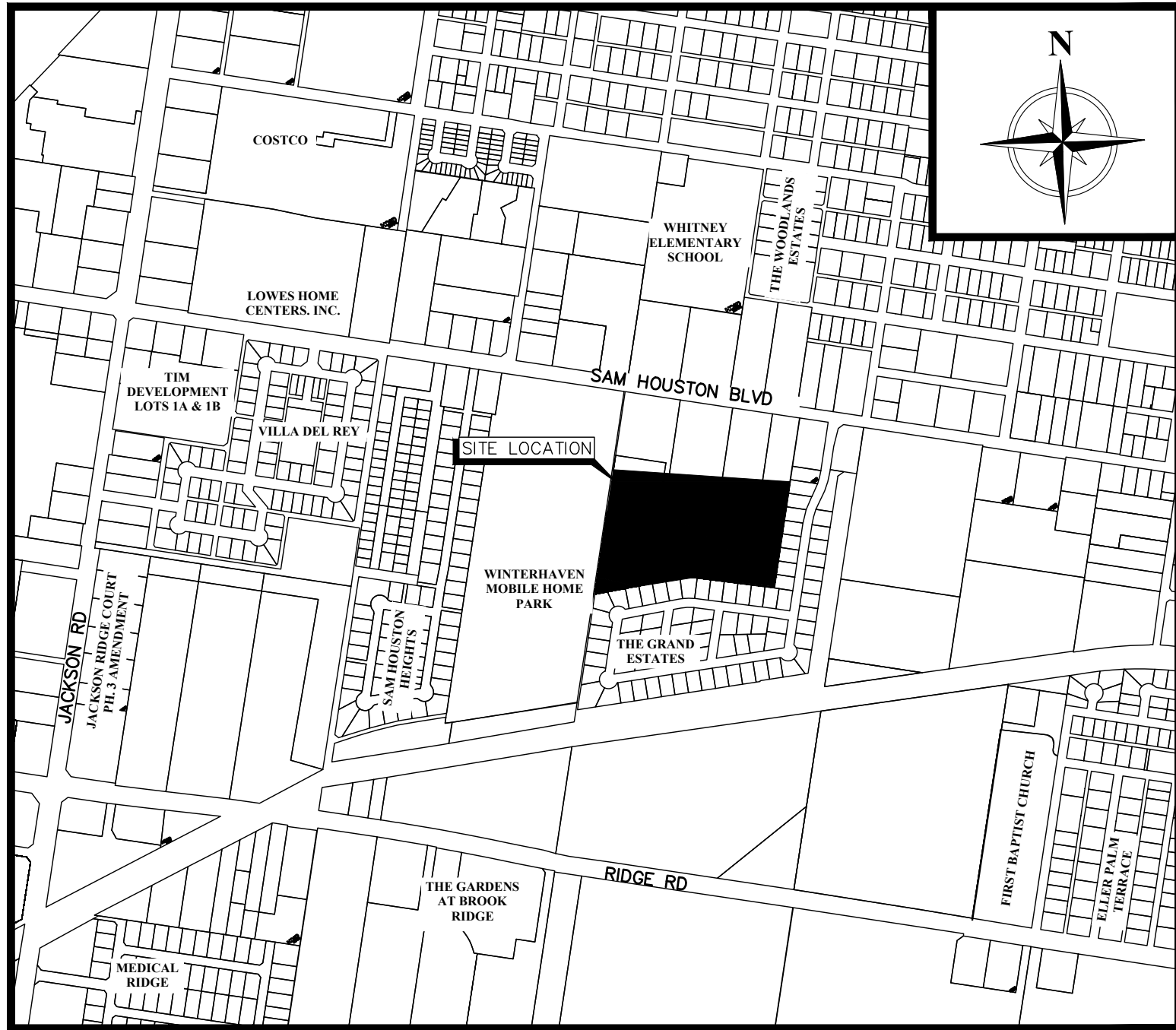
DANNY WYLIE
CHAIRMAN-PLANNING AND ZONING COMMISSION

GENERAL NOTES:

- FLOOD INSURANCE RATING:
INSURANCE RATE MAP COMMUNITY PANEL NUMBER 480334 0500 B.
REVISED NOVEMBER 16, 1982, ZONE B
AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.
- NO STRUCTURES SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
- BUILDING SETBACK AS PER CITY OF PHARR ORDINANCE.
FRONT SETBACK: 10 FT
SIDE SETBACK: 0 FT
REAR SETBACK: 10 FT
OR EASEMENT; WHICHEVER IS GREATER FOR ALL CASES.
- BENCHMARK: CITY OF PHARR BENCHMARK #41 LOCATED ON THE NORTH SIDE OF SAM HOUSTON RD. HORIZONTAL DATUM IS TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH ZONE. VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM 1988; GEO ID MODEL 1999.
NORTHING: 16594557.838'
EASTING: 1082341.543'
ELEVATION: 112.70'
BENCHMARK 1: SQUARE CUT ON AN EXISTING CURB INLET ON THE SOUTH SIDE OF SAM HOUSTON RD.
NORTHING: 16594348.3500'
EASTING: 1083403.9010'
ELEVATION: 111.252'
- MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE ADJACENT TOP OF CURB OR CROWN OF ROAD, WHICHEVER IS GREATER.
- THE ENGINEER OF RECORD FOR THE SITE DEVELOPMENT HAS ESTIMATED THAT AN APPROXIMATE TOTAL FOR LOT 1 WILL REQUIRE 137,721 CUBIC-FEET (3.1616 ACRE-FEET) OF DETENTION WILL BE PROVIDED WITHIN THE PROPOSED DETENTION POND. THIS IS AN ESTIMATE ONLY AND DETAILED ANALYSIS MAY REVEAL DIFFERENT REQUIREMENTS.
- A 5' SIDEWALK SHALL BE CONSTRUCTED ALONG THE FRONT OF RESIDENTIAL LOTS AT THE ISSUANCE OF A BUILDING PERMIT.
- ADA RAMPS AND LANDINGS SHALL BE CONSTRUCTED ALONG SAM HOUSTON RD. AND INTERNAL SUBDIVISION ROADS WILL BE CONSTRUCTED BY DEVELOPER AT SUBDIVISION CONSTRUCTION STAGE.
- THE HOME OWNERS ASSOCIATION MUST COLLECT DUES AND MAINTAIN SAID PRIVATE STREETS, STREET SIGNS, LANDSCAPE IMPROVEMENTS IN COMMON DRAINAGE AREAS, STREET LIGHTS ELECTRIC BILL, AND OTHER AMENITIES IMPROVEMENTS FOR THIS SUBDIVISION. REFERENCE HOA DOCUMENT RECORDED IN DOCUMENT NUMBER _____, HIDALGO COUNTY, OFFICIAL RECORDS.
- EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (T.P.D.E.S.).
- STORM WATER POLLUTION PREVENTION PLAN SHALL BE REQUIRED PRIOR TO CONSTRUCTION AND MUST COMPLY WITH CITY OF PHARR.
- ENFORCEMENT OF ALL PLAT NOTES AND DEDICATIONS SHALL BE THE RESPONSIBILITY OF THE AGENCY OR ENTITY WHOM THE DEDICATION IS GRANTED.
- OWNERS AND HOA TO MAINTAIN R.O.W., PERIMETER OF SUBDIVISION.
- OWNERS AND HOA TO MAINTAIN COMMON AREAS.
- OWNERS AND HOA TO MAINTAIN DETENTION AREA.
- 1/2" IRON RODS WITH A CAP MARKED "SAMES" SET AT ALL LOT CORNERS.
- LANDSCAPING AS PER CITY OF PHARR ORDINANCE
- ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE BUILDING PHASE IN ORDER TO MEET FIRE PROTECTION REQUIREMENTS.

SURVEY NOTES:

- BASIS OF BEARING THE WEST LINE OF LOT 4, BLOCK 12 AND LOT 1, BLOCK 13, A.J. MCCOLL SUBDIVISION, AS PER MAP RECORDED IN VOLUME 21, PAGE 598, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
- ALL COORDINATES, BEARINGS, AND DISTANCES ARE BASED ON THE TEXAS COORDINATE SYSTEM (NAD 83), TEXAS STATE PLANES, SOUTH ZONE, US SURVEY FEET, GRID. BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE BASED ON RECORDED DOCUMENT.
- ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
- ELEVATIONS ON THIS PROJECT ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).



LOCATION MAP
SCALE: 1"=800'

WHITECHAPEL PARK SUBDIVISION

BEING A RESIDENTIAL SUBDIVISION CONTAINING 13.17 (573,468.42 SQUARE FEET) GROSS ACRE TRACT OF LAND OUT OF LOT 186, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 0, PAGE 27, DEED RECORDS, HIDALGO COUNTY, TEXAS.

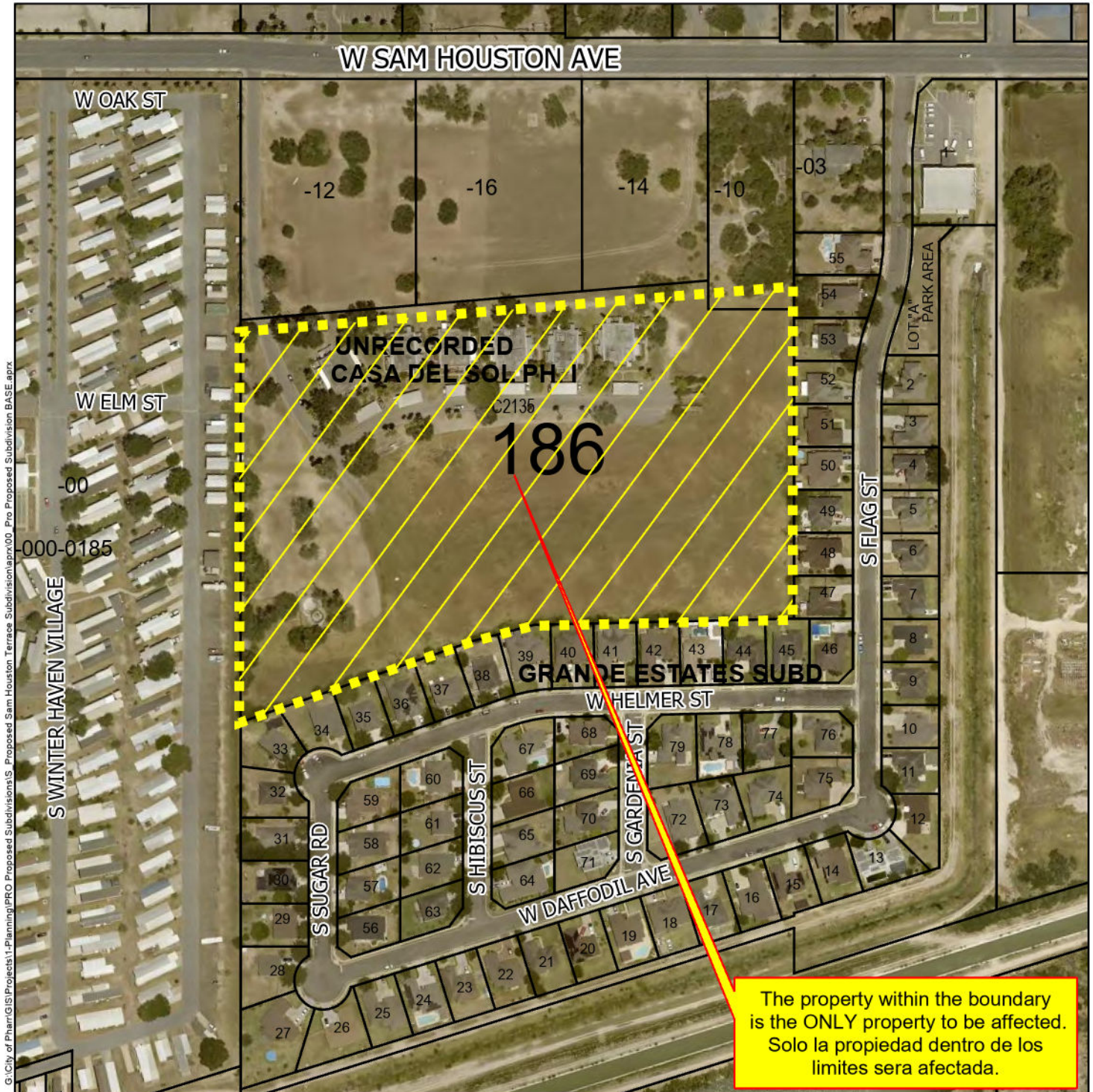
**PRELIMINARY SUBMITTAL
FOR REVIEW ONLY 3/14/2025 THIS DOCUMENT
SHALL NOT BE RELIED ON FOR RECORDING OR
ANY OTHER INTENDED USE**

DATE OF PREPARATION: MARCH 2025

SHEET 2 OF 2



200 S. 10TH ST. SUITE 1500. TEL. (956) 702-8880
McAlLEN, TEXAS 78501 FAX: (956) 702-8883
TEX. REG. ENGINEERING FIRM F-10602
TEX. REG. SURVEYING FIRM No. 101416-00



 Subject Property

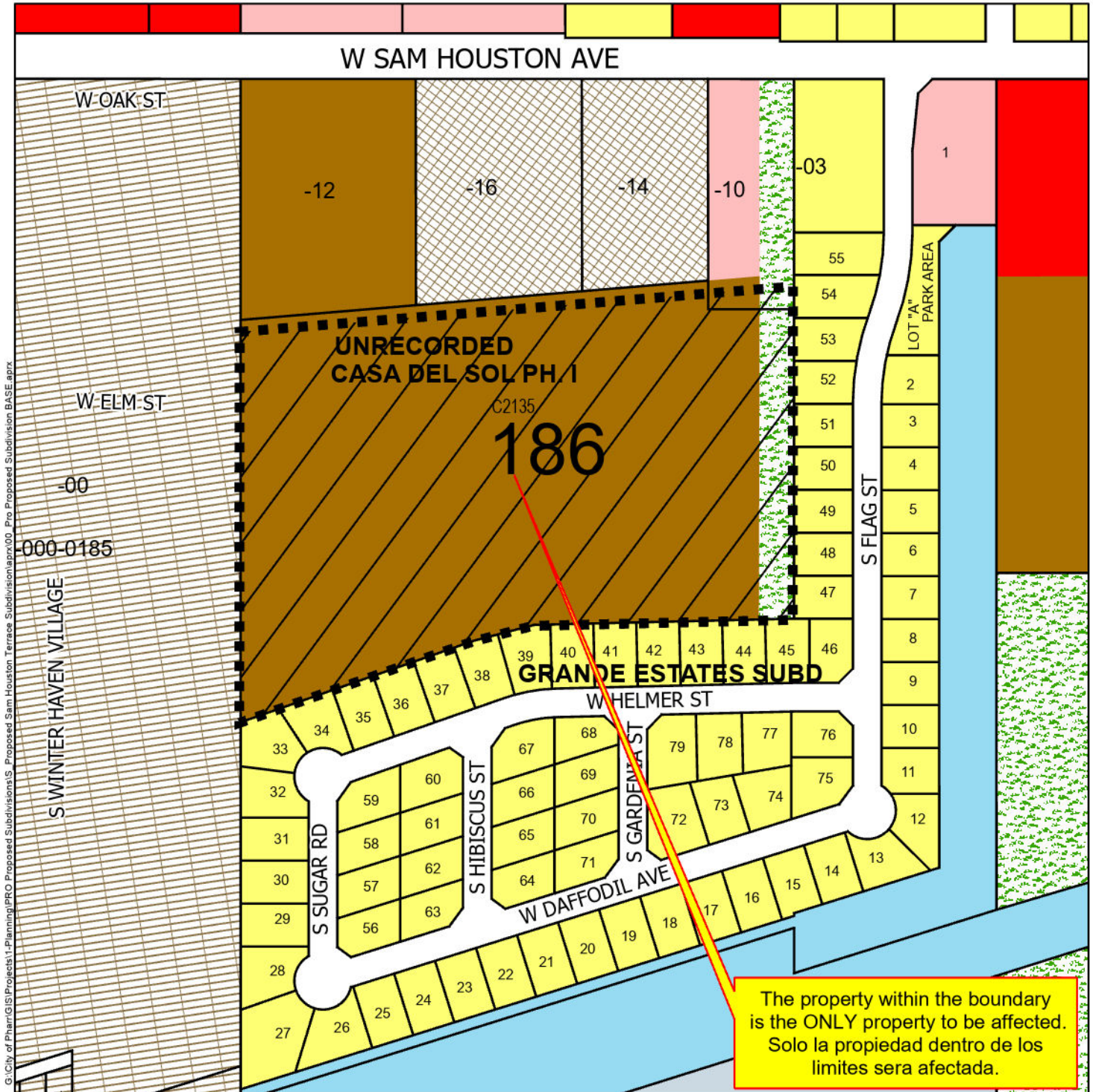
City of Pharr, Texas
Engineering Department
956.702.5355

Scale: 1:3,000

0 125 250 500 750 1,000 Feet



Date: 2/4/2025



- | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | Subject Property |
| Mobile Home | Business District | Office Professional | |





Pharr
Development Services



Site Photo

800 Block of West Sam Houston Ave.

