

**TAKE NOTICE THAT A REGULAR MEETING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF PHARR, TEXAS
WILL BE HELD AT CITY HALL, COMMISSIONERS' ROOM,
118 S. CAGE BLVD., 2ND FLOOR, PHARR, TEXAS
COMMENCING AT 4:00 PM ON
MONDAY, FEBRUARY 24, 2025**

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law. All persons desiring to address the governing body must register with the presiding city clerk prior to the scheduled meeting.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes of February 10, 2025 - Regular Called Meeting

D. PLATS:

1) Garza-Garza Consulting Engineers, representing Armando Guerrero Chapa, President of Black Diamond Services, LLC., is requesting final plat approval of the proposed Black Diamond Subdivision. The property is legally described as being a 3.91 acre tract of land out of Lot 237, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 2800 Block of South Cage Boulevard. **SUB#231131**

2) HALFF, representing Guy D. Walker, President for Blue Beacon, Inc., is requesting preliminary plat approval of the proposed Lot 1 Blue Beacon Subdivision. The property is legally described as being 3.40 acres out of Lot 93, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 5000 Block of North IH 69C. **SUB#250102**

3) R. E. Garcia & Associates, representing Andres Zuniga, Manager for Zuko Family Limited Partnership, is requesting preliminary plat approval of the proposed Veterans Industrial Park Subdivision. The property is legally described as being a 14.88 acre tract of land being a portion of Lot 5, Closner Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1700 Block of South Veterans Blvd. ("I" Rd.). **SUB#231027**

E. ANNOUNCEMENTS:

F. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Board may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Board may convene in a closed, non-public meeting to discuss any matters related to **real property and deliberate the purchase, exchange, lease, or value of real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Board may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Board may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Board may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation**. The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.087, the Board may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues**. The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

G. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

H. ADJOURNMENT:

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Clerk's Office at 956-402-4100 Ext 1007 or FAX 956-475-3442 or Email cityclerksoffice@pharr-tx.gov for further information. Braille is not available.

I, the undersigned authority, do hereby certify that the above notice of said Regular Meeting of the Planning and Zoning Commission of the City of Pharr was posted on the bulletin board at City Hall and on the City's web page at www.pharr-tx.gov. This Notice was posted on the 19th day of February 2025 at 5:15 p.m. and will remain posted continuously for at least 72 hours preceding the scheduled time of said Meeting, in compliance with Chapter 551 of the Government Code, Vernon's Texas Codes, Annotated (Open Meetings Act).

WITNESS MY HAND AND SEAL, this 19th day of February 2025



ALESSANDRA GARCIA, CPM
ASSISTANT CITY CLERK

I certify that the attached notice and agenda of items to be considered by the Planning and Zoning Commission was removed from the bulletin board of City Hall on the _____ day of _____, 20____ by,

Name: _____

Title: _____

MINUTES
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. February 10, 2025 - 4:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, February 10, 2025, and following is the record of attendance.

MEMBERS PRESENT: Danny Wylie
Rafael Munguia
Charlie Ramirez
Romeo Cantu Jr.
Mercedes Guillen
Ruben Luna

MEMBERS ABSENT: Javier Gutierrez
Andy Castro

STAFF PRESENT: Ricardo Rodriguez III, City Attorney
Joe Garza, Asst. Director of Development Services
Eddie Martinez, Planner III
Nancy Hernandez, Administrative Asst.
Tania Goo, Secretary

ITEM A. CALL TO ORDER

1) ROLL CALL AND POSSIBLE ACTION ON THE EXCUSING OF ANY ABSENT MEMBER

Danny Wylie, Chairman, called the meeting to order at 4:00 p.m. Roll call established a quorum.

Board Member, Charlie Ramirez **moved** to excuse the absent members. Board Member Rafael Munguia seconded the motion and when put to a vote it, carried unanimously.

ITEM B. PUBLIC TESTIMONY

There were no comments from the public.

ITEM C. APPROVAL OF MINUTES

1) MINUTES FOR JANUARY 13, 2024 - REGULAR MEETING

Danny Wylie, Chairman, introduced the item.

Board Member, Rafael Mungia, moved to approve. Board Member, Charlie Ramirez, second the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING:

NONE

ITEM E. PLATS:

- 1) MELDEN & HUNT INC., REPRESENTING JAIME ROEL GARCIA, DIRECTOR FOR GARCIA-REYNA FAMILY LIMITED PARTNERSHIP, A TEXAS LIMITED PARTNERSHIP, REQUESTED PRELIMINARY PLAT APPROVAL OF THE PROPOSED MASTER PLAT OF ARBOR VISTA ESTATES SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A RESUBDIVISION OF 14.996 ACRES OUT OF LOTS 32 AND 33, L.R. BELL DEVELOPMENT "E" SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 700 BLOCK OF NORTH VETERANS BOULEVARD ("I" ROAD). SUB#250104**

Eddie Martinez, Planner III, introduced the item and went over the property's legal description. He stated the property was located within the 700 block of North Veterans Boulevard ("I" RD). The property was currently zoned Residential Multifamily High Density District (R-MFHD) and General Business District (C). Mr. Martinez stated the adjacent zones were Residential Multifamily High Density District (R-MFHD) and Agricultural and/or Open Space District (A-O) to the north, General Business District (C), Residential Multifamily High Density District (R-MFHD) and City limits to the east and Single-Family Residential District (R-1) to the south and west. He further stated the property was designated for Commercial and Single-Family Residential use in the Land Use Plan.

Eddie Martinez, Planner III, stated staff recommended preliminary plat approval of the proposed Master Plat of Arbor Vista Estates Subdivision, subject to the conditions noted in the packet.

A brief discussion was held regarding street access among board members and staff.

There being no further discussion, Board Member, Charlie Ramirez, moved to approve the request for preliminary plat approval of proposed Master Plat of Arbor Vista Estates Subdivision. Board Member, Romeo Cantu Jr., seconded the motion and when put to a vote, it carried unanimously.

ITEM F. ANNOUNCEMENTS:

None

ITEM G. CLOSED SESSION:

None

ITEM H. RECONVENE:

None

ITEM I. ADJOURMENT:

There being no further business, Board Member, Charlie Ramirez **moved** to adjourn. Board Member, Romeo Cantu Jr. seconded the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 4:06 p.m.

PLANNING & ZONING COMMISSION

Danny Wylie, Chairman

ATTEST:

Andy Castro, Secretary

APPROVED: _____



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.1.

DATE SUBMITTED: February 19, 2025

MEETING DATE: February 24, 2025

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: Garza-Garza Consulting Engineers, representing Armando Guerrero Chapa, President of Black Diamond Services, LLC., is requesting final plat approval of the proposed Black Diamond Subdivision. The property is legally described as being a 3.91 acre tract of land out of Lot 237, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 2800 Block of South Cage Boulevard. **SUB#231131**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Garza-Garza Consulting Engineers, representing Armando Guerrero Chapa, President of Black Diamond Services, LLC., is requesting final plat approval of the proposed Black Diamond Subdivision.

Fiscal Consideration:

Staff Recommendation:

Development Services recommends final plat approval of the proposed Black Diamond Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 2/19/2025
Approved - 2/20/2025
Final Approval - 2/20/2025



MEMORANDUM

DATE: MONDAY, FEBRUARY 24, 2025

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: BLACK DIAMOND SUBDIVISION
FILE NO. **SUB#231131**

GENERAL INFORMATION:

APPLICANT: Garza-Garza Consulting Engineers, representing Armando Guerrero Chapa, President of Black Diamond Services, LLC., is requesting final plat approval of the proposed Black Diamond Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 3.91 acre tract of land out of Lot 237, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 2800 Block of South Cage Blvd.

ZONING: The property is currently zoned Planned Unit Development District (PUD). The adjacent zones are Planned Unit Development District (PUD) to the north, south and east, Agricultural and/or Open Space District (A-O), General Business District (C), Residential Townhouse District (R-TH) and Residential Multi-Family District (R-MF) to the west. The property is designated for commercial use in the Land Use Plan.

PROPERTY PROPOSED USE: Retail.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends final plat approval of the proposed Black Diamond Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:** 1. In compliance.

EASEMENTS: 1. In compliance.

**SIDEWALK:
ADA:** 1. In compliance.

FIRE PROTECTION: 1. In compliance.

WATER: 1. In compliance.

SEWER: 1. In compliance.

DRAINAGE: 1. In compliance.

OTHER: 1. In compliance.

This item will go before the City Commission meeting of March 03, 2025 at 4:00 p.m.

STATE OF TEXAS – COUNTY OF HIDALGO
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I (WE), **ARMANDO GUERRERO CHAPA, AS PRESIDENT OF BLACK DIAMOND SERVICES, LLC**, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AS DESIGNATED HEREIN AS **BLACK DIAMOND SUBDIVISION**, TO THE CITY OF PHARR, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATED TO THE PUBLIC ALL STREETS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

ARMANDO GUERRERO CHAPA, PRESIDENT
BLACK DIAMOND SERVICES, LLC
2300 TAMPIO CO. ST.
HIDALGO, TX 78557

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED **ARMANDO GUERRERO CHAPA, PRESIDENT OF BLACK DIAMOND SERVICES, LLC**, PROVED TO ME THROUGH HIS/HERS/THEIR TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE(S) TO BE THE PERSON(S) WHOSE NAME(S) ARE SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

STATE OF TEXAS – CITY OF PHARR
PLAT APPROVAL CERTIFICATE

I, THE UNDERSIGNED, MAYOR TO THE CITY OF PHARR, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY MAYOR: AMBROSIO HERNANDEZ DATE _____ ATTEST: CITY SECRETARY DATE _____

I, THE UNDERSIGN CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PHARR, TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISIONS REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

PLANNING AND ZONING COMMISSION CHAIRMAN: DANNY WYLIE DATE _____

HIDALGO COUNTY IRRIGATION DISTRICT No. 2 CERTIFICATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2

ON THIS _____ DAY OF _____, 20____

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS), SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHT OF WAY OR EASEMENTS.

PRESIDENT ATTEST: SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E., C.F.M. DATE _____
GENERAL MANAGER

SURVEYOR CERTIFICATE

I, THE UNDERSIGNED, CERTIFY THAT THE ABOVE PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

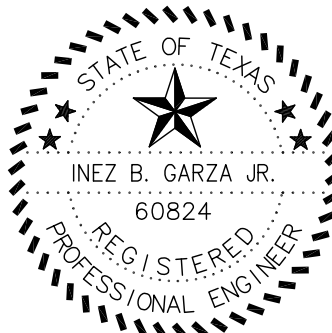
JOSE MARIO GONZALEZ DATE _____
REG. PROFESSIONAL LAND SURVEYOR NO. 5571



ENGINEER CERTIFICATE

I, THE UNDERSIGNED, A REGISTERED ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

INEZ B. GARZA JR., P.E. DATE 04.15.24
REG. PROFESSIONAL ENGINEER NO. 60824



LEGEND	
●	FOUND 1/2" IRON ROD
○	SET 1/2" IRON ROD
○	FOUND 60-D NAIL
○	SET 60-D NAIL
○	FOUND GPS
▲	POWER POLE
○	GUY WIRE
○	TELEPHONE PEDESTAL
○	GAS MARKER
○	ELECTRICAL BOX
○	WATER VALVE
○	WATER METER
○	FIRE HYDRANT
○	SANITARY SEWER MANHOLE
○	STORM DRAIN MANHOLE
○	STORM DRAIN INLET
○	STORM DRAIN GRATED INLET
○	IRRIGATION STAND PIPE
○	IRRIGATION GATE VALVE
○	SIGN
○	FENCE
○	DRAINAGE NATURAL FLOW
ELEVATIONS	
○	NATURAL GROUND
○	EDGE OF PAVEMENT (TOP)
○	TOP OF ASPHALT

ABBREVIATIONS	
H.C.	HANDICAPPED
R.O.W.	RIGHT-OF-WAY
R	RADIUS
L.F.	LINEAR FEET
S.F.	SQUARE FEET
C.F.	CUBIC FEET
FF	FINISH FLOOR
FL	FLOW LINE
U.E.	UTILITY EASEMENT
UGC	UNDERGROUND CABLE
TOC	TOP OF CURB
TOW	TOP OF WALK
TOA	TOP OF ASPHALT
GU	GUTTER
RSD	ROAD SIDE DITCH
IRF	IRON ROD FOUND

H.C.A.D. INFO
PROPERTY ID: 450824
LEGAL DESCRIPTION:
KELLY PHARR TRACT
E361.68-1165-5495 EXC
N42.5-E333 LOT 236 1.05AC
GR 0.91AC NET

McCANN STORAGE SUBDIVISION
INS. # 216865
HIDALGO COUNTY MAP RECORDS

H.C.A.D. INFO
PROPERTY ID: 450826
LEGAL DESCRIPTION:
KELLY PHARR TRACT S165'
LOT 236 5.00AC GR 4.81AC
NET

METES AND BOUNDS DESCRIPTION

A 3.91 ACRE TRACT OF LAND OUT OF LOT 237, KELLY-PHARR SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 3.91 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF LOT 237, THENCE, SOUTH 08°30'45" WEST, WITH THE WEST LINE OF SAID LOT 237, A DISTANCE OF 840.76 FEET, THENCE SOUTH 81°29'15" EAST, A DISTANCE OF 60.00 FEET TO A HALF (1/2) INCH IRON ROD FOUND FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND AND POINT OF BEGINNING;

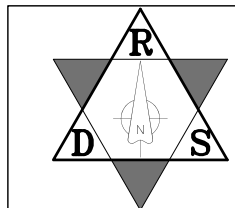
THENCE, SOUTH 81°29'15" EAST, A DISTANCE OF 415.00 FEET TO A HALF (1/2) INCH IRON ROD FOUND FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 08°30'45" WEST, A DISTANCE OF 410.00 FEET, PARALLEL TO THE WEST LOT LINE OF LOT 237, TO A HALF (1/2) INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

THENCE, NORTH 81°29'15" WEST, A DISTANCE OF 415.00 FEET TO A HALF (1/2) INCH IRON ROD FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

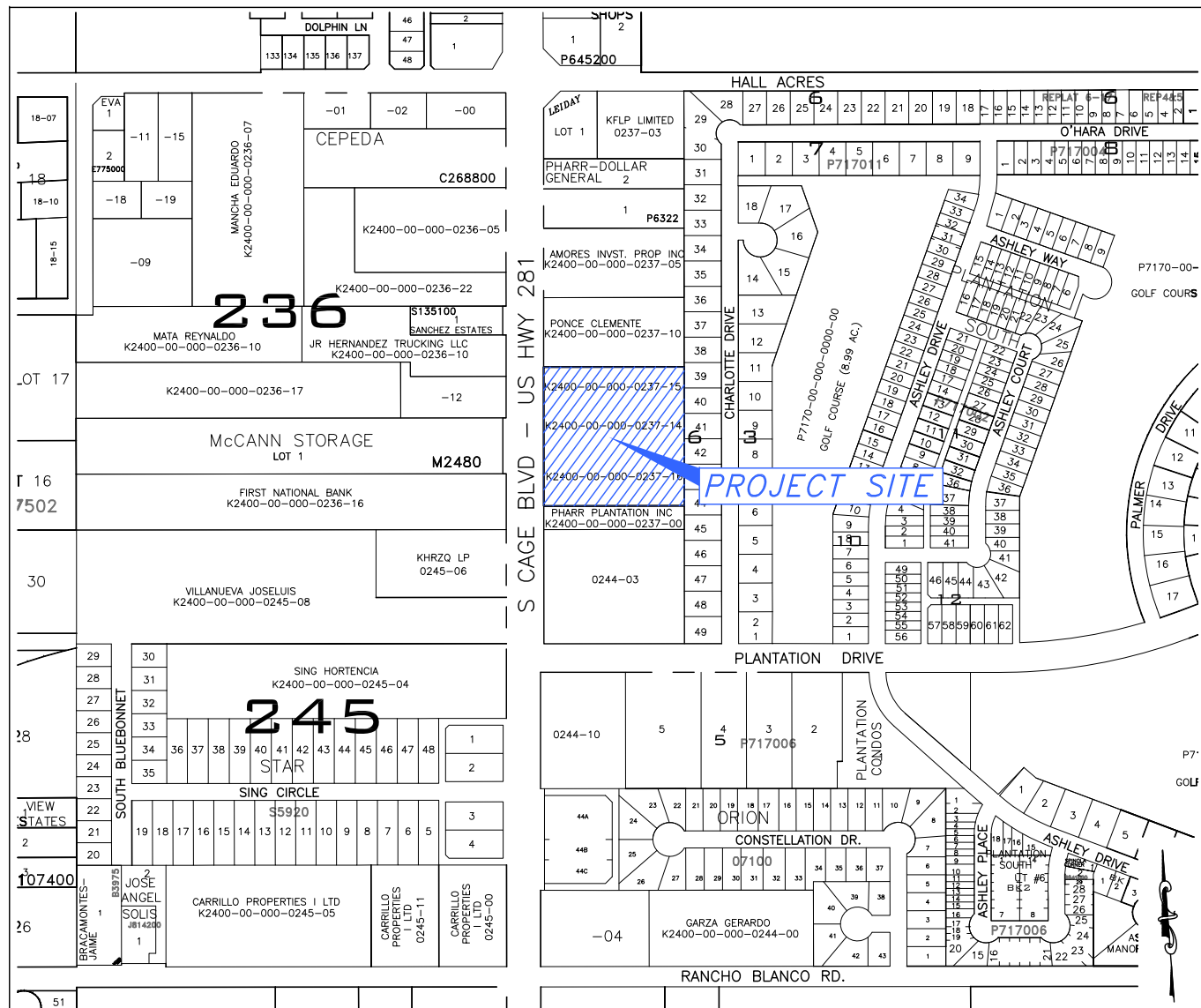
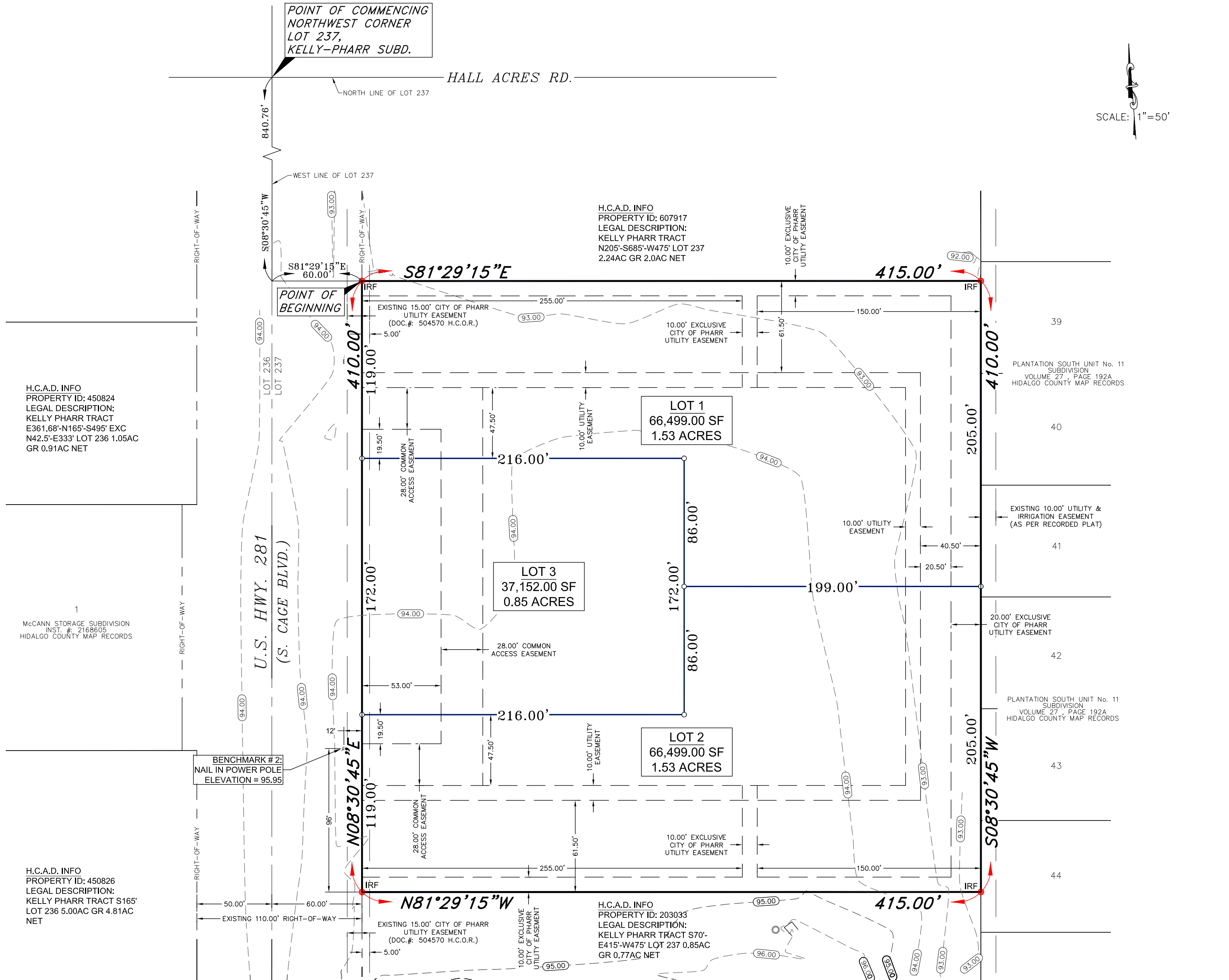
THENCE, NORTH 08°30'45" EAST, A DISTANCE OF 410.00 FEET, TO THE POINT OF BEGINNING, CONTAINING 3.91 ACRES OF LAND MORE OR LESS.

PRINCIPAL CONTACTS:				
NAME	ADDRESS	PHONE(S)	FAX(ES)	
OWNER: ARMANDO GUERRERO CHAPA	2300 TAMPIO ST. – HIDALGO, TX 78557	(956) 408-1381		
ENGINEER: INEZ B. GARZA JR. P.E.	3011 SAN FELIPE ST. – SAN JUAN, TX 78589	(956) 451-4729 (956) 905-2360	(956) 380-5156	
SURVEYOR: JOSE MARIO GONZALEZ R.P.L.S.	24593 FM 88 – MONTE ALTO, TX 78538	(956) 380-5154	(956) 380-5156	



RIO DELTA SURVEYING

24593 FM 88, MONTE ALTO, TX 78538
(TEL) 956-380-5154 (FAX) 956-380-5156
EMAIL: MARIO@RIODELTASURVEYING.COM
T.B.P.L.S. FIRM # 10013900



AREA MAP – SCALE: 1"=500'

SUBDIVISION PLAT OF

BLACK DIAMOND

A 3.91 ACRE TRACT OF LAND OUT OF LOT 237, KELLY-PHARR SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

DATE OF PREPARATION: APRIL 15, 2024

GARZA-GARZA CONSULTING ENGINEERS

FIRM REGISTRATION No. F-004983
3011 SAN FELIPE ST. - SAN JUAN, TX 78589
(956) 451-4729 OR (956) 905-2360

CITY OF PHARR – HIDALGO COUNTY

PAGE: 1 OF 1



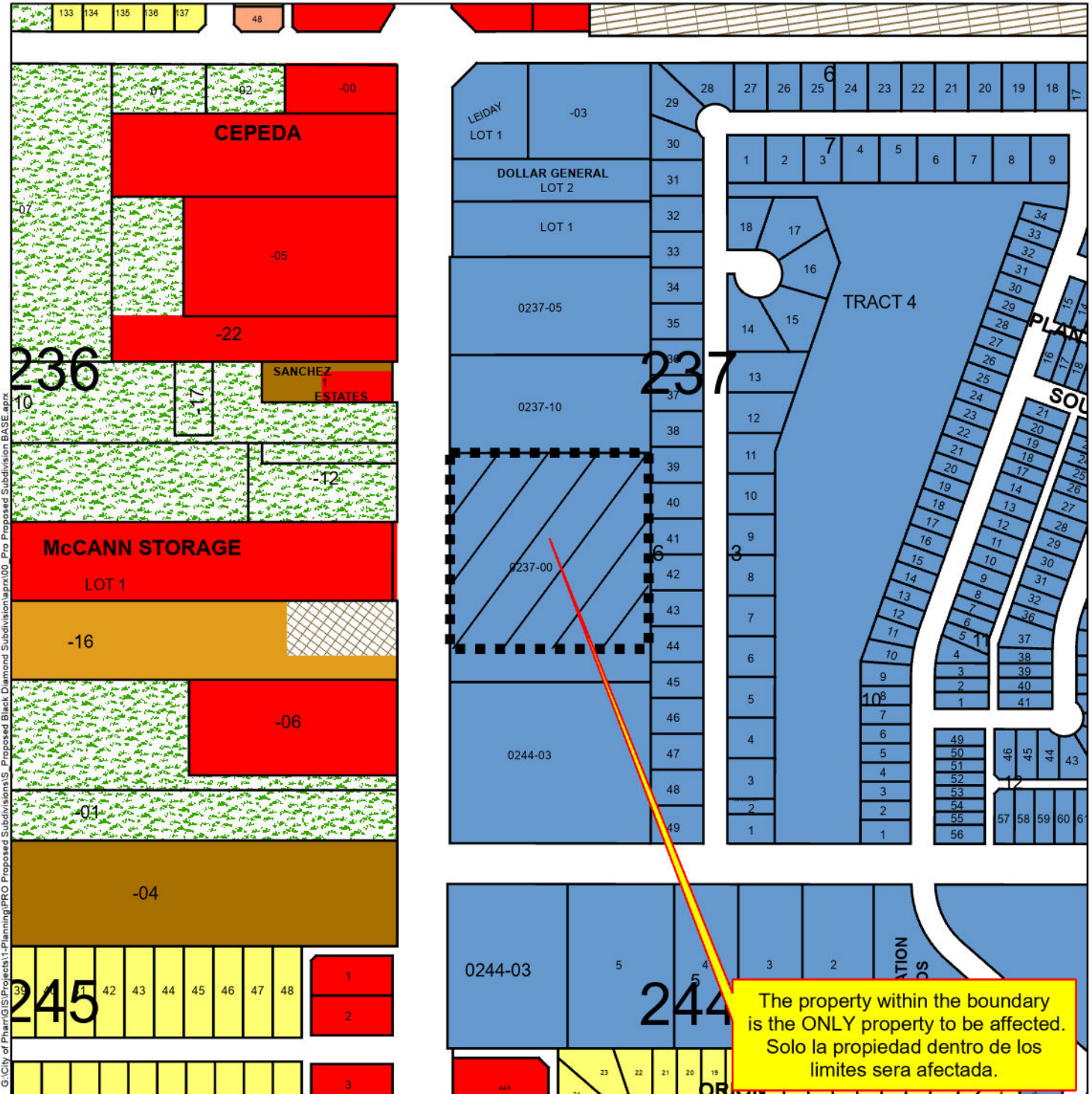
FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



ZONING





Pharr
Development Services



Site Photo

2800 Block of South Cage Blvd.





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.2.

DATE SUBMITTED: February 19, 2025

MEETING DATE: February 24, 2025

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: HALFF, representing Guy D. Walker, President for Blue Beacon, Inc., is requesting preliminary plat approval of the proposed Lot 1 Blue Beacon Subdivision. The property is legally described as being 3.40 acres out of Lot 93, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 5000 Block of North IH 69C. **SUB#250102**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: HALFF, representing Guy D. Walker, President for Blue Beacon, Inc., is requesting preliminary plat approval of the proposed Lot 1 Blue Beacon Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Lot 1 Blue Beacon Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 2/19/2025
Approved - 2/20/2025
Final Approval - 2/20/2025



Pharr

Development Services



MEMORANDUM

DATE: MONDAY, FEBRUARY 24, 2025

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: LOT 1 BLUE BEACON SUBDIVISION
FILE NO. **SUB#250102**

GENERAL INFORMATION:

APPLICANT: HALFF, representing Guy D. Walker, President for Blue Beacon, Inc., is requesting preliminary plat approval of the proposed Lot 1 Blue Beacon Subdivision.

LEGAL DESCRIPTION: The property is legally described as being 3.40 acres out of Lot 93, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 5000 Block of North IH 69C.

ZONING: The property is currently zoned Limited Industrial District (L-I). The adjacent zones are Limited Industrial District (L-I) to the north, east, south and west. The property is designated for industrial use in the Land Use Plan.

PROPERTY PROPOSED USE: Truck wash.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Lot 1 Blue Beacon Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Streetlights shall be 250' max spacing, along frontage.
2. Shall obtain Rulis from TxDot for any work within TxDot R.O.W.

EASEMENTS:

1. No overlapping easements, if any.
2. Easements shall be 15' Exclusive to City of Pharr, for water or sewer lines within property, if any.
3. Show all the dedicated easements on the plat (label existing or dedicated by plat).

**SIDEWALK:
ADA:**

1. See attached comments.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Provide approved drainage report.
2. See attached comments.

OTHER:

1. H.C.I.D. #2 verify with district for any comments.
2. Verify the county on owners signature block.
3. Remove Hilda Pedraza from City Clerk signature line.
4. Add the dimension arrow around property.
5. Remove extra information within lot.
6. Provide and use nearest B.M. to site.
7. Staff comments attached.

STAFF REVIEW MEETING FOR:

LOT 1 BLUE BEACON SUBDIVISION

COMMENTS: **Initials: J.R.** **FEBRUARY 11, 2025**

WATER:

- Easements will need to be 15' exclusive to the City of Pharr.
- Water line on 281 will need to be 12" PVC C-900 as per City of Pharr Master Plan.
- Will need to install (2) two 12" gate valves one on the south-side and one on the north-side of the proposed 12" water line (Frontage Rd.)
- Will need to show water valves.
- Will need to obtain RULIS permit from Tx DOT for water line installation.
- Will need to show all water crossing details.
- Comments made change depending on circumstances.
- Follow City of Pharr Construction Standards Manual.

SEWER:

- Sanitary sewer remains private.
- Proposed 6" sanitary sewer service will need to be wye gasket to gasket (no saddles allowed)
- Comments made change depending on circumstances.
- Follow City of Pharr Construction Standards Manual.

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: Staff Preliminary Blue Beacon Subdivision

Reviewed by: J. Gonzalez

2/3/2025

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM (SHERWIN-WILLIAMS SILVER BRIGHT 631-1336)** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of

20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.
17. General Plat Notes & Restrictions: **ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE BUILDING PHASE IN ORDER TO MEET FIRE PROTECTION REQUIREMENTS.**

Plat Note: ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE BUILDING PHASE IN ORDER TO MEET FIRE PROTECTION REQUIREMENTS.

Additional Comments:

- 1. Shall replace the proposed 8-inch waterline on the frontage road along property line to a 12-inch water line.**
- 2. Shall add a fire hydrant on the entrance along the frontage road.**
- 3. Shall remove island near proposed fire hydrant.**
- 4. Shall relocate the fire hydrant by dumper pad to the south-east proposed 8-inch waterline.**



Pharr

Public Works



MAYOR Ambrosio Hernandez, MD

COMMISSIONERS Michael Pacheco | Roberto "Bobby" Carrillo | Ramiro Caballero, MD | Daniel Chavez | Ricardo Medina | Itza Flores

Staff review Meeting

DATE: 02/12/2025

Blue Beacon Subdivision

3.46 Acres

Pharr Tx, 78577

Plat Notes:

- **No comments**

General Notes:

- **8" bleeder is required for outfall connection.**
- **Show an approved (by City Engineering Department) Drainage plan layout with details.**
- **Include Best Management Practices and submit Sediment Erosion Control Plan with details.**
- **Must submit (1) digital copy in (USB) for review and three (3) hard copies of the Storm Water Pollution Prevention Plan at pre-construction meeting. Will be reviewed and must be approved Prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.**

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Lot 1 Blue Beacon
Subdivision

DATE: January 30, 2025

REVIEW: Preliminary (comments plans dated 1-27-2025)

PLAT

1. Signature and seal from P.E. is required.
2. Signature and seal from R.P.L.S. is required.
3. Provide a drainage easement for detention area.
4. Note No. 1---Correct northing value is **16602406.559.**

SITE PLAN

1. Include a sidewalk layout that follows all TX Dot requirements and ADA guidelines for building permit phase.

DRAINAGE

1. Drainage plan to be reviewed and approved at building permit stage.
2. Drainage report to be reviewed and approved by HCDD No. 1.
3. Provide a discharge permit from TX Dot for storm discharge.

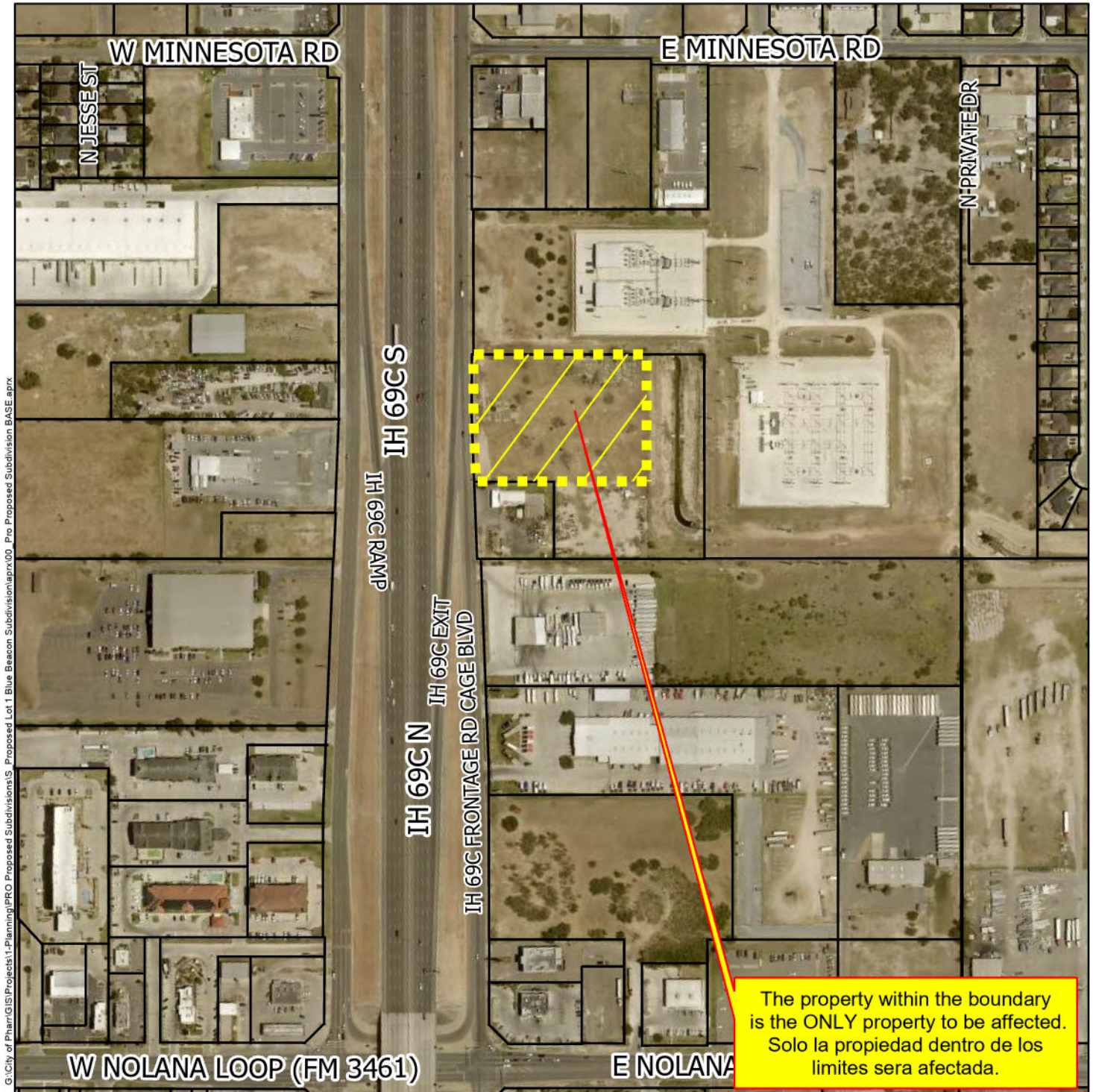
CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

STANDARD REQUIREMENTS

- **PRIOR TO SUBMITTING PRECONSTRUCTION PLANS, FIELD VERIFY ALL UTILITY TIE-INS FOR WATER, SEWER, AND STORM LINES.**
- Access road must follow City of Pharr standards for paving.
- Testing may be required for concrete, paving and backfilling items.
- Curb and gutter must meet design strength of 3000 psi and must include 3 #3 continuous rebar.
- Sidewalk must meet design strength of 3000 psi and must follow City design standard and ADA guidelines.
- Driveway shall have a design strength of 4000 psi and concrete drive shall meet the appropriate design strength to prevent damage. Must follow City design standard and ADA guidelines.
- Drainage headwall shall include a footing on top and shall be a minimum 18 inches long.
- Headwall width from edge to edge of discharge pipe shall be 18 inches minimum.
- Gate valve concrete collar dimensions shall be 30 inches x 30 inches x 6 inches.
- Proposed fire hydrants shall be 6 feet from back of curb.
- Fire hydrant detail preferred brand Mueller. (Note: connection from hydrant to valve box is mechanical joint to mechanical joint and from valve box to watermain is flange to flange).
- Show all utility crossings that may be present in this site plan.
- Sanitary sewer service wye requires concrete cradle.
- Provide Public Works discharge permit when discharging into City storm system.
- **TCEQ requires 9'-ft separation between water and sewer lines. This includes manholes to be spaced out away from water lines.**
- At time of subdivision completion all lots shall be required to provide positive drainage and outfall towards internal street and into nearest storm infrastructures.
- **SHOULD ANY DESIGN ISSUES OCCURE DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE ENGINEER ON RECORD TO ADDRESS THESE ISSUES AND COORDINATE WITH THE CONTRACTOR. ALSO PROVIDE REVISED PLANS TO ENGINEERING DEPARTMENT FOR REVIEW.**

Proposed Subdivision
 Lot 1 Blue Beacon Subdivision
 Halff Associates, INC.
 AERIAL



Subject Property

City of Pharr, Texas
 Engineering Department
 956.702.5355

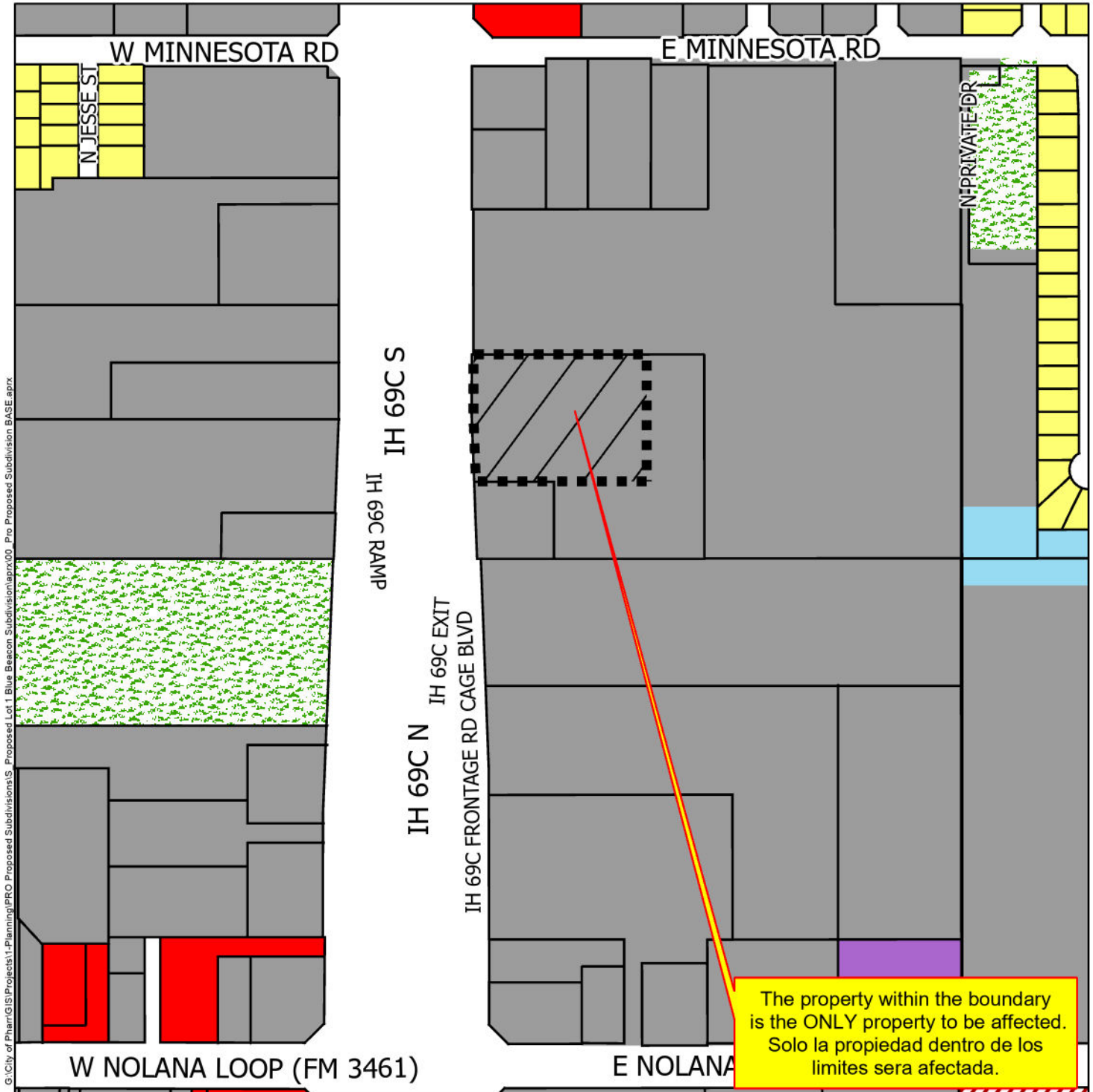
Scale: 1:4,465

0 185 370 740 1,110 1,480 Feet



Date: 2/19/2025

Proposed Subdivision
 Lot 1 Blue Beacon Subdivision
 Halff Associates, INC.
 ZONING





Pharr
Development Services



Site Photo

5000 Block of North IH 69C





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.3.

DATE SUBMITTED: February 19, 2025

MEETING DATE: February 24, 2025

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: R. E. Garcia & Associates, representing Andres Zuniga, Manager for Zuko Family Limited Partnership, is requesting preliminary plat approval of the proposed Veterans Industrial Park Subdivision. The property is legally described as being a 14.88 acre tract of land being a portion of Lot 5, Closner Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1700 Block of South Veterans Blvd. ("I" Rd.). **SUB#231027**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: R. E. Garcia & Associates, representing Andres Zuniga, Manager for Zuko Family Limited Partnership, is requesting preliminary plat approval of the proposed Veterans Industrial Park Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Veterans Industrial Park Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 2/19/2025
Approved - 2/20/2025
Final Approval - 2/20/2025



Pharr

Development Services



MEMORANDUM

DATE: MONDAY, FEBRUARY 24, 2025

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: VETERANS INDUSTRIAL PARK SUBDIVISION
FILE NO. **SUB#231027**

GENERAL INFORMATION:

APPLICANT: R. E. Garcia & Associates, representing Andres Zuniga, Manager for Zuko Family Limited Partnership, is requesting preliminary plat approval of the proposed Veterans Industrial Park Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 14.88 acre tract of land being a portion of Lot 5, Closner Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 1700 Block of South Veterans Blvd. ("I" Rd.).

ZONING: The property is currently zoned Heavy Industrial District (H-I). The adjacent zones are City limits to the north, Agricultural and/or Open Space District (A-O) and City limits to the east, Agricultural and/or Open Space District (A-O) to the south and Limited Industrial District (L-I) to the West. The property is designated for industrial use in the Land Use Plan.

PROPERTY PROPOSED USE: Warehouse.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Veterans Industrial Park Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Provide street lights along E. Zaragosa Street.
2. Verify R.O.W. along S. Veterans Blvd.
3. Provide dimensions for R.O.W., along S. Veterans Blvd.
4. Street to be labeled dedicated by plat.

EASEMENTS:

1. Show all existing easement adjacent to property.
2. Provide a 15' exclusive easement to City of Pharr.
3. Label City of Pharr easements and MHWSC.

**SIDEWALK:
ADA:**

1. Follow City of Pharr standards.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Drainage report to be approved.
2. See attached comments.

OTHER:

1. Need engineer and surveyor signature on plat.
2. Plat note # 4, provide nearest B.M. to site, current B.M. is from S. Jackson & W. Hi-Line.
3. Shall follow MHWSC standards, project engineer to provide a copy of the comments.
4. HCID#2 comments attached.
5. Attached are staff comments.

STAFF REVIEW MEETING FOR: *VETERANS INDUSTRIAL PARK SUBDIVISION*

COMMENTS: **Initials:** J.R. **FEBRUARY 12, 2025**

WATER:

- Easements will need to be 15' exclusive to the City of Pharr.
- Proposed casing on Veterans will need to be steel double size of water line.
- Domestic water will need to be from M.H.W.S. (CCN's belongs to M.H.W.S.C)
- Proposed 12" water line for fire protection will need to be on exclusive easement to the City of Pharr.
- Will need to show water utilities for Lot 3 and 4.
- Will need to show all water crossing and connections details.
- Comments made change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual.

SEWER:

- Easements will need to be 15' exclusive to the City of Pharr.
- Will need to show sanitary sewer for Lot 1 and 2
- Will need to show manhole lid detail.
- Will need to show all sewer crossing and connections details.
- Manhole cover will need to be composite base with City of Pharr logo.
- Comments made change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: Staff Preliminary Veterans Industrial Subdivision

Reviewed by: J.Gonzalez 2/11/2025

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM (SHERWIN-WILLIAMS SILVER BRIGHT 631-1336)** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of

20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.
17. General Plat Notes & Restrictions: **ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE BUILDING PHASE IN ORDER TO MEET FIRE PROTECTION REQUIREMENTS.**

Additional Comments:

- 1. All designed waterlines shall be looped as per City of Pharr Fire Department. It should include all lots.**
- 2. Shall add fire hydrants for lot 3 and 4.**
- 3. Additional fire hydrants may be required based on future site plans.**
- 4. Fire hydrants along Veterans Road on the proposed 24-inch waterline shall be replaced with new fire hydrants.**
- 5. Shall proposed a turn around for Zaragosa Street.**



Staff Review Meeting

DATE: 01/31/2024

Veterans Industrial Park Subdivision

14.88 Acres

Pharr Tx, 78577

Plat Notes:

- **No comments**

General Notes:

- **8" bleeder is required for outfall connection.**
- **Show utility profiles, lines, crossing, elevations, and separation details.**
- **Show an approved Drainage layout plan.**
- **The Public Works department recommends eat lot have its own detention pond.**
- **Include an approved Sediment Erosion Control Plan with details.**
- **All stormwater manhole covers shall have the New City Logo.**
- **Must submit (1) digital copy in (USB) for review and three (3) hard copies of the Storm Water Pollution Prevention Plan at pre-construction meeting. Will be reviewed and must be approved Prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.**

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Veterans Industrial Park
Subdivision

DATE: February 13, 2025

REVIEW: Preliminary (comments plans dated 1-6-2025)

PLAT

1. Dedicate ROW along Hi-Line Rd. for future development.
2. Signature and seal for P.E. & R.P.L.S. is required.
3. Onsite detention easement shall be required for each lot.
4. City of Pharr exclusive easements shall require 15'-ft of width.
5. Note No. 8--- Include the word "**current**".
6. Notes No. 9 & 10---Remove the word "**lot**".
7. Will these lots be annexed into City of Pharr limits?

SITE PLAN

1. Please verify separation between water and sewer line. Separation must meet TCEQ requirements of 9'-ft horizontal distance.
2. Provide details of water line bedding, hydrants, water valves with concrete collars, thrust blocks, and services.
3. Provide details of sanitary sewer bedding, composite manhole lid, fiberglass manhole with concrete dome or concrete collar, and services with cleanout.
4. Provide details of storm line bedding, manholes, and type A inlets.
5. Provide detail of curb and gutter showing 3#3 continuous rebar

DRAINAGE

1. Drainage plan to be reviewed and approved at building permit stage.
2. Drainage report to be reviewed and approved by HCDD No. 1.
3. All detention ponds that have depths at 3'-ft or greater require a perimeter fence.
4. Tie-in to storm sewer shall be required to outfall using an 8"-in bleeder line.
5. Please verify that tie-in to storm ditch has not been maxed out in volume.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

STANDARD REQUIREMENTS

- **PRIOR TO SUBMITTING PRECONSTRUCTION PLANS, FIELD VERIFY ALL UTILITY TIE-INS FOR WATER, SEWER, AND STORM LINES.**
- Access road must follow City of Pharr standards for paving.
- Testing may be required for concrete, paving and backfilling items.
- Curb and gutter must meet design strength of 3000 psi and must include 3 #3 continuous rebar.
- Sidewalk must meet design strength of 3000 psi and must follow City design standard and ADA guidelines.
- Driveway shall have a design strength of 4000 psi and concrete drive shall meet the appropriate design strength to prevent damage. Must follow City design standard and ADA guidelines.
- Drainage headwall shall include a footing on top and shall be a minimum 18 inches long.
- Headwall width from edge to edge of discharge pipe shall be 18 inches minimum.
- Gate valve concrete collar dimensions shall be 30 inches x 30 inches x 6 inches.
- Proposed fire hydrants shall be 6 feet from back of curb.
- Fire hydrant detail preferred brand Mueller. (Note: connection from hydrant to valve box is mechanical joint to mechanical joint and from valve box to watermain is flange to flange).
- Show all utility crossings that may be present in this site plan.
- Sanitary sewer service wye requires concrete cradle.
- Provide Public Works discharge permit when discharging into City storm system.
- **TCEQ requires 9'-ft separation between water and sewer lines. This includes manholes to be spaced out away from water lines.**
- At time of subdivision completion all lots shall be required to provide positive drainage and outfall towards internal street and into nearest storm infrastructures.
- **SHOULD ANY DESIGN ISSUES OCCURE DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE ENGINEER ON RECORD TO ADDRESS THESE ISSUES AND COORDINATE WITH THE CONTRACTOR. ALSO PROVIDE REVISED PLANS TO ENGINEERING DEPARTMENT FOR REVIEW.**

From: [John Salinas](#)
To: [Eddie Martinez](#)
Cc: [Javier Lopez](#)
Subject: VETERANS INDUSTRIAL PARK SUBDIVISION
Date: Thursday, February 1, 2024 9:06:51 AM

***** This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. *****

Hello Eddie,

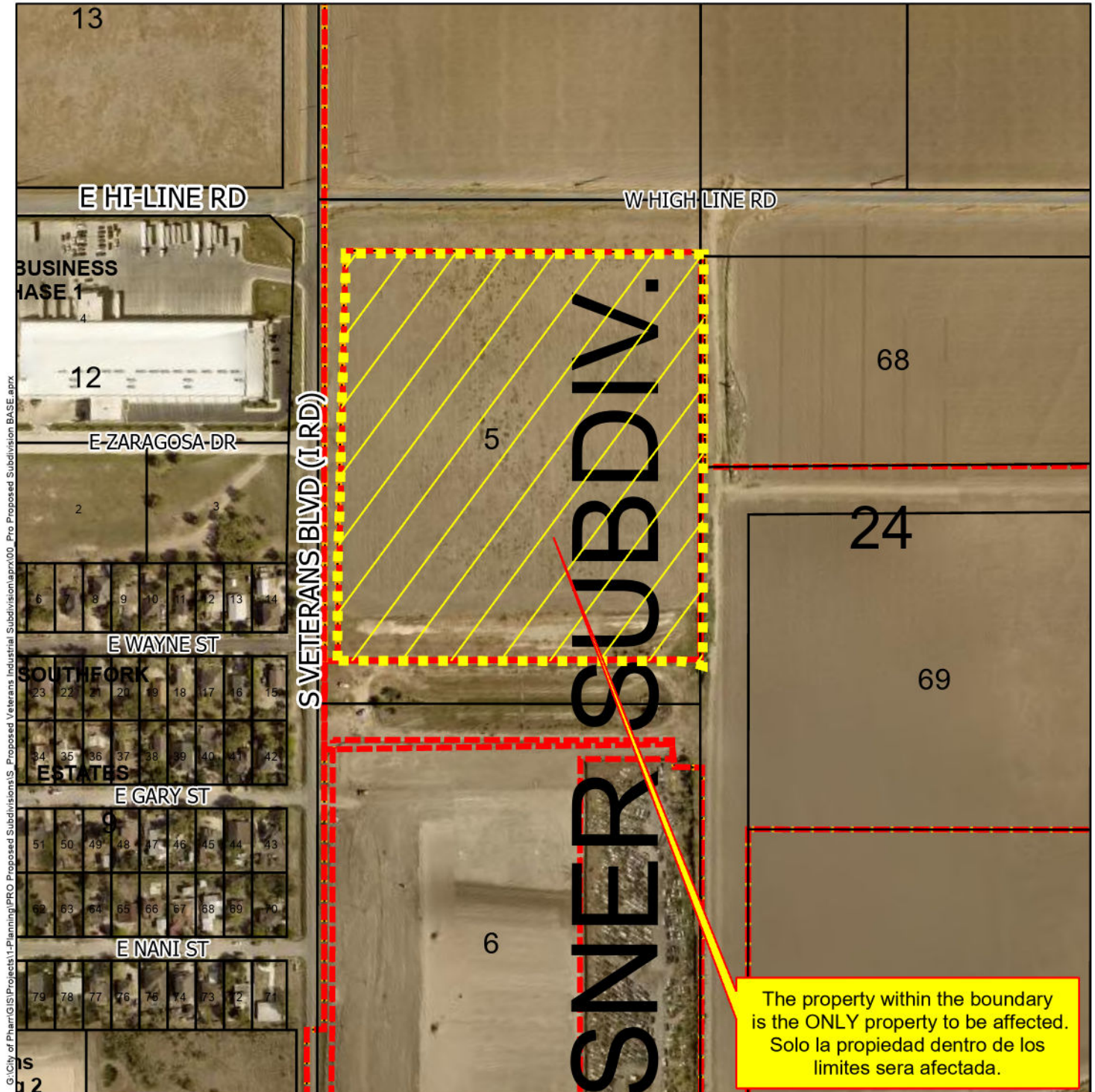
HCID2 claims for the proposal:

1. We have a general right of way covering all the lot Vol. 19, Pg. 337 and Vol. 19, Pg. 225.
2. We have a 50' canal right of way continuing on the west side as shown in map Vol. 0, Pg. 63-5. Refer to document 3269135.
3. We have the original drain ditch ownership and there is no indication of our facility. As shown in Vol. 16, Pg. 5.
4. We need the recorded warranty deed for the property being developed.

Sorry for the delay in responding. If there are any questions, please advise. Thank you.

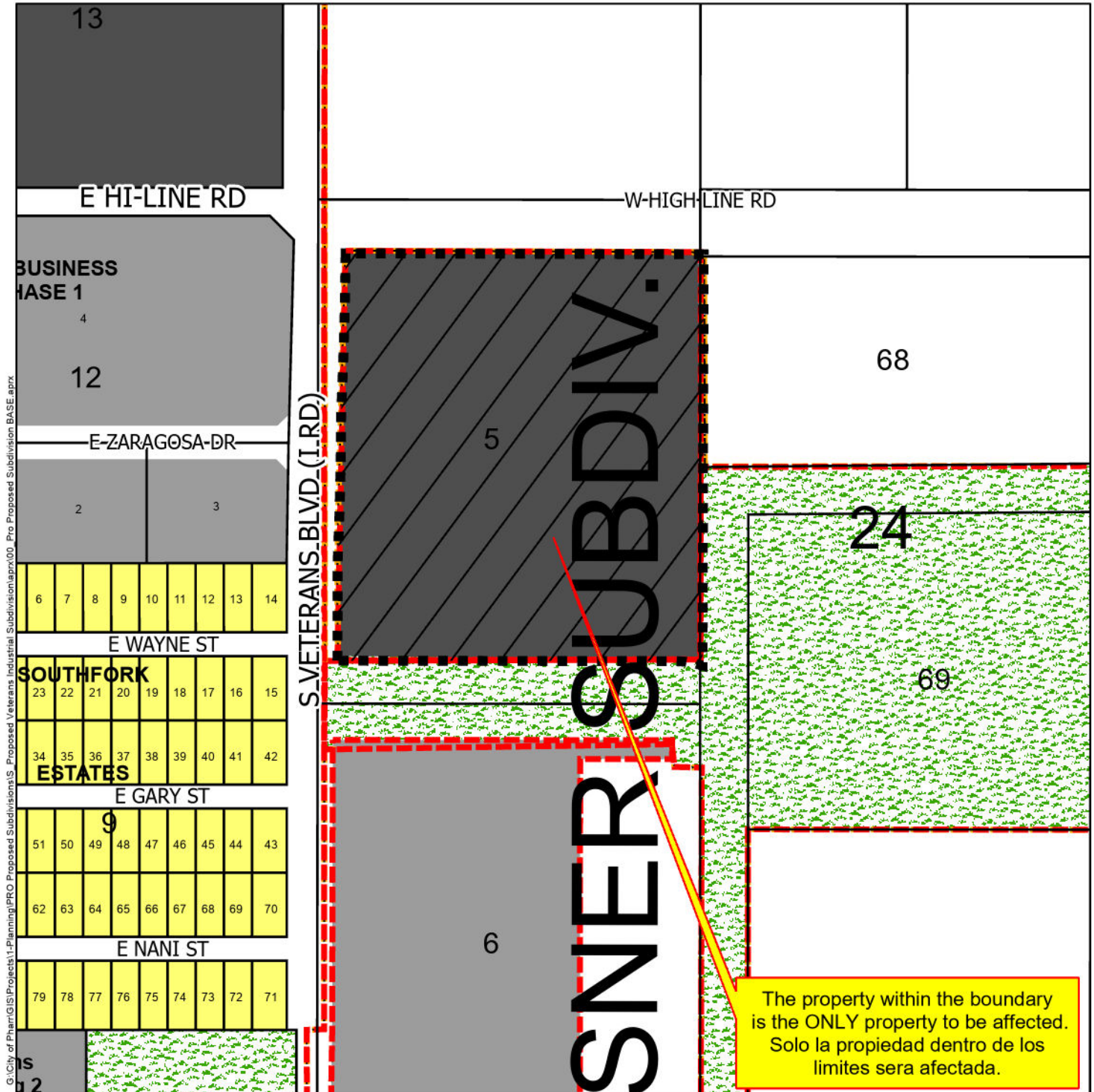
John Salinas
Hidalgo County Irrigation District No. 2
P.O. Box 6
San Juan, TX 78589
Phone: (956) 787-1422
Fax: (956) 781-7622
Email: jbs_hcid2@att.net

AERIAL



- | | | | | |
|--|---|--|---|--|
| <ul style="list-style-type: none"> Agricultural Open Space Single Family Single Family Small Lot Residential Multi-Family Residential Multi-Family High Density Mobile Home Townhouse HUD Code | <ul style="list-style-type: none"> Rail Road R.O.W Government Owned General Business Business District Drainage Easement Heavy Commercial Heavy Industrial Limited Industrial | <ul style="list-style-type: none"> Neighborhood Commercial Office Professional PSJA ISD Hidalgo ISD Valley View ISD Planned Unit Development | <p>Future Land Use</p> <p>FUTURELAND</p> <ul style="list-style-type: none"> Irrigation Agriculture Single Family Res. Multi-Family Res. Manufactured Homes | <ul style="list-style-type: none"> Industrial Commercial Public/Semi Public ROW Parks Subject Property |
|--|---|--|---|--|

ZONING



- | | | | | |
|--|---|--|---|--|
| <ul style="list-style-type: none"> Agricultural Open Space Single Family Single Family Small Lot Residential Multi-Family Residential Multi-Family High Density Mobile Home Townhouse HUD Code | <ul style="list-style-type: none"> Rail Road R.O.W Government Owned General Business Business District Drainage Easement Heavy Commercial Heavy Industrial Limited Industrial | <ul style="list-style-type: none"> Neighborhood Commercial Office Professional PSJA ISD Hidalgo ISD Valley View ISD Planned Unit Development | <p>Future Land Use</p> <p>FUTURELAND</p> <ul style="list-style-type: none"> Irrigation Agriculture Single Family Res. Multi-Family Res. Manufactured Homes | <ul style="list-style-type: none"> Industrial Commercial Public/Semi Public ROW Parks Subject Property |
|--|---|--|---|--|





Pharr
Development Services



Site Photo

1700 Block of South Veterans Blvd. ("I" Rd.).

