

**TAKE NOTICE THAT A REGULAR MEETING
OF THE PLANNING & ZONING COMMISSION
OF THE CITY OF PHARR, TEXAS
WILL BE HELD AT CITY HALL, COMMISSIONERS' ROOM,
118 S. CAGE BLVD., 2ND FLOOR, PHARR, TEXAS
COMMENCING AT 4:00 PM ON
MONDAY, FEBRUARY 10, 2025**

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law. All persons desiring to address the governing body must register with the presiding city clerk prior to the scheduled meeting.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes for January 13, 2025 - Regular Called Meeting

D. PLATS:

1) Melden & Hunt Inc., representing Jaime Roel Garcia, Director for Garcia-Reyna Family Limited Partnership, A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Master Plat of Arbor Vista Estates Subdivision. The property is legally described as being a Resubdivision of 14.996 acres out of Lots 32 and 33, L.R. Bell Development "E" Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 700 Block of North Veterans Boulevard ("I" Road). **SUB#250104**

E. ANNOUNCEMENTS:

F. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Board may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Board may convene in a closed, non-public meeting to discuss any matters related to **real property and deliberate the purchase, exchange, lease, or value of real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Board may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Board may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Board may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.087, the Board may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

G. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

H. ADJOURNMENT:

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Clerk's Office at 956-402-4100 Ext 1007 or FAX 956-475-3442 or Email cityclerksoffice@pharr-tx.gov for further information. Braille is not available.

I, the undersigned authority, do hereby certify that the above notice of said Regular Meeting of the Planning and Zoning Commission of the City of Pharr was posted on the bulletin board at City Hall and on the City's web page at www.pharr-tx.gov. This Notice was posted on the 6th day of February 2025 at 3:30 p.m. and will remain posted continuously for at least 72 hours preceding the scheduled time of said Meeting, in compliance with Chapter 551 of the Government Code, Vernon's Texas Codes, Annotated (Open Meetings Act).

WITNESS MY HAND AND SEAL, this 6th day of February 2025



ALESSANDRA GARCIA, CPM
ASSISTANT CITY CLERK

I certify that the attached notice and agenda of items to be considered by the Planning and Zoning Commission was removed from the bulletin board of City Hall on the _____ day of _____, 20____ by,

Name: _____

Title: _____

MINUTES
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. January 13, 2025 - 4:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, January 13, 2025, and following is the record of attendance.

MEMBERS PRESENT: Danny Wylie
Charlie Ramirez
Andy Castro
Ruben Luna
Mercedes Guillen
Javier Gutierrez

MEMBERS ABSENT: Rafael Munguia
Romeo Cantu Jr.

STAFF PRESENT: Ricardo Rodriguez III., City Attorney
Kimberly A. Mendoza, Director of Development Services
Joe Garza, Asst. Director of Development Services
Eddie Martinez, Planner III
Laura Fonseca, Planner II
Nancy Hernandez, Administrative Assistant
Tania Goo, Secretary

ITEM A. CALL TO ORDER

1) ROLL CALL AND POSSIBLE ACTION ON THE EXCUSING OF ANY ABSENT MEMBER

Danny Wylie, Chairman, called the meeting to order at 4:00 p.m. Roll call established a quorum.

Board Member, Charlie Ramirez, moved to excuse the absent members. Board Member, Javier Gutierrez, seconded the motion and when put to a vote it, carried unanimously.

ITEM B. PUBLIC TESTIMONY

There were no comments from the public.

ITEM C. APPROVAL OF MINUTES

1) MINUTES FOR DECEMBER 23, 2024 - REGULAR MEETING

Danny Wylie, Chairman, introduced the item.

Board Member Charlie Ramirez, **moved** to approve. Board Member, Javier Gutierrez, second the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING:

- 1) Halff Associates, Inc., representing KVS Development, LLC., owner, filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to Heavy Industrial District (H-I). The property is legally described as being a 49.49 acre tract situated in Narciso Cabazos Survey, Abstract No. 30, Hidalgo County, Texas, being out of Lots 93, 94, 95, 96, 97 and 98, Blocks 31 and 32 of the San Juan Plantation Subdivision. The property is physically located at the 2000 Block of East Military Highway. COZ#241233**

Laura Fonseca, Planner II, introduced the item and stated applicant requested a Change of Zone from Agricultural and/or Open Space District (A-O) to Heavy Industrial District (H-I) to develop and construct warehouses. She went over the property's legal description and physical address and stated the property fronted West Military Highway, a 120 ft. – 150 ft. principal arterial street which runs west and east with a posted speed limit of 40 to 55 miles per hour as identified in the City of Pharr's Thoroughfare Plan. The property was legally described as being 49.49 acre tract situated in Narciso Cabazos Survey, Abstract No. 30, Hidalgo County, Texas, being out of Lots 93, 94, 95, 96, 97 and 98, Blocks 31 and 32 of the San Juan Plantation Subdivision.

Laura Fonseca, Planner II, stated the property was zoned Agricultural and/or Open Space District (A-O) upon annexation to the city on November 18, 2024. The properties to the north, south, west, and east were within the City of Pharr Extraterritorial Jurisdiction (ETJ). There have been no other zoning requests within the general vicinity of the subject property since that time. The property was generally designated for industrial use in the Land Use Plan.

Laura Fonseca, Planner II, further stated the Heavy Industrial District (H-I) was established to provide adequate space and site diversification. She stated the area requirements in this district were minimal and would allow both large and small industrial uses either on separate small lots or as part of a park. She stated some screening would be required, but because of the potential for hazardous or possibly blighting uses, this district should not be located close to residential areas of any type. Areas should not be zoned to this usage unless they were located on or close to arterials capable of carrying commercial and truck traffic.

Laura Fonseca, Planner II, further stated eight (8) letters were mailed out to the surrounding property owners within a two hundred (200) foot radius on December 23, 2024, and a legal notice was published in the Advance News Journal on December 18, 2024. A corrected legal notice was published in the Advance News Journal on January

15, 2025, to reflect the new City Commission meeting date. Staff received no response to the letters or the legal notice.

Laura Fonseca, Planner II, stated Development Services had recommended approval of the rezoning request from Agricultural and/or Open Space District (A-O) to Heavy Industrial District (H-I) as the property met area requirements and had adequate ingress and egress. She stated the request was compatible with the industrial uses and land use patterns in the area and was in conformance with the Future Land Use Plan. If approved, the owner must comply with all City Ordinances and City Department requirements.

There being no further discussion, Board Member Andy Castro **moved** to approve. Board Member Charlie Ramirez seconded the motion and when put to vote, it carried unanimously with six members present and voting.

- 2) Melden & Hunt, Inc., representing Southwind Gardens, LLC., owner, filed with the Planning and Zoning Commission a request for a Change of Zone from General Business District (C) to Residential Multi-Family High Density District (R-MFHD). The property is legally described as being 4.284 acres, more or less, out of all of Lot 4 and out of Lot 1, Southwind Gardens Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1904 West Ridge Road. COZ#241232**

Laura Fonseca, Planner II, introduced the item and stated that the applicant requested a Change of Zone from General Business District (C) to Residential Multi-Family High Density District (R-MFHD) to develop and construct apartment complexes.

Laura Fonseca, Planner II, stated the properties to the north, south, west, and east were zoned General Business District (C), when the city annexed in 1986. There were no other zoning requests within the general vicinity of the subject property since that time. The property was generally designated for general business use in the Land Use Plan.

Laura Fonseca, Planner II, further stated the Residential Multi-Family High Density District (R-MFHD) was established to provide adequate space and site diversification for medium to high density areas. This may be a zone for transitional areas developed for single-family usage, but because of the need for rehabilitation, or changes in the character of the neighborhood, were now deemed suitable for some multifamily development. She stated this zone allowed medium to high density developments, and should be located where additional requirements for streets, water, fire protection, wastewater, drainage and adequate open space shall be met. R-MFHD uses should not run traffic over long distances of single-family residential-sized streets or neighborhoods and should be located close to arterials or collectors capable of carrying the additional traffic. Multi-family developments were not a buffer between single-family and commercial uses and would need to be properly buffered from nonresidential land uses and traffic, or from pollution and environmental hazards.

Laura Fonseca, Planner II, further stated eight (8) letters were mailed out to the surrounding property owners within a two hundred (200) foot radius on December 23, 2024, and a legal notice was published in the Advance News Journal on December 18, 2024. A corrected legal notice was published in the Advance News Journal on January 15, 2025, to reflect the new City Commission meeting date of January 27, 2025. Staff received no response to the letters or the legal notice.

Laura Fonseca, Planner II, stated Development Services had recommended approval of the request to re-zone from General Business District (C) to Residential Multi-Family High Density District (R-MFHD) as the property met area requirements and had adequate ingress and egress. She stated the proposed re-zoning aligned well with the existing development trends and land use patterns in the general area along South Jackson Road and Old Ridge Road with commercial along the front and multi-family in the rear of the commercial developments. Hence, making it a reasonable fit for the area. She further stated maintaining compatibility with the surrounding land uses were also crucial for ensuring a balanced community. If approved, the owner must comply with all City Ordinances and City Department requirements.

There being no further discussion, Board Member Charlie Ramirez **moved** to approve. Board Member Mercedes Guillen seconded the motion and when put to vote, it carried unanimously.

ITEM E. PLATS:

- 1) Melden & Hunt Inc., representing Leah Marie Wise, Manager for Leah Wise Enterprises, LLC., A Texas Limited Liability Company, requested final plat approval of the proposed Crash Girl Subdivision. The property is legally described as being 1.441 acres out of Lot 100, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 4500 Block of North Interstate Highway- 69C. SUB#240925**

Eddie Martinez, Planner III, introduced the item and went over the property's legal description. He stated the property was located within the 4500 Block of N. IH 69C and the property was zoned Limited Industrial District (L-I). He further stated the adjacent zones were Limited Industrial District (L-I) to the north, east, south and west and the property was designated for industrial use in the Land Use Plan.

Eddie Martinez, Planner III, stated Development Services recommended final plat approval of the proposed Crash Girl Subdivision subject to the following conditions noted in the packet.

Following a brief discussion Board Member Andy Castro **moved** to approve the request for final plat approval of the proposed Crash Girl Subdivision. Board Member Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM F. ANNOUNCEMENTS:

Kimberly A. Mendoza, Director of Development Services, announced there would be a change of time for the next Planning and Zoning Commission meeting from 4:00 p.m. to 6:00 p.m. on Monday, January 27, 2025.

ITEM G. CLOSED SESSION:

None

ITEM H. ADJOURMENT:

There being no further business, Board Member Ruben Luna **moved** to adjourn. Board Member Charlie Ramirez seconded the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 4:13 p.m.

PLANNING & ZONING COMMISSION

Danny Wylie, Chairman

ATTEST:

Andy Castro, Secretary

APPROVED: _____



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.1.

DATE SUBMITTED: February 6, 2025

MEETING DATE: February 10, 2025

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: Melden & Hunt Inc., representing Jaime Roel Garcia, Director for Garcia-Reyna Family Limited Partnership, A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Master Plat of Arbor Vista Estates Subdivision. The property is legally described as being a Resubdivision of 14.996 acres out of Lots 32 and 33, L.R. Bell Development "E" Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 700 Block of North Veterans Boulevard ("I" Road). **SUB#250104**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Melden & Hunt Inc., representing Jaime Roel Garcia, Director for Garcia-Reyna Family Limited Partnership, A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Master Plat of Arbor Vista Estates Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Master Plat of Arbor Vista Estates Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 2/6/2025
Approved - 2/7/2025
Final Approval - 2/7/2025



MEMORANDUM

DATE: MONDAY, FEBRUARY 10, 2025

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: MASTER PLAT OF ARBOR VISTA ESTATES SUBDIVISION FILE NO. SUB#250104
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GENERAL INFORMATION:

APPLICANT: Melden & Hunt Inc., representing Jaime Roel Garcia, Director for Garcia-Reyna Family Limited Partnership, A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Master Plat of Arbor Vista Estates Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a Resubdivision of 14.996 acres out of Lots 32 and 33, L.R. Bell Development "E" Subdivision , Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 700 Block of North Veterans Boulevard ("I" Rd.).

ZONING: The property is currently zoned Residential Multifamily High Density District (R-MFHD) and General Business District (C). The adjacent zones are Residential Multifamily High Density District (R-MFHD) and Agricultural and/or Open Space District (A-O) to the north, General Business District (C), Residential Multifamily High Density District (R-MFHD) and City limits to the east and Single Family Residential District (R-1) to the south and west. The property is designated for commercial and single family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: Apartment complex.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Master Plat of Arbor Vista Estates Subdivision subject to the following conditions:

STREETS, PAVING AND R.O.W.:

1. Streetlights spacing shall be 250' max. spacing along N. Veterans Blvd. and E. Egly Ave.
2. Show irrigation easement along E. Egly Ave.
3. Power poles and other utilities to be relocated to the new R.O.W. line by developer.
4. Provide additional R.O.W., along N. Veterans Blvd., as per City engineering department.

EASEMENTS:

1. Easements shall not overlap.
2. Show gas line easements, if any.
3. Show all existing easements.
4. City of Pharr easement shall read: 15' Exclusive easement to City of Pharr dedicated by plat.

**SIDEWALK:
ADA:**

1. Follow City of Pharr Construction Standards Manual.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

DRAINAGE:

1. Drainage report to be reviewed and approved by H.C.D.D. No.1.

OTHER:

1. Owners dedication signature block use same subdivision name.
2. Provide the full wording for the detention directive, plat note #14.
3. Provide a draft of HOA, for review.
4. Provide the articles of incorporation, for ownership.
5. Update year on signature blocks.
6. Label all monuments.
7. Provide signatures for engineer and surveyor.
8. Provide all pertinent City of Pharr details.
9. Add plat note: Owners to maintain R.O.W. and perimeter of subdivision.

10. Provide calculation flows for sewer.
11. Comments attached from HCID #2.
12. See staff comments attached.

This item will go before the City Commission Meeting of **February 18, 2025** at **4:00 p.m.**

STAFF REVIEW MEETING FOR: *ARBOR VISTA ESTATES SUBDIVISION*

COMMENTS: **Initials: J.R.** **JANUARY 29, 2025**

WATER:

- Easements will need to be 15' exclusive to the City of Pharr.
- All water fittings will need to be MJ with mega locks (no tapping tee.)
- On the northwest connection will need to install MJ tee with valve.
- On lot 1, southwest corner will need to install a MJ tee with flush valve for future water loop.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

SEWER:

- Easements will need to be 15' exclusive to the City of Pharr
- Will need to show all sewer crossing details.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual.

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name:_____

Signature:_____

Date:_____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: Staff preliminary Arbor Vista Estates subdivision

Reviewed by: J. Gonzalez

1/29/2025

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM (SHERWIN-WILLIAMS SILVER BRIGHT 631-1336)** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of

20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.
17. General Plat Notes & Restrictions: **ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE BUILDING PHASE IN ORDER TO MEET FIRE PROTECTION REQUIREMENTS.**

Additional Comments:

- 1. Shall replace existing 12-inch AC waterline with 12-inch PVC waterline along property on I Rd/Veterans Road.**
- 2. Shall replace the existing fire hydrant(s) on I RD/Veterans Road along property.**
- 3. Shall complete waterline loop on master plan for lots 1 lot 2 and lot 3.**
- 4. Shall provide secondary exit/access road for fire apparatus regarding lot 1, lot 2 and lot 3.**



Staff Preliminary Meeting Arbor Vista Estates Subdivision

DATE: 1/28/2025

14.99 acres

Pharr Tx, 78577

Plat Notes:

- No comments

General Notes:

- Shall obtain a Large Construction Notice, and NOI from TCEQ.
- Boring, street cut and curb cut permits must be requested from the Public Works Department.
- Discharge permit required
- 8in bleeder required for Stormwater discharge into the City inlet on Veterans Rd
- Detention pond and drainage details required
- Type 3 construction entrance on sheet 9 not accepted and must be removed
- Construction entrance dimensions must be changed from 50x14ft to the required 50x20ft
- Silt fence detail must be corrected to Steel posts only
- Must submit (1) digital copy in (USB) for review and three (3) hard copies of the Storm Water Pollution Prevention Plan at pre-construction meeting. Will be reviewed and must be approved Prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Arbol Vista Estates
Subdivision Master Plan

DATE: January 30, 2025

REVIEW: Preliminary (comments plans dated 1-27-2025)

PLAT

1. Signature and seal from P.E. is required.
2. Signature and seal from R.P.L.S. is required.
3. Provide a drainage easement for detention area.
4. Note No. 14---Use the correct City of Pharr drainage directive.
5. Provide an additional 10'-ft of ROW on Veterans Blvd. to meet MPO requirements for 100'-ft ROW width.

SITE PLAN

1. Include a sidewalk layout that follows all City of Pharr requirements and ADA guidelines for building permit phase. All ramps shall be required to have truncated domes.
2. Provide all sanitary sewer details. Provide additional flow calculations for proposed sewer line.
3. Show all water line tie-in details.
4. Show details for street and drainage improvements to the south. Must meet all City of Pharr requirements. Check with irrigation district for proposed roadway improvements.

DRAINAGE

1. Drainage plan to be reviewed and approved at building permit stage.
2. Include a drainage area map.
3. Provide all storm drain details.
4. All detention ponds that have depths at 3'-ft or greater require a perimeter fence.
5. Tie-in to storm sewer shall be required to outfall using an 8"-in bleeder line.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:

- As-builts must reflect current field changes. Mark all field changes as existing.
- Must be Geo referenced, and in an AUTOCAD file.
- Submit a physical and electronic copy (USB or CD).

STANDARD REQUIREMENTS

- **PRIOR TO SUBMITTING PRECONSTRUCTION PLANS, FIELD VERIFY ALL UTILITY TIE-INS FOR WATER, SEWER, AND STORM LINES.**
- Access road must follow City of Pharr standards for paving.
- Testing may be required for concrete, paving and backfilling items.
- Curb and gutter must meet design strength of 3000 psi and must include 3 #3 continuous rebar.
- Sidewalk must meet design strength of 3000 psi and must follow City design standard and ADA guidelines.
- Driveway shall have a design strength of 4000 psi and concrete drive shall meet the appropriate design strength to prevent damage. Must follow City design standard and ADA guidelines.
- Drainage headwall shall include a footing on top and shall be a minimum 18 inches long.
- Headwall width from edge to edge of discharge pipe shall be 18 inches minimum.
- Gate valve concrete collar dimensions shall be 30 inches x 30 inches x 6 inches.
- Proposed fire hydrants shall be 6 feet from back of curb.
- Fire hydrant detail preferred brand Mueller. (Note: connection from hydrant to valve box is mechanical joint to mechanical joint and from valve box to watermain is flange to flange).
- Show all utility crossings that may be present in this site plan.
- Sanitary sewer service wye requires concrete cradle.
- Provide Public Works discharge permit when discharging into City storm system.
- **TCEQ requires 9'-ft separation between water and sewer lines. This includes manholes to be spaced out away from water lines.**
- At time of subdivision completion all lots shall be required to provide positive drainage and outfall towards internal street and into nearest storm infrastructures.
- **SHOULD ANY DESIGN ISSUES OCCURE DURING CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE ENGINEER ON RECORD TO ADDRESS THESE ISSUES AND COORDINATE WITH THE CONTRACTOR. ALSO PROVIDE REVISED PLANS TO ENGINEERING DEPARTMENT FOR REVIEW.**

From: [John Salinas](#)
To: [Eddie Martinez](#)
Cc: jlopez@hcid2.org
Subject: RE: Sam Houston Terrace Subdivision; Arbor Vista Estates Subdivision plat review
Date: Tuesday, January 28, 2025 1:56:16 PM
Attachments: [image004.png](#)
[image005.png](#)
[image007.png](#)

***** This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. *****

Hello Eddie,

The HCID2 initial claims, comments and updates as needed for each proposal:

SAM HOUSTON TERRACE SUBDIVISION

1. We have the general r.o.w. covering all the lot. V. 19,pg. 193.
2. We need the recorded warranty deed of ownership.
3. Plat will need to reflect the owner name in the recorded warranty deed.
4. Update the signature block script:
THIS PLAT ... THE ____ (SHORTEN LINE & REMOVE COMMA) DAY OF _____, (LONGER LINE & ADD COMMA) 20 ____.
NO IMPROVEMENTS OF ANY KIND (NO "S") ...
... ATTEST: _____ (NO GAP)
5. We have an 80' Canal r.o.w. within the lot. V. 19, pg. 193 deed and v. 0, pg. 63 map. No development allowed in our r.o.w. Call our office to discuss.
6. Developer will need to replace the pipeline within their subdivision.
7. Plat will need to exclude 0.4 acres from the district. 12.77 acres have been excluded.

ARBOR VISTA ESTATES SUBDIVISION

1. We have the general r.o.w. covering all the lot. V. 20,pg. 467.
2. We need the recorded warranty deed of ownership.
3. Update the signature block:
Remove the # symbol and spell as NO. on the (3) uses. Update the year and add a comma before the year.
... ATTEST: _____ (NO GAP)
SECRETARY (ALIGN LEFT)
4. Plat will need to show we have a standpipe and pipeline V. 16, Pg. 5 map along the south edge. We will need at least 10' exclusive easement within the development. Call our office on the option to release the easement.
5. Plat will need to reference corner lot Kelly-Pharr Subdivision with the P.O.C.
6. This is an excluded area and do not need a petition form .

If there are any questions, please advise or call our office. Thank you.

John Salinas

Hidalgo County Irrigation District No. 2
P.O. Box 6
San Juan, TX 78589
Office: (956) 787-1422
Fax: (956) 781-7622
Email: jbsalinas@hcid2.org

From: Eddie Martinez [mailto:eddie.martinez@pharr-tx.gov]
Sent: Tuesday, January 28, 2025 8:28 AM
To: John Salinas
Subject: Subdivisions

Good morning,

John, Attach please find a subdivision for review meeting will be on January 30, 2025, at 10:00 a.m., also I have one here in my office, can you please come over to pick it up.

Sam Houston Terrace Subdivision --- Hard plans in my office need to come by for plans.

Arbor Vista Estates Master Plans--- Digital copy attached.

Thank you

Heriberto Martinez, Planner III
956-402-4242
P.O. Box 1729
118 S. Cage Blvd.
Pharr Texas, 78577
Website: www.pharr-tx.gov





CITY OF PHARR, TEXAS Disclaimer: If you are not the intended recipient or have received this e-mail in error, please notify me via return e-mail and telephone at 956-402-4000, and permanently delete and purge the original and any copy thereof. This e-mail, with attachments hereto, if any, is intended only for receipt and use by the addressee(s) named herein, and may contain legally privileged and/or confidential information. Regardless of address or routing, if you are not the intended recipient, then you are hereby notified that any use, copying, reproduction, dissemination, distribution, or transmission of this e-mail, and any attachments hereto, is strictly prohibited. Whereas all reasonable steps have been taken to ensure the accuracy and confidentiality of the information and data submitted herein, the City of Pharr and its employees are not liable if information or data is corrupted or does not reach its intended destination.

ARBOR VISTA ESTATES SUBDIVISION

MASTER PUBLIC IMPROVEMENTS

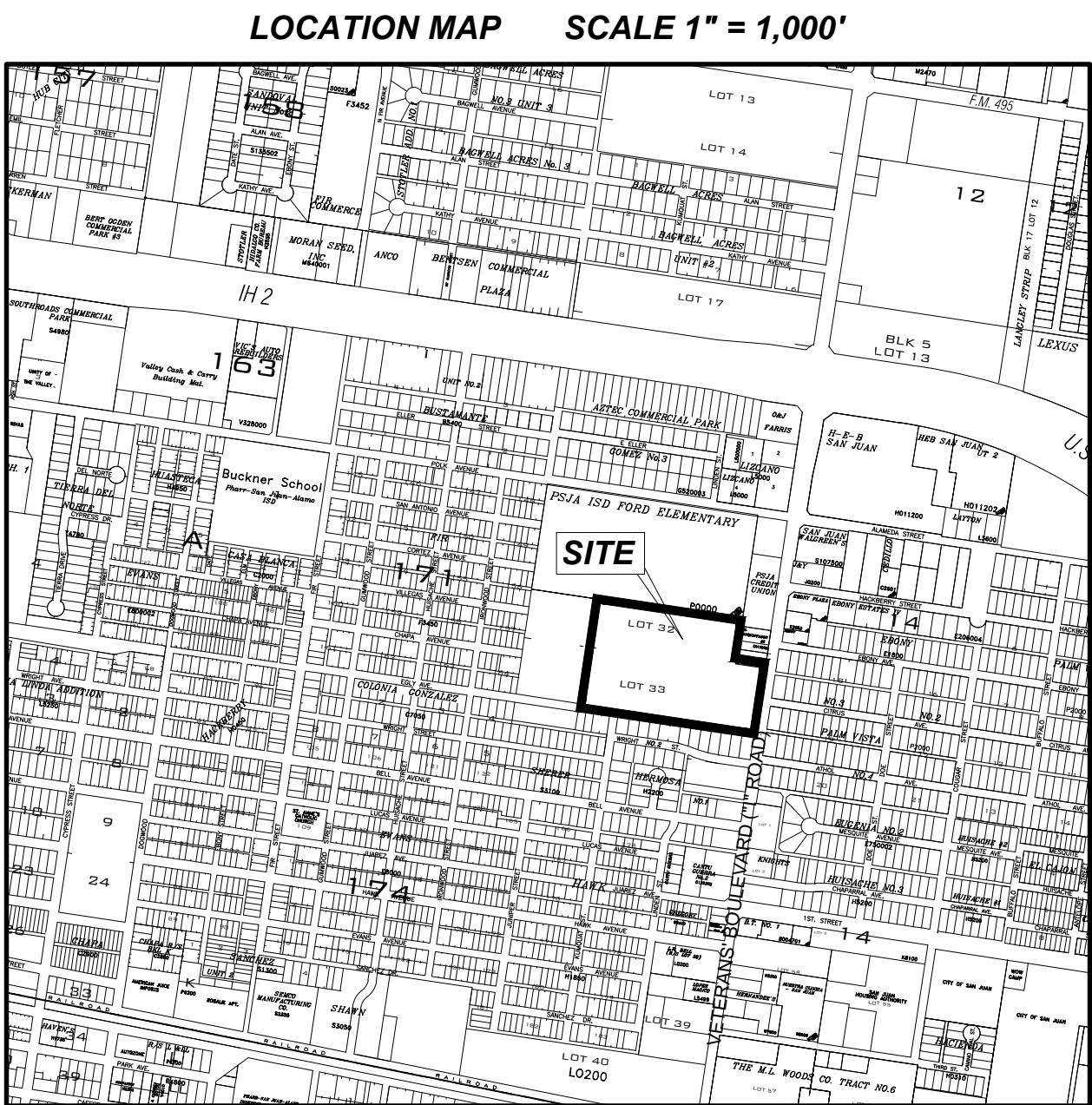
GENERAL CONSTRUCTION NOTES

1. THE INFORMATION SHOWN ON THESE DRAWINGS INDICATING TYPE AND LOCATION OF UNDERGROUND UTILITIES AND ELECTRICAL UTILITIES IS NOT GUARANTEED TO BE EXACT OR COMPLETE. THE LOCATIONS AND SIZES HAVE BEEN TAKEN FROM FIELD WORK AND EXISTING RECORDS AND THE BEST AS-BUILT INFORMATION AVAILABLE; HOWEVER, IT IS EXPECTED THAT THERE MAY BE SOME DISCREPANCIES IN THE LOCATIONS, QUALITIES AND SIZES SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT TYPE, SIZE AND LOCATION OF ALL UTILITIES AFFECTED BY THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL ARRANGE FOR THE REPAIR AND RESTORATION OF CONTRACTOR DAMAGED UTILITIES. THE COST OF ANY REPAIR OR REPLACEMENT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE CURRENT LINE SPOTTING TOLL FREE NUMBER AND COORDINATE WITH ALL THE UTILITY COMPANIES FOR ACTUAL LOCATING AND UNCOVERING OF EXISTING LINES PRIOR TO EXCAVATION OPERATIONS.
2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE PROJECT ENGINEER OF ANY UNREPORTED OBSTACLES THAT MAY IMPEDE OR PREVENT THE PROPER CONSTRUCTION OF THIS PROJECT.
3. ALL CONSTRUCTION OPERATIONS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE APPLICABLE STATE STATUTES AND THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION REGULATIONS (OSHA). COPIES OF THE O.S.H.A. STANDARDS MAY BE PURCHASED FROM THE U.S. GOVERNMENT PRINTING OFFICE. INFORMATION AND RELATED REFERENCE MATERIALS MAY BE OBTAINED FROM O.S.H.A. AT 611 EAST 6TH STREET, ROOM 303, AUSTIN, TEXAS.
4. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A SAFE, NEAT AND WORKMAN LIKE MANNER AT ALL TIMES. JOB SAFETY SHALL NOT BE COMPROMISED. ANY UNSAFE OR UNATTRACTIVE NUISANCE SHALL BE REMOVED OR OTHERWISE TAKEN CARE OF BY THE CONTRACTOR WHEN DIRECTED BY THE OWNER OR PROJECT ENGINEER.
5. EXCAVATIONS, TRENCHES AND OTHER HAZARDOUS AREAS SHALL BE ADEQUATELY PROTECTED BY BARRICADES, FENCING, LIGHTS AND/OR OTHER PROTECTIVE DEVICES AT ALL TIMES.
6. CONSTRUCTION OF THIS PROJECT WILL BE SUBJECT TO INSPECTIONS AND TESTING AS DEEMED NECESSARY OR APPROPRIATE BY THE ENGINEER AND/OR THE CITY OF PHARR. THE CONTRACTOR SHALL FURNISH INCIDENTAL LABOR AND EQUIPMENT TO ALLOW THE TESTING PERSONNEL ACCESS TO THE WORK AND WILL COOPERATE FULLY WITH THE PERSONS CONDUCTING THE TESTING AND INSPECTION PROGRAM.
7. A PART OF THE WORK THAT IS NECESSARY OR REQUIRED TO MAKE EACH SYSTEM OR INSTALLATION SATISFACTORY AND OPERABLE FOR ITS INTENDED PURPOSE, EVEN THOUGH IT IS NOT SPECIFICALLY INCLUDED IN THE SPECIFICATIONS OR DRAWINGS, SHALL BE PERFORMED AS INCIDENTAL WORK AS IF IT WERE DESCRIBED IN THE SPECIFICATIONS AND SHOWN ON THE DRAWINGS.
8. THE DRAWINGS DO NOT ALWAYS INDICATE ALL VERTICAL BENDS AND TRANSITIONS. WHEN NECESSARY, MAKE VERTICAL TRANSITIONS BY A DEFLECTION AT THE JOINTS OR THE INSTALLATION OF FITTINGS. DO NOT DEFLECT PIPE JOINTS MORE THAN 80% OF THE MANUFACTURERS RECOMMENDATION.
9. ALL PIPING MUST BE INSTALLED WITH A MINIMUM OF 36-INCHES OF COVER UNLESS OTHERWISE NOTED ON THE PLANS.
10. ALL EXCAVATION FOR THIS PROJECT SHALL BE UNCLASSIFIED.
11. ALL UTILITIES WHICH ARE TO REMAIN AND WHICH ARE DAMAGED OR REMOVED WILL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
12. PIPE SHALL BE BACKFILLED WITH JOINTS EXPOSED FOR TESTING, BEFORE NEW JOINTS ARE COVERED. PRESSURE LINES ARE TO BE HYDROSTATICALLY TESTED AT NOT LESS THAN 150 PSIG FOR A PERIOD OF TWO HOURS. THE OWNER SHALL OBSERVE AND APPROVE OR REJECT THE TEST. REPAIRS, IF REQUIRED, SHALL BE MADE AND THE LINE SHALL BE RETESTED UNTIL APPROVED. TEST SHALL NOT BEGIN UNTIL THRUST BLOCKS HAVE AGED A MINIMUM OF 24 HOURS.
13. AS SOON AS PRACTICAL, ALL PORTIONS OF EXCAVATIONS NOT OCCUPIED BY THE PERMANENT STRUCTURE SHALL BE BACKFILLED.
14. WHERE WATER LINE INTERSECTS SANITARY SEWER SYSTEM MAINS AT LESS THAN 9.0 FEET SEPARATION, THE CONTRACTOR SHALL INSTALL A 20 FOOT SECTION OF C-900 PVC PRESSURE PIPE CENTERED ON THE POINT OF INTERSECTION.
15. CONTRACTOR SHALL REMOVE AND REINSTALL ALL SIGNS, MAILBOXES, FENCES, CULVERTS AND OTHER ITEMS IN WAY OF THE WORK.
16. CONTRACTOR SHALL REPAIR ALL OPEN CUTS OF PAVED AREAS BACK TO BETTER THAN "AS-IS" CONDITION WITH LIKE MATERIALS.
17. PROVIDE INTERIM DRAINAGE DURING CONSTRUCTION AS REQUIRED. USE PUMPS, TEMPORARY DITCHES, ETC. TO MAINTAIN A WELL DRAINED SITE FREE OF STANDING WATER AND WATER SOFTENED SOILS.
18. ANCHOR ALL UNDERGROUND PRESSURE PIPING AS NECESSARY TO PREVENT MOVEMENT UNDER PRESSURE TEST AND SERVICES.
19. ALL REINFORCING STEEL SHALL CONFORM TO ASTM SPECIFICATION A-165, GRADE 60 ALL BARS SHALL CONFORM TO ASTM SPECIFICATION A-305.
20. ALL CONCRETE AND FORM WORK SHALL CONFORM TO CURRENT ACI CODE REQUIREMENTS.
21. THE CONTRACTOR SHALL EXERCISE EXTRA CARE TO PREVENT DAMAGE TO ALL OTHER STRUCTURES IN THE AREA INCLUDING BUILDINGS, FENCES, ROADS, PIPELINES, UTILITIES, ETC., WHETHER PUBLICLY OR PRIVATELY OWNED.
22. UNTIL ACCEPTANCE BY THE ENGINEER OF ANY OR ALL OF THE CONSTRUCTION, AS PROVIDED FOR IN THE PLANS AND SPECIFICATIONS, AND ACCEPTANCE BY THE PROPER UTILITY PROVIDER, IT SHALL BE UNDER THE CHARGE AND CARE OF THE CONTRACTOR. THE CONTRACTOR SHALL TAKE EVERY NECESSARY PRECAUTION AGAINST TO ANY PART OF THE WORK. THE CONTRACTOR SHALL REBUILD, REPAIR, RESTORE AND MAKE GOOD, AT HIS OWN EXPENSE, OF ALL THE DAMAGE TO ANY PORTION OF THE WORK BEFORE ITS ACCEPTANCE.
23. NO OPEN TRENCHES OR EXCAVATION SHALL BE LEFT OPEN OVERNIGHT.
24. ALL WATERLINE TAPS AND WATER METERS SHALL BE INSTALLED BY CONTRACTOR. COORDINATE WITH THE CITY OF PHARR BEFORE COMMENCING ANY UTILITY WORK.
25. COORDINATE ALL UTILITY WORK WITH THE PLUMBING PLANS BEFORE COMMENCING ANY UTILITY WORK. REFER TO PLUMBING PLANS FOR CONTINUATION.
26. COORDINATE WITH GRADING PLANS FOR WATER LINE, STORM AND SANITARY SEWER LINES INSTALLATION.
27. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INCLUDING THOSE FROM THE CITY OF PHARR, PRIOR TO START OF CONSTRUCTION.
28. THE TOP ELEVATIONS OF MANHOLES AND CLEANOUTS CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED PAVEMENT GRADE. THE TOP ELEVATIONS OF MANHOLES AND CLEANOUTS CONSTRUCTED IN GRASSED AREAS SHALL BE SIX INCHES ABOVE FINISHED GRADE (UNLESS OTHERWISE NOTED ON PLANS).
29. CONTRACTOR SHALL VISIT SITE PRIOR TO BIDDING TO VERIFY EXISTING CONDITIONS.
30. REFER TO GEOTECH REPORT BEFORE INSTALLATION OF DRIVES AND PARKING AREAS.
31. BOTH SITE AND BUILDING CONTRACTORS TO VERIFY EXISTING SITE ELEVATIONS PRIOR TO POURING CONCRETE TO VERIFY ACCESSIBILITY.
32. PERMIT NEEDED FROM CITY OF PHARR BUILDING DEPARTMENT AND PRE-CONSTRUCTION CONFERENCE NEEDED WITH CITY OF PHARR.
33. CONTRACTOR TO LEAVE OPENINGS IN CURB AT SIDEWALK RAMP LOCATIONS.
34. CONSULT WITH PROPERTY OWNER BEFORE RELOCATING EXISTING FENCES THAT MIGHT BE IN THE WAY OF THE CONSTRUCTION AREA AND/OR CONSTRUCTION PLANS.

PHARR, TEXAS, HIDALGO COUNTY

INDEX

SHEET No.	DESCRIPTION
1. _____	COVER SHEET
2. _____	EXISTING SITE
3. _____	MASTER SUBDIVISION PLAT
4. _____	MASTER WATER AND SEWER LAYOUT
5. _____	WATER DETAILS
6. _____	STREET AND STREET LIGHT PLAN
7. _____	EROSION AND SEDIMENT CONTROL PLAN



CITY OF PHARR BENCHMARK: "BM #47"
LOCATED ON THE NORTHWEST CORNER OF THE N.
VETERANS BLVD. ("I" ROAD) AND POLK AVENUE
INTERSECTION.
EASTING= 1093698.813 NORTHING=16599039.305
ELEVATION= 103.56

-2025-



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CONSULTANTS • ENGINEERS • SURVEYORS

115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
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MELDEN & HUNT, INC.
TEXAS REGISTRATION F-1435

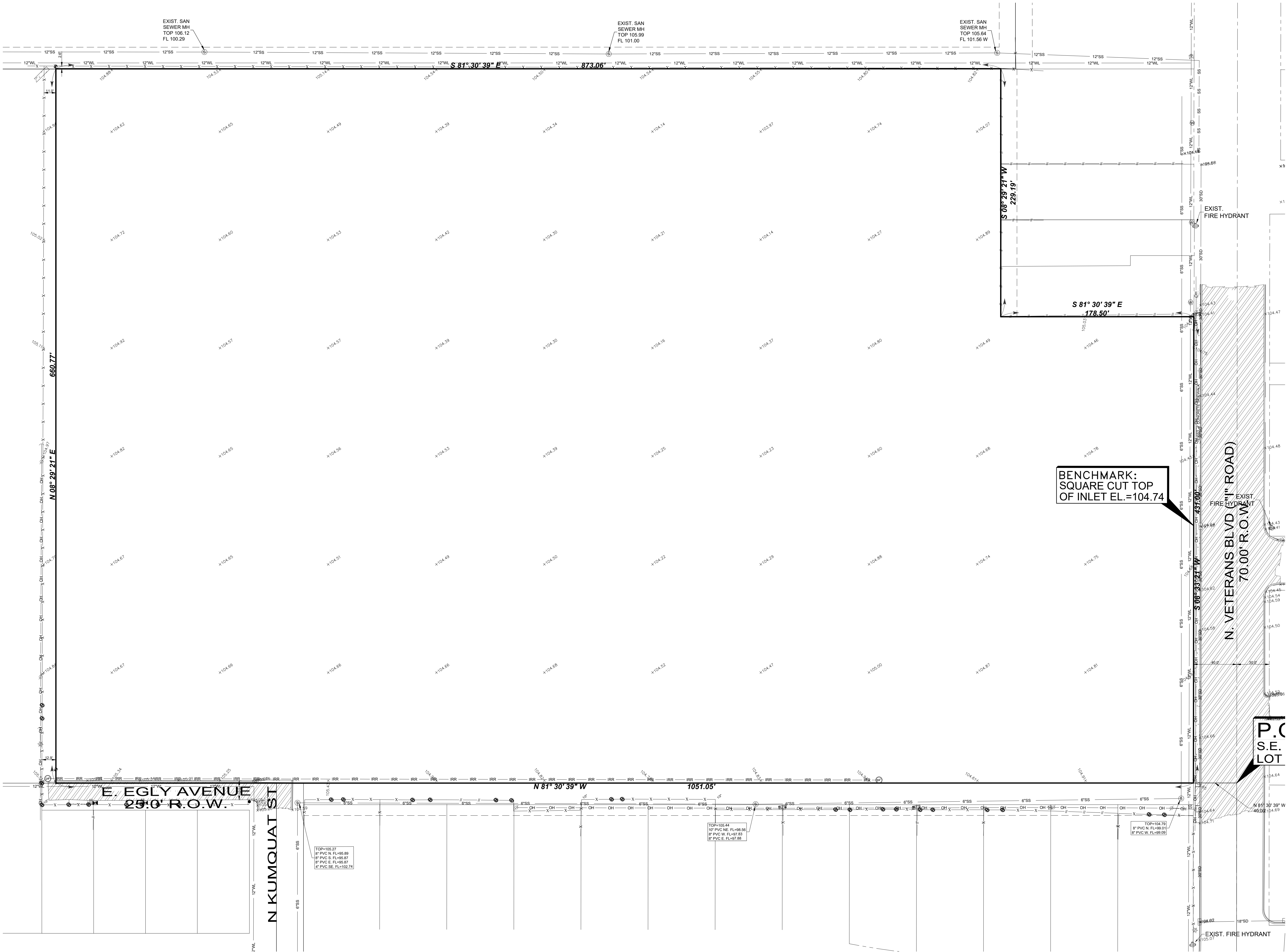


THE SEAL APPEARING ON
THIS DOCUMENT WAS
AUTHORIZED BY
MARIO A. REYNA, P.E. 117368
Mario Reyna
02-04-2025
ALTERATION OF A SEALED DOCUMENT
WITHOUT PROPER NOTIFICATION
TO THE RESPONSIBLE ENGINEER
IS AN OFFENSE UNDER THE
TEXAS ENGINEERING PRACTICE LAW

PLANS CORRECT:

MARIO A. REYNA, P.E. _____ DATE _____

SHEET 1 OF 8 _____ JOB NUMBER 24026.00



JOB No.
24026.00

REVISION

DATE

BY

MELDEN & HUNT, INC.

CONSULTANTS • ENGINEERS • SURVEYORS

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ENG. TECH. EM

PROJECT ENG. M.A.R.

T-BOOK T-0000 PGS. 00

1. RELEASE DATE:

2. RELEASE DATE:

3. RELEASE DATE:

SCALE: AS NOTED

MELDEN & HUNT, INC.

TEXAS REGISTRATION F-1435

STATE OF TEXAS

MARIO A. REYNA

117368

PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARIO A. REYNA, P.E. 117368

02-04-2025

ALTERATION OF A SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE LAW

ARBOR VISTA ESTATES

SUBDIVISION

MASTER

PUBLIC IMPROVEMENTS

PHARR, TEXAS

EXISTING SITE

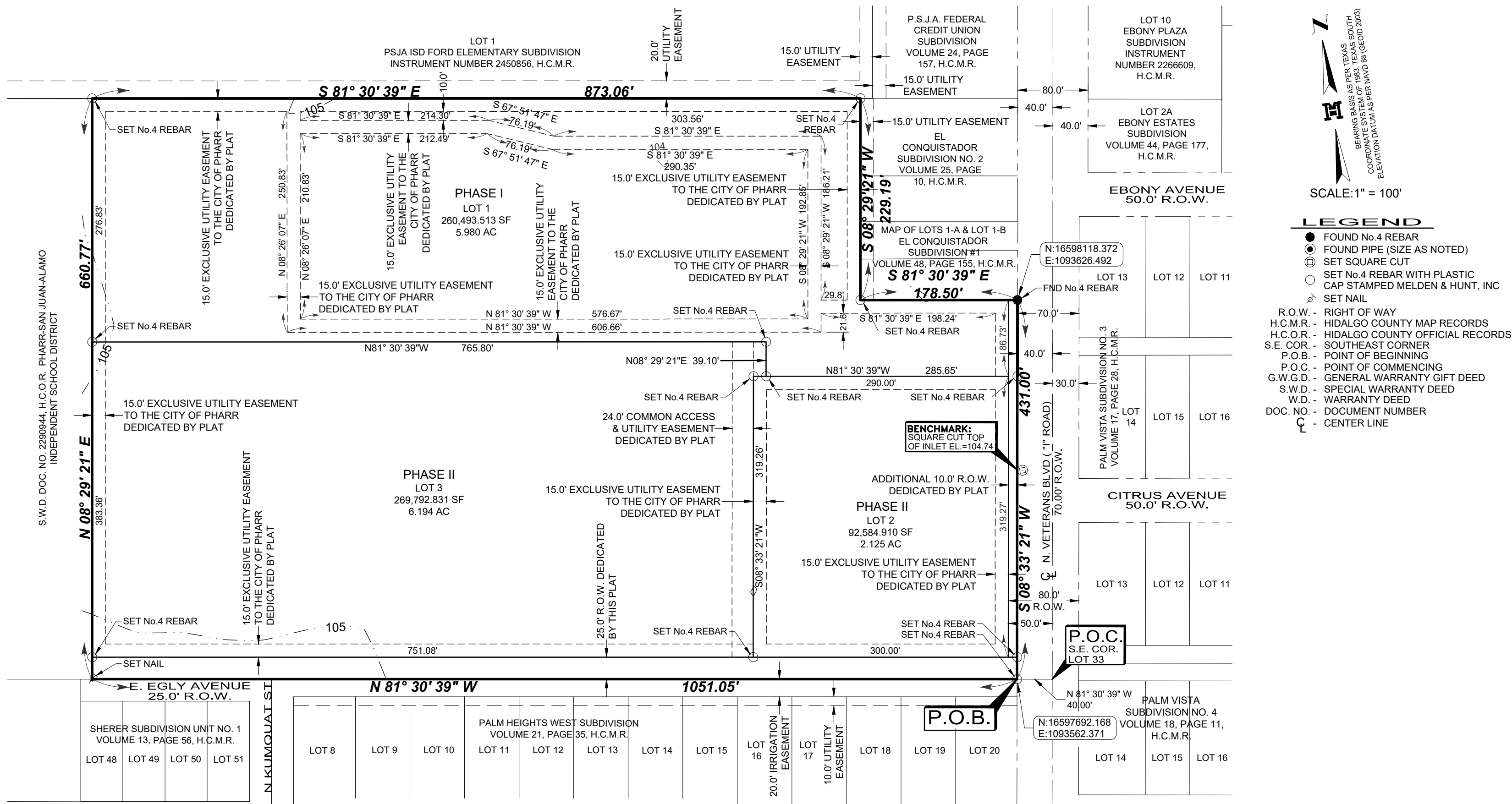
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File Name: 24026.00

SHEET 2 OF 7

MASTER PLAT OF
ARBOR VISTA ESTATES
SUBDIVISION

BEING A RESUBDIVISION OF 14.996 ACRES
OUT OF LOTS 32 AND 33,
L.R. BELL DEVELOPMENT "E" SUBDIVISION
CITY OF PHARR,
HIDALGO COUNTY, TEXAS



METES AND BOUNDS:

BEING A TRACT OF LAND CONTAINING 14.996 ACRES SITUATED IN THE CITY OF PHARR, HIDALGO COUNTY, TEXAS, BEING A PART OR PORTION OUT OF LOTS 32 AND 33, L.R. BELL DEVELOPMENT "E" SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 57, HIDALGO COUNTY MAP RECORDS, WHICH SAID 14.996-ACRE TRACT WAS CONVEYED TO GARCIA-REYNA FAMILY LIMITED PARTNERSHIP, BY VIRTUE OF A GENERAL WARRANTY GIFT DEED RECORDED UNDER DOCUMENT NUMBER 1884285, HIDALGO COUNTY OFFICIAL RECORDS, SAID 14.996 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 33;

THENCE, N 81° 30' 39" W ALONG THE SOUTH LINE OF SAID LOT 33, A DISTANCE OF 40.00 FEET TO A NO. 4 REBAR SET [NORTHING: 16597692.168, EASTING: 1093562.371] ON THE WEST RIGHT-OF-WAY LINE OF N "I" ROAD, FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, N 81° 30' 39" W ALONG THE SOUTH LINE OF SAID LOT 33, A DISTANCE OF 1,051.05 FEET TO A NAIL SET, FOR THE SOUTHWEST CORNER OF THIS TRACT;
2. THENCE, N 08° 29' 21" E AT A DISTANCE OF 367.42 FEET PASS THE NORTH LINE OF SAID LOT 33 AND THE SOUTH LINE OF SAID LOT 32, CONTINUING A TOTAL DISTANCE OF 660.19 FEET TO A NO. 4 REBAR SET ON THE NORTH LINE OF SAID LOT 32, FOR THE NORTHWEST CORNER OF THIS TRACT;
3. THENCE, S 81° 30' 39" E A DISTANCE OF 873.06 FEET TO A NO. 4 REBAR SET, FOR THE NORTHERNMOST NORTHEAST CORNER OF THIS TRACT;
4. THENCE, S 08° 29' 21" W A DISTANCE OF 229.19 FEET TO A NO. 4 REBAR SET, FOR AN INSIDE CORNER OF THIS TRACT;
5. THENCE, S 81° 30' 39" E A DISTANCE OF 178.50 FEET TO A NO. 4 REBAR FOUND [NORTHING: 16598118.372, EASTING: 1093626.492] ON THE WEST RIGHT-OF-WAY LINE OF N. VETERANS BLVD ("I" ROAD), FOR THE SOUTHERNMOST NORTHEAST CORNER OF THIS TRACT;
6. THENCE, S 08° 33' 21" W ALONG THE WEST RIGHT-OF-WAY LINE OF N. VETERANS BLVD "I" ROAD, AT A DISTANCE OF 63.58 FEET PASS THE SOUTH LINE OF SAID LOT 32 AND THE NORTH LINE OF SAID LOT 33, CONTINUING A TOTAL DISTANCE OF 431.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 14.996 ACRES OF LAND, MORE OR LESS.

GENERAL NOTES:

1. FLOOD ZONE DESIGNATION: ZONE "B" ZONE "B" IS DEFINED AS AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY PANEL NUMBER: 480347 0005 C MAP REVISED: OCTOBER 19, 1982.
2. MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION IS 18" ABOVE TOP OF CROWN OF ROAD MEASURED AT FRONT CENTER OF LOT.
3. MINIMUM BUILDING SETBACKS ARE AS FOLLOWS: AS PER CITY OF PHARR ORDINANCE.
4. AS PER DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS, FOR ARBOR VISTA ESTATES SUBDIVISION RECORDED UNDER DOCUMENT NUMBER HIDALGO COUNTY OFFICIAL RECORD, DEVELOPER/HOMEOWNERS ASSOCIATION/OWNER, THEIR SUCCESSORS AND/OR ASSIGNS, AND NOT THE CITY OF PHARR SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS. INCLUDING, BUT NOT LIMITED TO COMMON AREAS AND DETENTION PONDS.
5. BENCH MARK CITY OF PHARR'S BENCH MARK: BM #47 LOCATED ON THE NORTHWEST CORNER OF THE N. VETERANS BLVD. ("I" ROAD) AND POLK AVENUE INTERSECTION. EASTING= 1093698.813 NORTHING=16599039.305 ELEVATION= 103.56
6. NO STRUCTURE SHALL BE BUILT TOP ON ANY EASEMENT.
7. EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (TPDES).
8. A 5' SIDEWALK WITH ADA COMPLIANT RAMPS AND LANDINGS WILL BE REQUIRED ALONG THE WEST SIDE OF N. VETERANS BLVD. ("I" ROAD) AT BUILDING PERMIT.
9. LANDSCAPING AS PER CITY OF PHARR ORDINANCE.
10. OWNER(S) ARE TO MAINTAIN DETENTION/RETENTION AREAS.
11. ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE PLAN REVIEW PHASE IN ORDER TO PROVIDE ANY ADDITIONAL FIRE PROTECTION REQUIREMENT.
12. ENFORCEMENT OF ALL PLAT NOTES AND DEDICATIONS SHALL BE THE RESPONSIBILITY OF THE AGENCY OR ENTITY TO WHOM THE DEDICATION IS GRANTED.
13. OWNERS TO MAINTAIN R.O.W. AND PERIMETER OF SUBDIVISION.
14. STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY. THE ENGINEER OF RECORD FOR THIS SUBDIVISION PLAT HAS ESTIMATED THAT AN AREA OF APPROXIMATELY 3.10 ACRES AND A VOLUME OF APPROXIMATELY 135,189 CUBIC FEET WILL BE REQUIRED FOR THIS USE. THIS IS AN ESTIMATE ONLY AND DETAILED ANALYSIS MAY REVEAL DIFFERENT REQUIREMENTS. NO BUILDING PERMIT SHALL BE ISSUED FOR THIS PLATTED PROPERTY UNTIL A STORM WATER DETENTION SYSTEM DESIGN HAS BEEN APPROVED BY THE CITY OF PHARR FOR THIS RESIDENTIAL DEVELOPMENT.

HIDALGO COUNTY IRRIGATION DISTRICT # 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT # 2 ON THIS THE _____ DAY OF _____, 2025.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #2 RIGHTS OF WAY OR EASEMENTS.

PRESIDENT

ATTEST: _____
SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO.1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO.1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

DATED THIS THE _____ DAY OF _____, 20____.

MARIO A. REYNA, PROFESSIONAL ENGINEER No.117368
STATE OF TEXAS

DATE PREPARED: 10-17-24
ENGINEERING JOB NO. 24026.00

**STATE OF TEXAS
COUNTY OF HIDALGO**

I, ROBERTO N. TAMEZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF PHARR, TEXAS.

DATED THIS THE _____ DAY OF _____, 20____.

ROBERTO N. TAMEZ, PROFESSIONAL LAND SURVEYOR No.6238
STATE OF TEXAS

DATE SURVEYED: 02-08-2024
T- 1209, PG. 60
SURVEY JOB # 24026.08



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

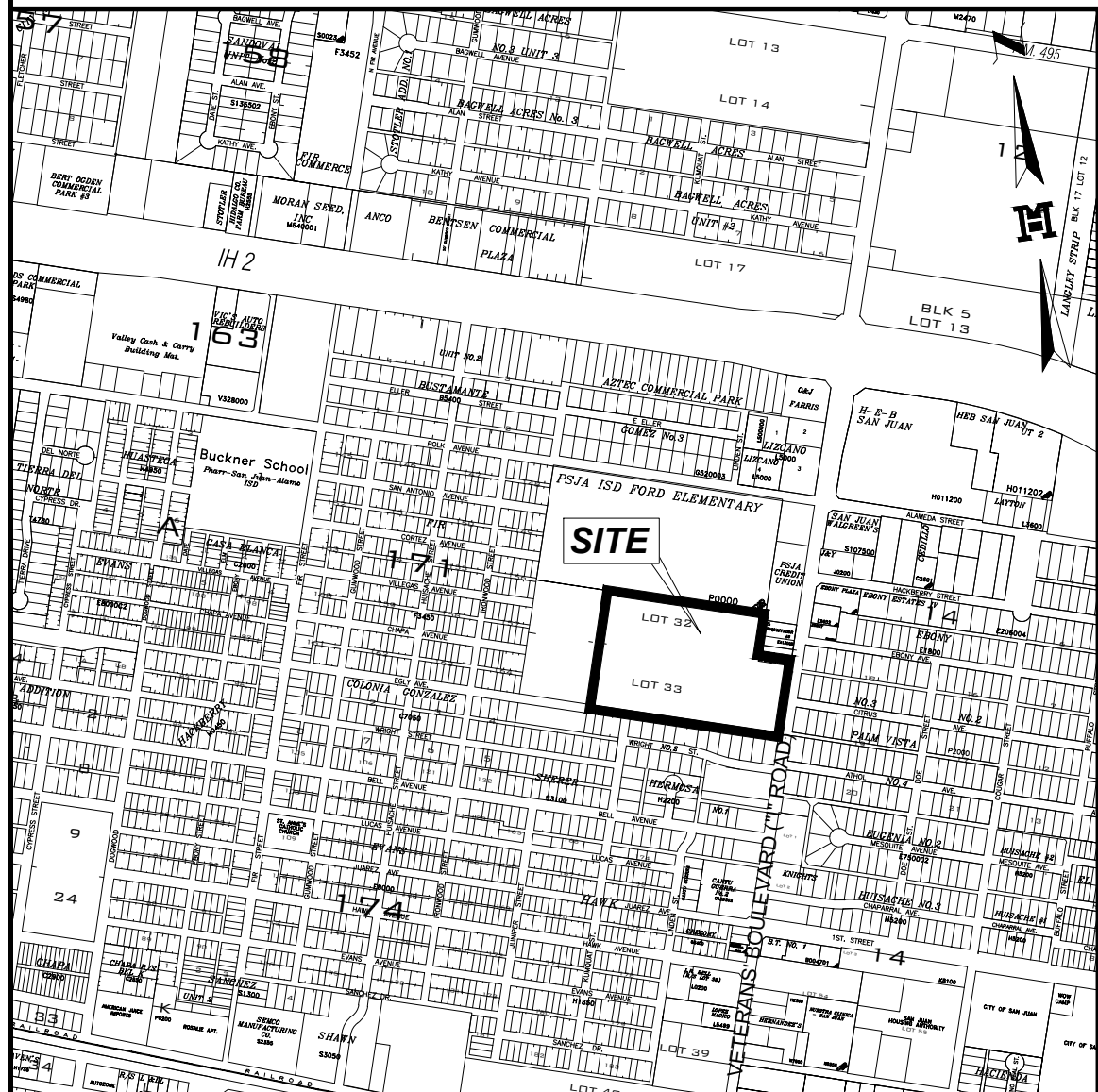
ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

DRAWN BY: EM DATE: 10-16-24
SURVEYED, CHECKED: _____ DATE: _____
FINAL CHECK: _____ DATE: _____

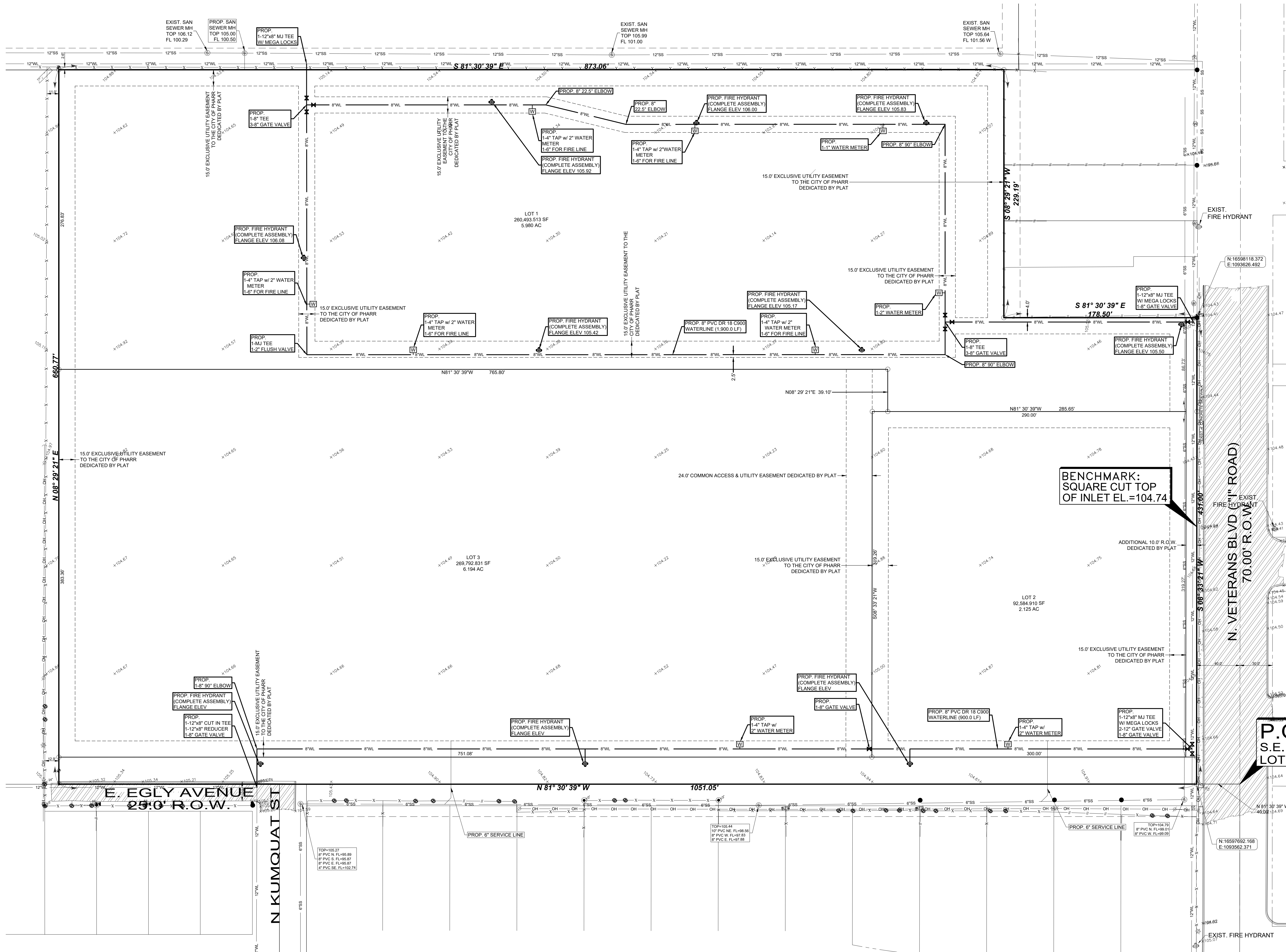
LOCATION MAP SCALE 1" = 500'



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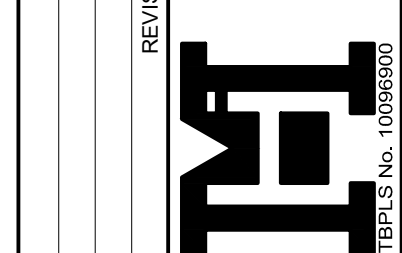
115 W. MCINTYRE - EDINBURG, TX 78541
PH: (956) 381-0981 - FAX: (956) 381-1839
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PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	JAIME ROEL GARCIA	802 W. JONES	PHARR, TX 78577	C/O (956) 381-0981	(956) 381-1839
ENGINEER:	MARIO A. REYNA, P.E.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839
SURVEYOR:	ROBERTO N. TAMEZ, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78541	(956) 381-0981	(956) 381-1839

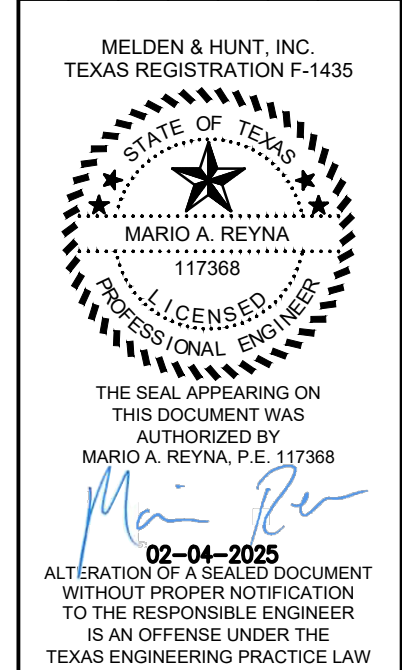


JOB No. 24026.00

REVISION	DATE	BY
1		
2		
3		



ENG. TECH. EM.	PROJECT ENG. M.A.R.	T-BLOCK T-0000 P.S. 00
1. RELEASE DATE:	2. RELEASE DATE:	3. RELEASE DATE:
SCALE:	AS NOTED	



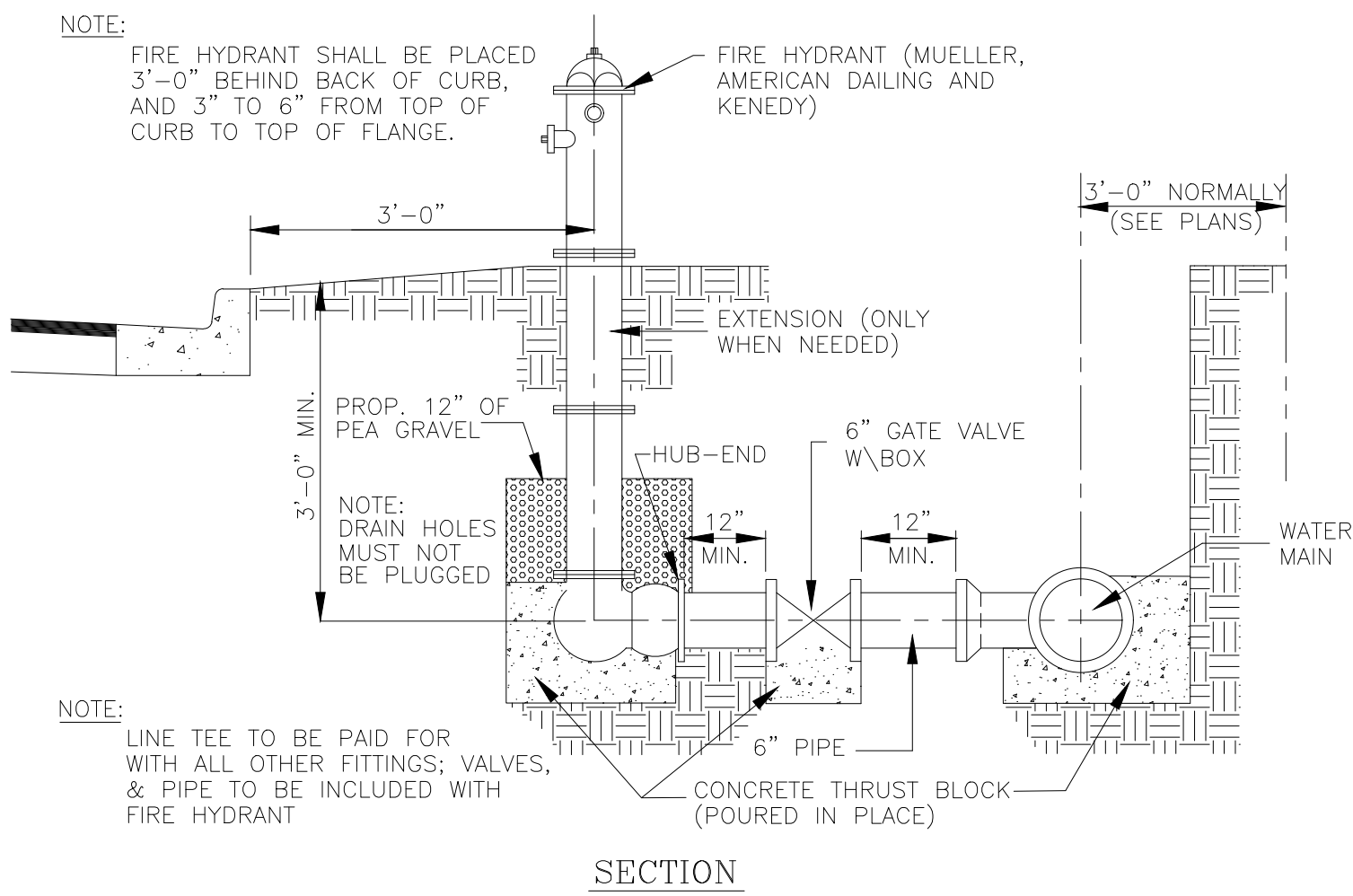
ARBOR VISTA ESTATES
SUBDIVISION
MASTER
PUBLIC IMPROVEMENTS
PHARR, TEXAS

MASTER WATER AND SEWER LAYOUT

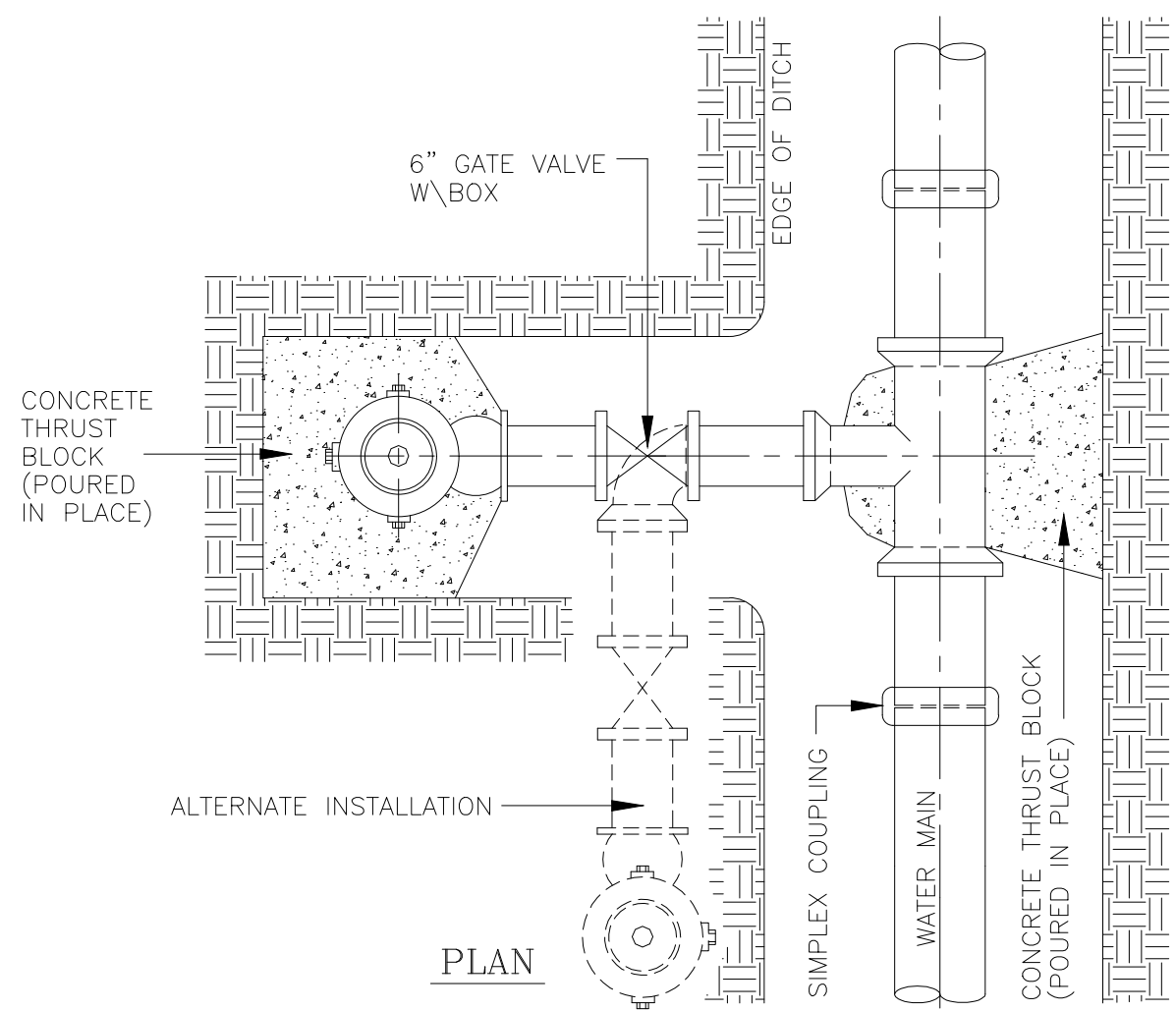
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File Name: 24026.00

SHEET 4 OF 7



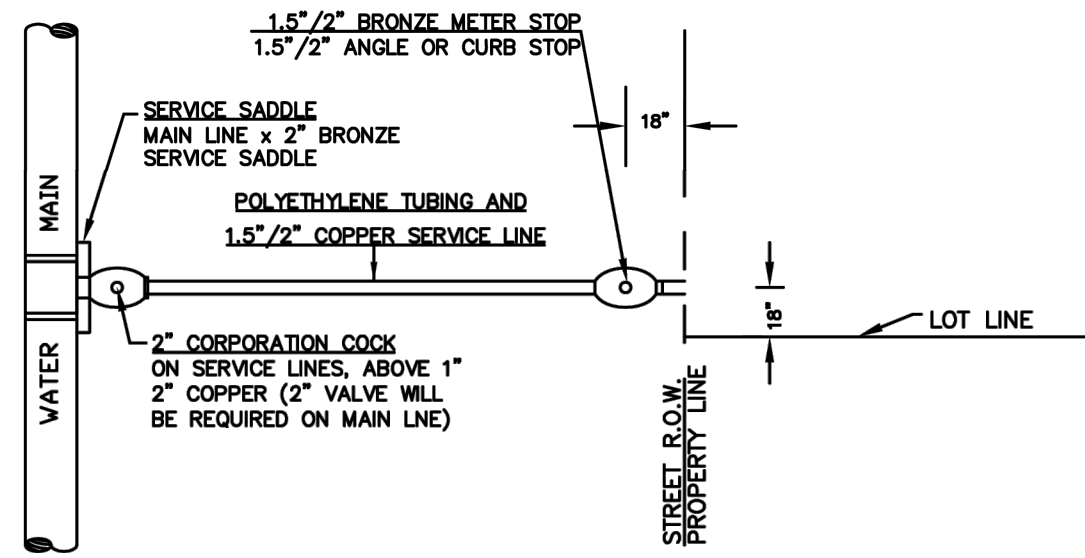
SECTION



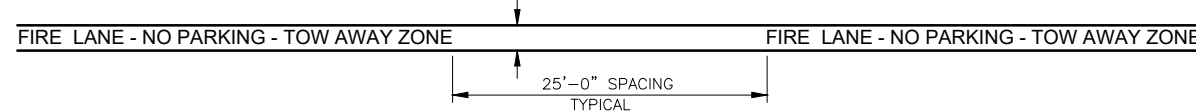
PLAN

TYPICAL FIRE HYDRANT INSTALLATION

NOTE: CURB IN FRONT OF FIRE HYDRANTS TO BE PAINTED RED AS PER CITY OF PHARR SPECIFICATIONS



SINGLE WATER SERVICE CONNECTION

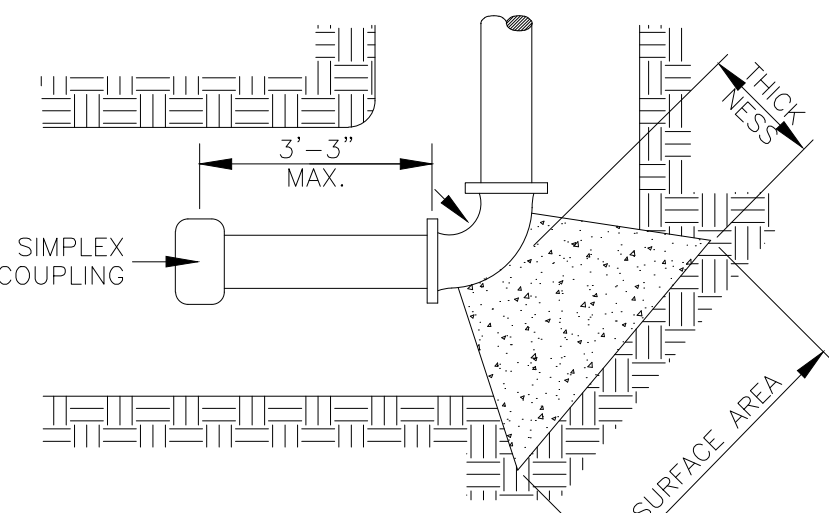


FIRE LANE STRIPING NOTES:

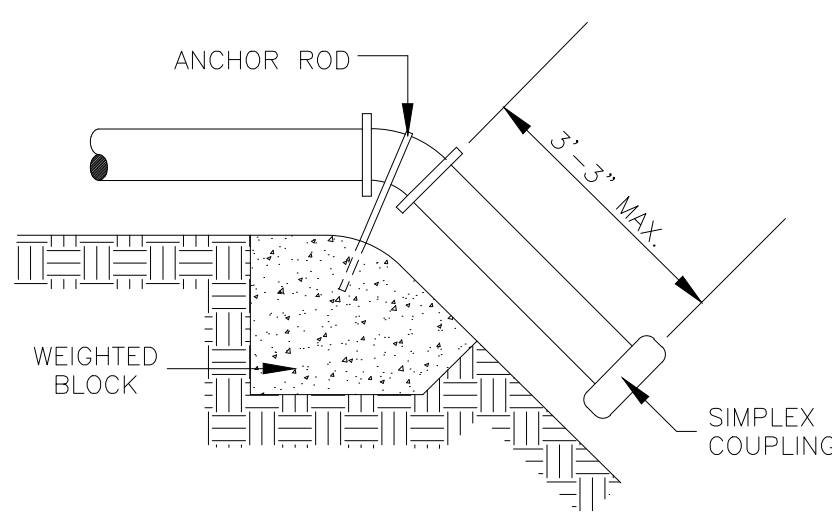
1. THE STRIPING MUST BE PLACED ALONG THE ENTIRE LENGTH OF THE FIRE LANE. WHEN NO CURB IS AVAILABLE, THE RED STRIPE IS PLACED DIRECTLY ON THE ROADWAY. WHEN CURBING IS AVAILABLE, THE RED STRIPE IS PLACED ON THE CURB TOP AND CURB FACE.
2. WHEN STRIPING WITH THE REQUIRED LETTERING IS PROVIDED, SIGNAGE IS NOT REQUIRED.
3. PAINT:
 - a. STRIPE SHALL BE SIX (6) INCHES WIDE PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT, COLOR SHALL BE "TRAFFIC RED" GULDEN No. 63251 OR EQUAL.
 - b. LETTERS SHALL BE FOUR (4) INCHES HIGH PAINTED WITH AN EXTERIOR ACRYLIC LATEX PAINT, LETTERS SHALL BE ONE (1) INCH STROKE. COLOR SHALL BE "TRAFFIC WHITE" GULDEN No. 56345 OR EQUAL.
4. APPLICATION:
 - a. STRIPE MAY BE BRUSHED OR SPRAYED, ONE COAT TO FINISH.
 - b. LETTERS SHALL BE STENCIL FORMED, BRUSH APPLIED AND SPACED AS PER DETAIL.

FIRE LANE STRIPING DETAIL

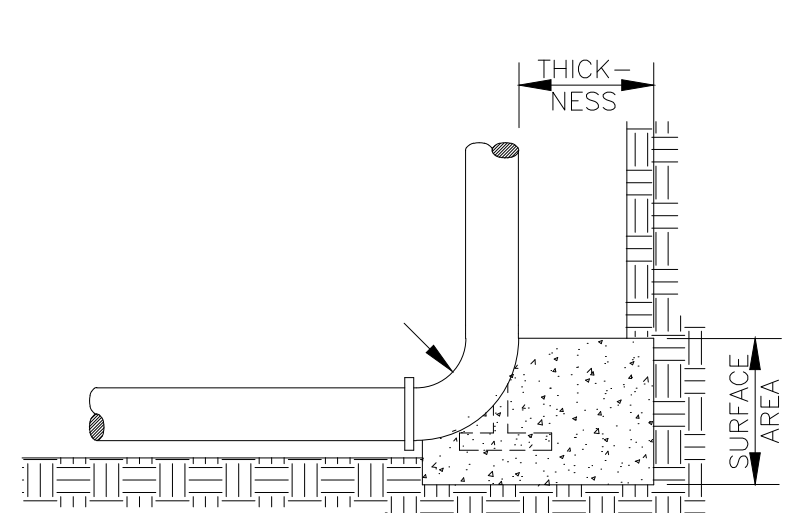
N.T.S.



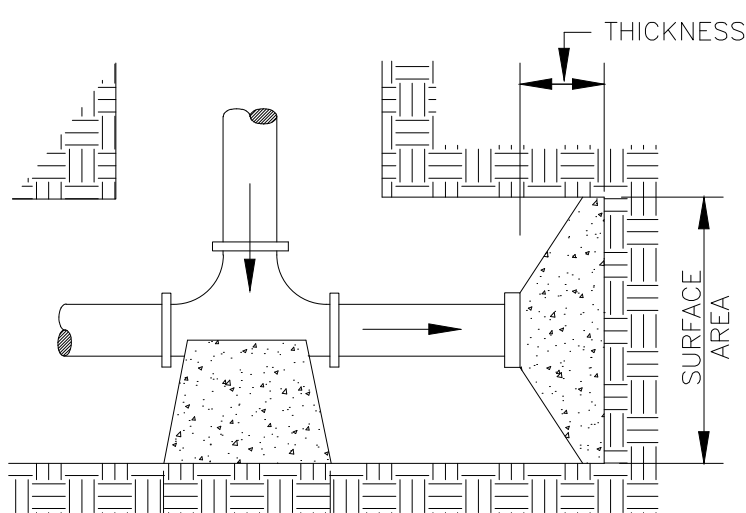
HORIZONTAL BENDS



VERTICAL BENDS



HYDRANT BURYS



TEES & DEAD ENDS

THRUST BLOCK DETAILS

THRUST BLOCK SIZE			
DIAMETER OF PIPE INCHES	HORIZONTAL BEND		WEIGHT AT VERTICAL BENDS - lbs
	SURFACE AREA SQ. FT.	THICKNESS INCHES	
22 1/2° BENDS			
6 OR LESS	2	8	1,700
8	3	12	3,000
10	3.5	12	4,500
12	4	14	6,600
14	5	18	9,000
16	6	18	11,800
45° BENDS			
6 OR LESS	4	12	3,200
8	5	14	5,800
10	6	18	9,000
12	7	18	13,000
14	8	24	17,000
16	11.5	24	23,200
90° BENDS			
6 OR LESS	6	12	6,000
8	8	15	10,700
10	10	18	16,700
12	12	18	24,000
14	18	24	32,600
16	21	24	42,700
TEES & DEAD ENDS			
6 OR LESS	3	12	----
8	4	15	----
10	6	18	----
12	8.5	18	----
14	11.5	24	----
16	15	24	----

GENERAL NOTES :

1. ALL VALVES SHOWN ARE MINIMUM FOR A HYDROSTATIC PRESSURE OF 150 P.S.I. AND A SOIL RESISTANCE OF 2,000 LBS./SQ.FT WITH PIPELINE HAVING A MINIMUM OF 30" OF COVER.
2. THE CONTRACTOR SHALL CONSIDER REDUCTIONS OF THRUST BLOCK SURFACE AREA UPON SUBMITTAL OF APPROVED SOIL RESISTANT TEST RESULTS GREATER THAN 2000 LBS./SQ.FT.
3. THE LOCATION OF THRUST BLOCKS DEPENDS UPON THE DIRECTION OF THRUST AND TYPE OF FITTINGS.

SINGLE WATER SERVICE CONNECTIONS

NOTES AS PER TEXAS DEPT. OF HEALTH MANUAL

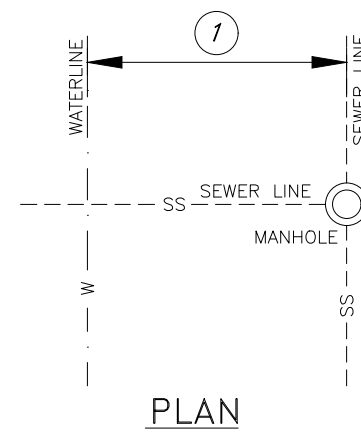
A. WATER LINE/SEWER LINE SEPARATION.

WHEN NEW SANITARY SEWERS ARE INSTALLED, THEY SHALL BE INSTALLED NO CLOSER TO WATERLINES THAN NINE FEET IN ALL DIRECTIONS. SEWERS THAT PARALLEL WATERLINES MUST BE INSTALLED IN SEPARATE TRENCHES. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, THE FOLLOWING GUIDELINES WILL APPLY:

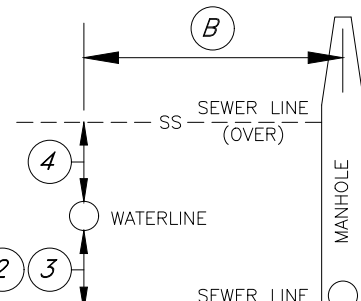
- (1) WHERE A SANITARY SEWER PARALLELS A WATERLINE, THE SEWER SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC MEETING ASTM SPECIFICATIONS WITH A PRESSURE RATING FOR BOTH THE PIPE AND JOINTS OF 150 PSI. THE VERTICAL SEPARATION SHALL BE A MINIMUM OF TWO FEET BETWEEN OUTSIDE DIAMETERS AND THE HORIZONTAL SEPARATION SHALL BE A MINIMUM OF FOUR FEET BETWEEN OUTSIDE DIAMETERS. THE SEWER SHALL BE LOCATED BELOW THE WATERLINE.
- (2) WHERE A SANITARY SEWER CROSSES A WATERLINE AND THE SEWER IS CONSTRUCTED OF CAST IRON, DUCTILE IRON OR PVC WITH A MINIMUM PRESSURE RATING OF 150 PSI, AN ABSOLUTE MINIMUM DISTANCE OF 6 INCHES BETWEEN OUTSIDE DIAMETERS SHALL BE MAINTAINED. IN ADDITION THE SEWER SHALL BE LOCATED BELOW THE WATERLINE WHERE POSSIBLE AND ONE LENGTH OF THE SEWER PIPE MUST BE CENTERED ON THE WATERLINE.
- (3) WHERE A SEWER CROSSES UNDER A WATERLINE AND THE SEWER IS CONSTRUCTED OF ABS TRUSS PIPE, SIMILAR SEMI-RIGID PLASTIC COMPOSITE PIPE, CLAY PIPE OR CONCRETE PIPE WITH GASKETED JOINTS, A MINIMUM TWO FOOT SEPARATION DISTANCE SHALL BE MAINTAINED. THE INITIAL BACKFILL SHALL BE CEMENT STABILIZED SAND (TWO OR MORE BAGS OF CEMENT PER CUBIC YARD OF SAND) FOR ALL SECTIONS OF SEWER WITHIN NINE FEET OF WATERLINE. THIS INITIAL BACKFILL SHALL BE FROM ONE QUARTER DIAMETER BELOW THE CENTERLINE OF THE PIPE TO ONE PIPE DIAMETER (BUT NOT LESS THAN 1/2 INCHES) ABOVE TOP OF PIPE.
- (4) WHERE A SEWER CROSSES OVER A WATERLINE ALL PORTIONS OF THE SEWER WITHIN NINE FEET OF THE WATERLINE SHALL BE CONSTRUCTED OF CAST IRON, DUCTILE IRON, OR PVC PIPE WITH A PRESSURE RATING OF AT LEAST 150 PSI USING APPROPRIATE ADAPTERS. IN LIEU OF THIS PROCEDURE THE NEW CONVEYANCE MAY BE ENCASED IN A JOINT OF 150 PSI PRESSURE CLASS PIPE AT LEAST 18 FEET LONG AND TWO NOMINAL SIZES LARGER THAN THE NEW CONVEYANCE. THE SPACE AROUND THE CARRIER PIPE SHALL BE SUPPORTED AT 5 FEET INTERVALS WITH SPACERS OR BE FILLED TO THE SPRINGLINE WITH WASHED SAND. THE ENCASEMENT PIPE SHOULD BE CENTERED ON THE CROSSING AND BOTH ENDS SEALED WITH CEMENT GROUT OR MANUFACTURED SEAL.

B. WATER LINE/MANHOLE SEPARATION.

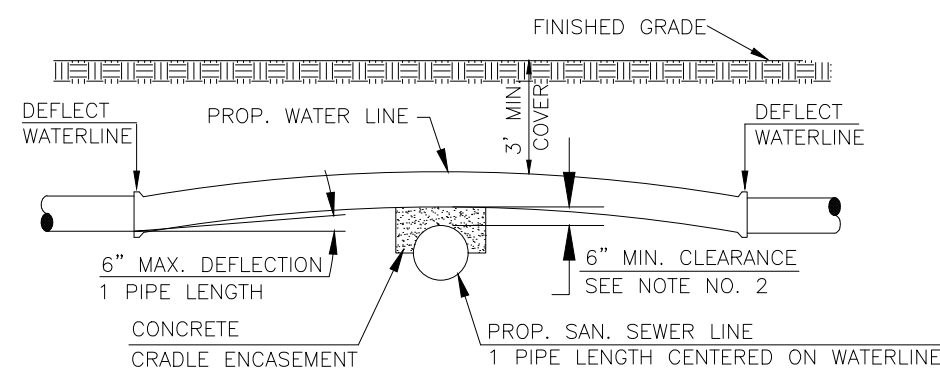
UNLESS SANITARY SEWER MANHOLES AND THE CONNECTING SEWER CAN BE MADE WATERTIGHT AND TESTED FOR LEAKAGE, THEY MUST BE INSTALLED SO AS TO PROVIDE A MINIMUM OF NINE FEET OF HORIZONTAL CLEARANCE FROM AN EXISTING OR PROPOSED WATERLINE. WHERE THE NINE FOOT SEPARATION DISTANCE CANNOT BE ACHIEVED, A CARRIER PIPE AS DESCRIBED IN SUBSECTION A.(4) OF THIS SECTION MAY BE USED WHERE APPROPRIATE.



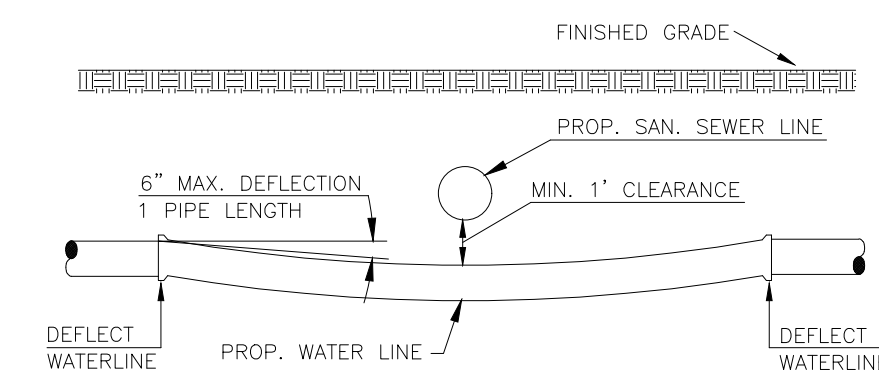
PLAN



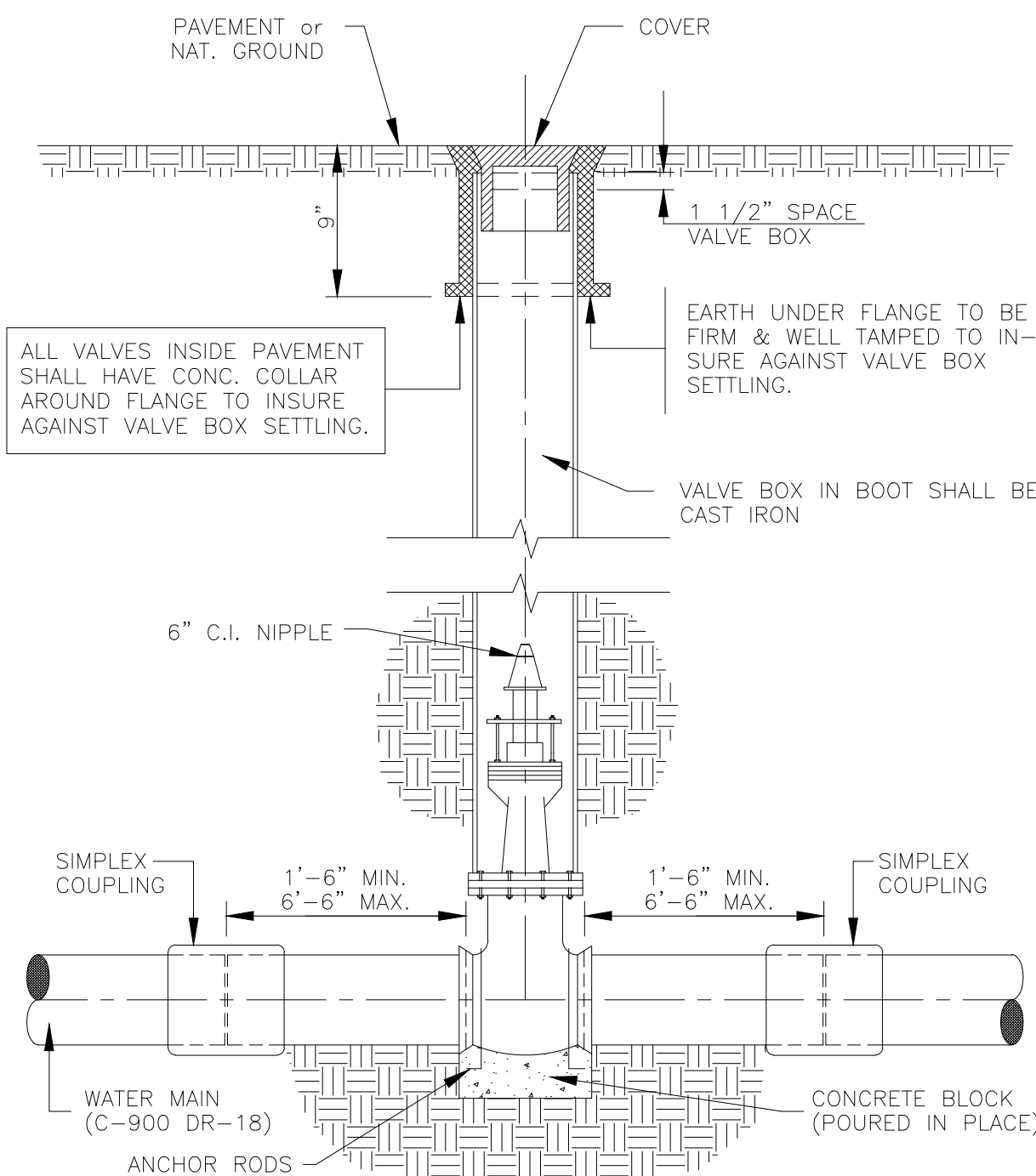
PROFILE



WATERLINE CROSSING OVER SANITARY SEWER

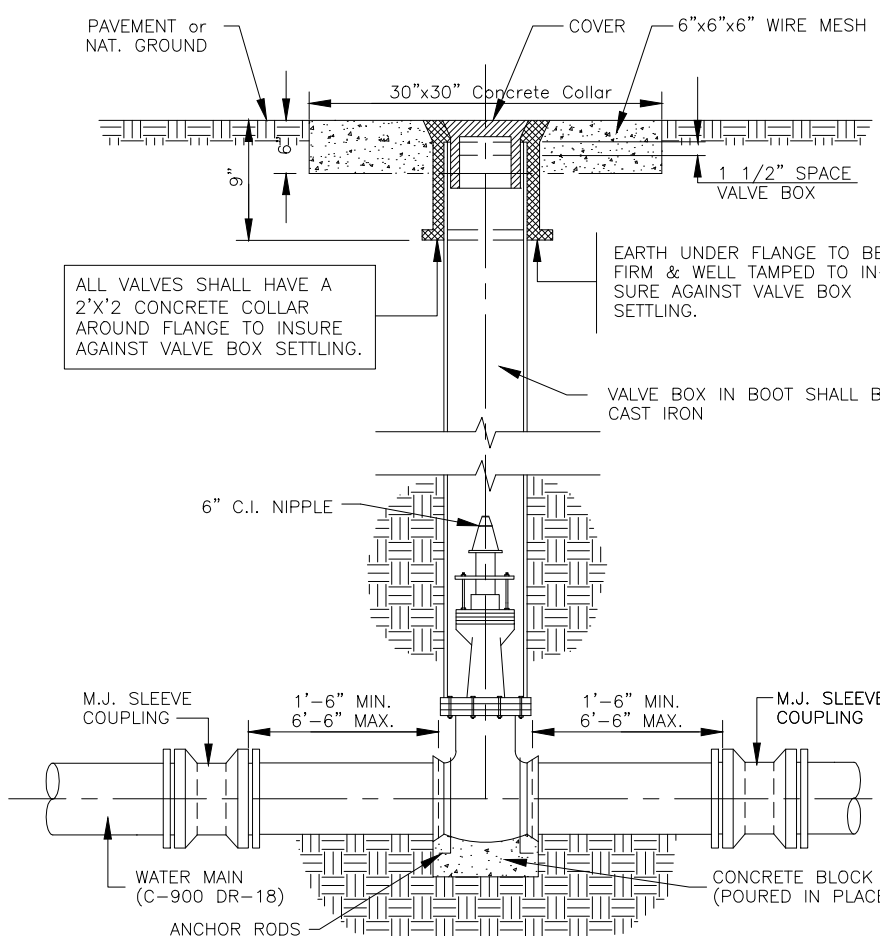


WATERLINE CROSSING UNDER SANITARY SEWER



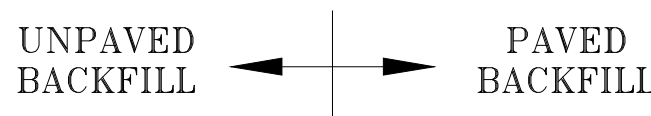
TYPICAL VALVE and VALVE BOX INSTALLATION

NOTE: ALL VALVES IN THE STREET HAVE TO BE SET IN CONCRETE

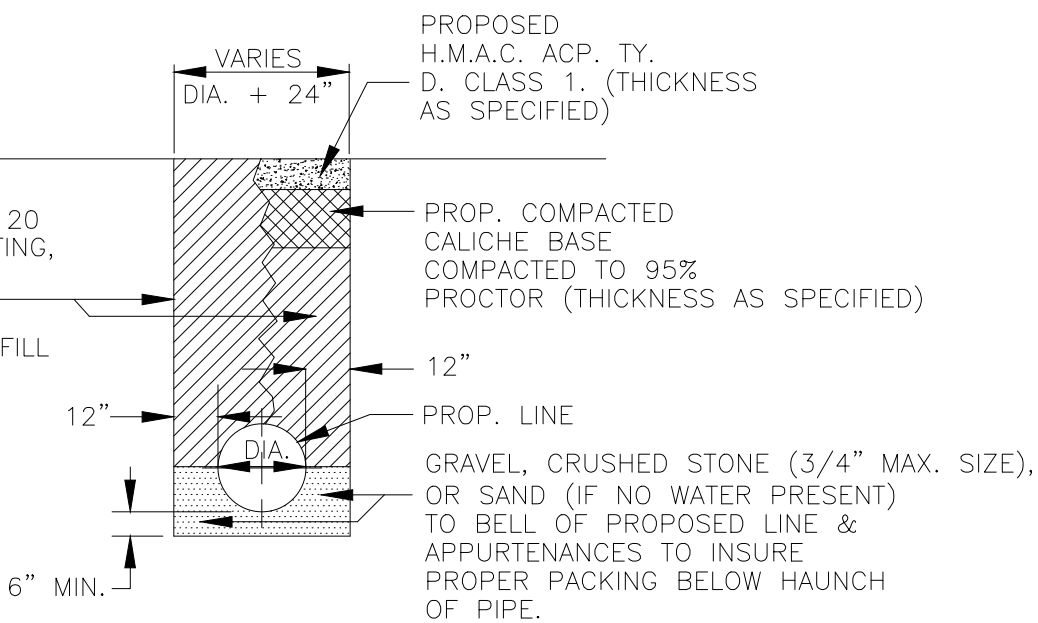


TYPICAL VALVE and VALVE BOX INSTALLATION

N.T.S.



- a) WHERE PLASTICITY IS LESS THAN 20 AND SANDY MATERIAL, WATER JETTING, ALLOWED
- b) WHERE PLASTICITY IS GREATER THAN 20 MECHANICAL TAMP BACKFILL IN 6-8" LAYERS



PIPE BEDDING DETAILS

JOB No. 24026.00

BY DATE

REVISION

1. RELEASE DATE

2. RELEASE DATE

3. RELEASE DATE

SCALE: AS NOTED

MELDEN & HUNT, INC.

TEXAS REGISTRATION F-1435

MARIO A. REYNA

117368

PROFESSIONAL ENGINEER

THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY MARIO A. REYNA, P.E. 117368

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MASTER

PUBLIC IMPROVEMENTS

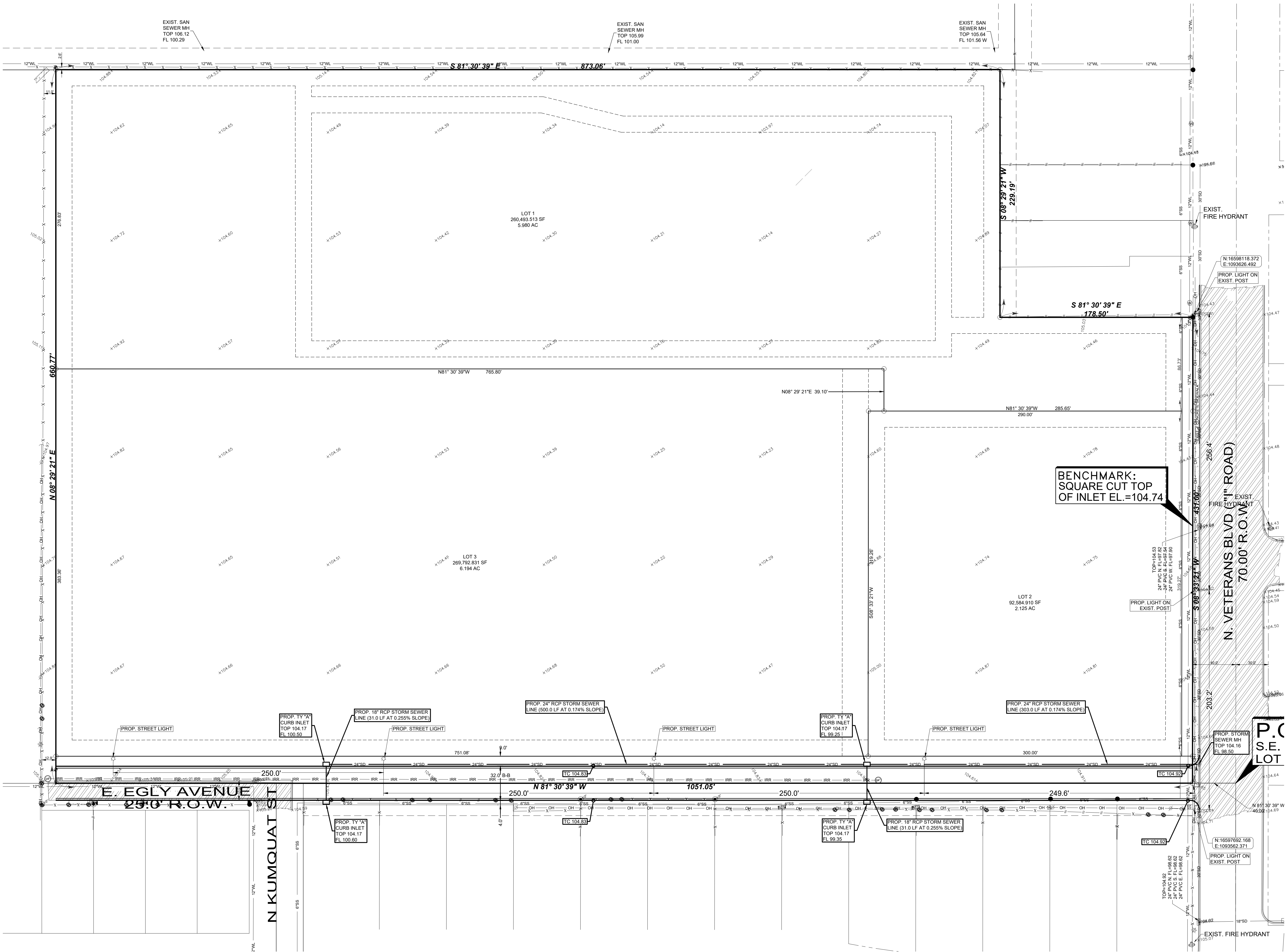
PHARR, TEXAS

WATER DETAILS

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File Name: 24026.00

SHEET 5 OF 7



JOB No.
24026.00

REVISION

DATE

BY

1. RELEASE DATE

2. RELEASE DATE

3. RELEASE DATE

PROJECT ENG. M.A.R.

T-BLOCK T-0000 PGS. 00

1. RELEASE DATE

2. RELEASE DATE

3. RELEASE DATE

AS NOTED

STATE OF TEXAS

MARIO A. REYNA

117368

PROFESSIONAL ENGINEER

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PHARR, TEXAS

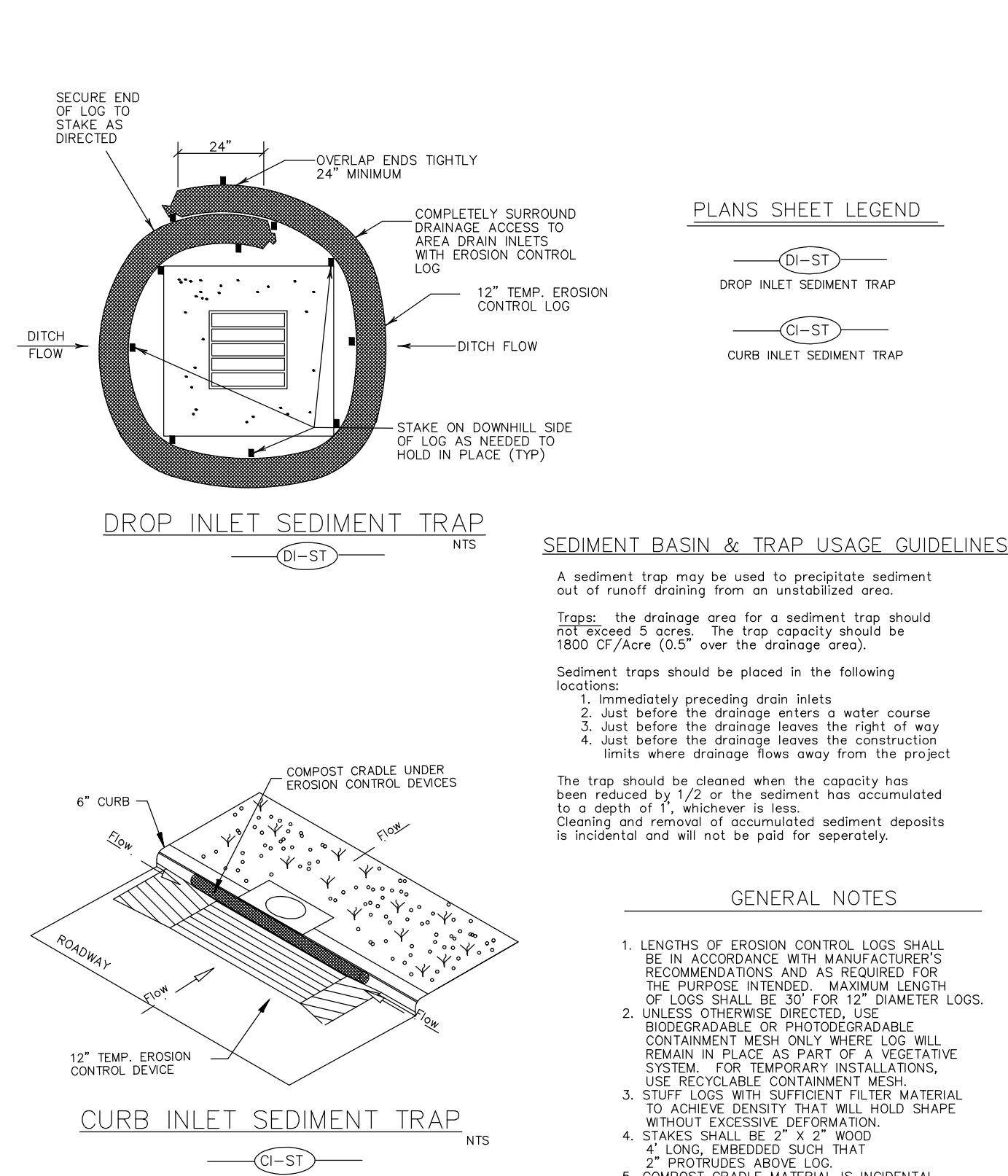
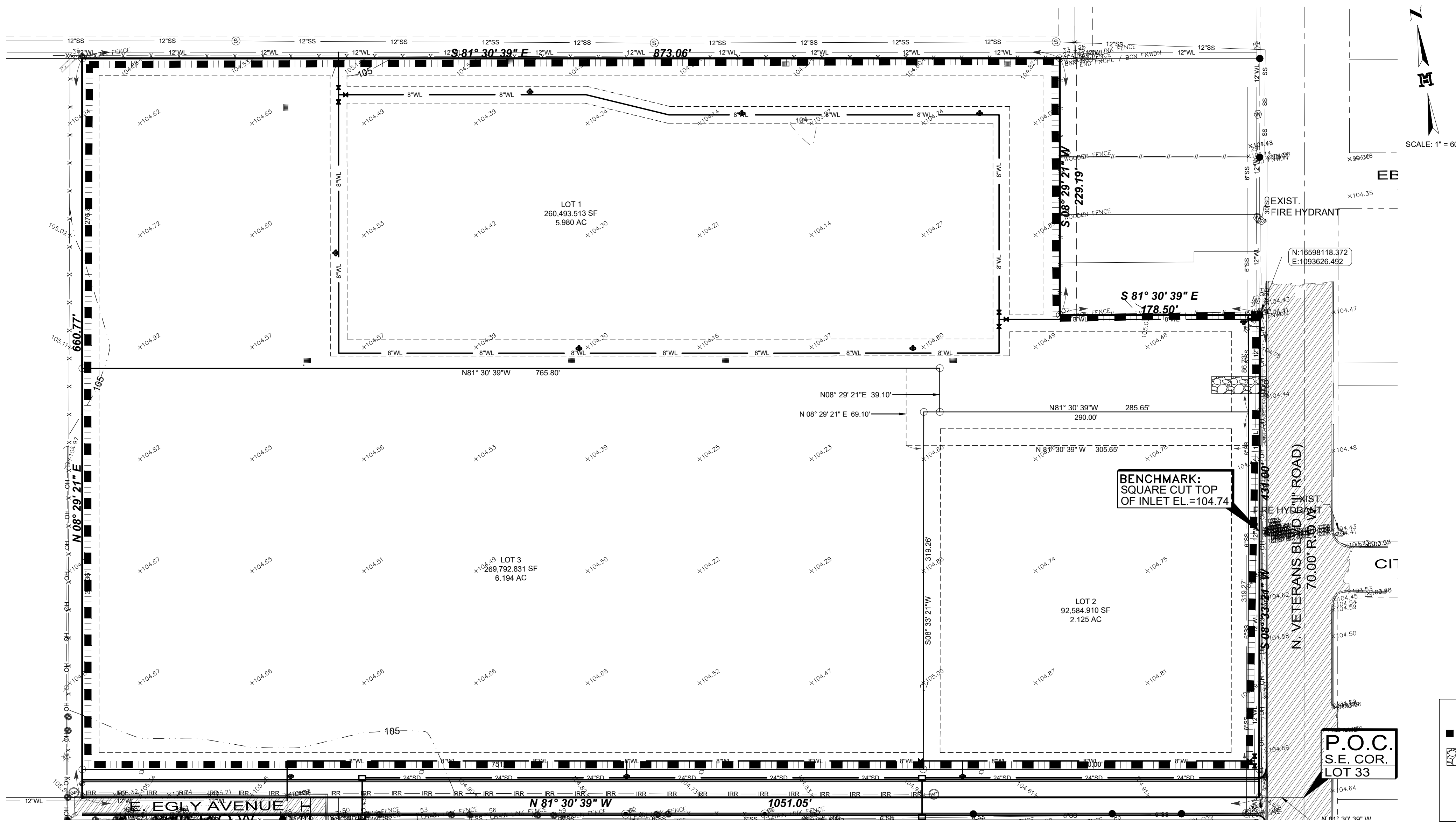
STREET AND STREET LIGHT PLAN

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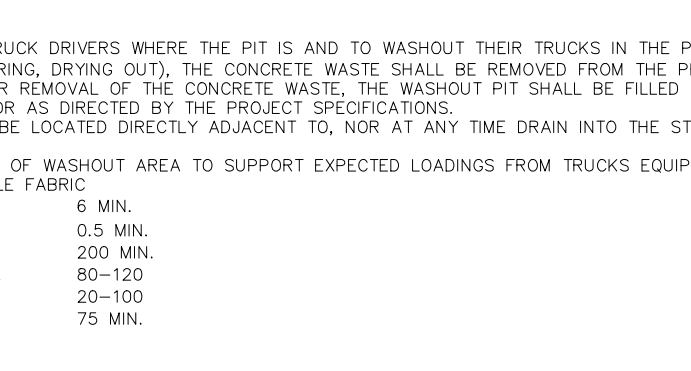
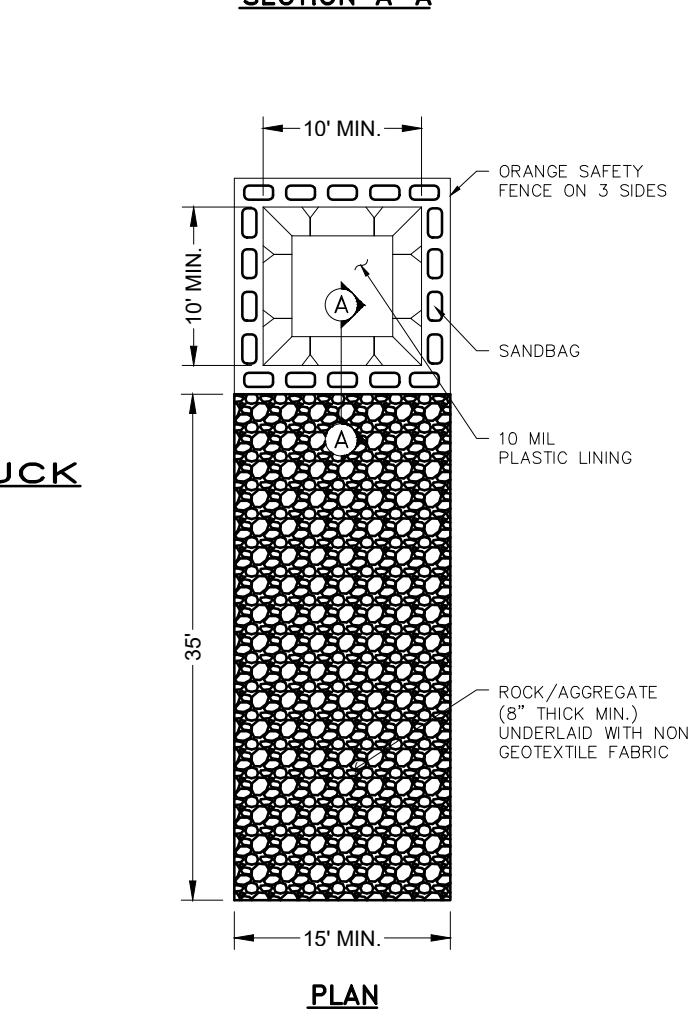
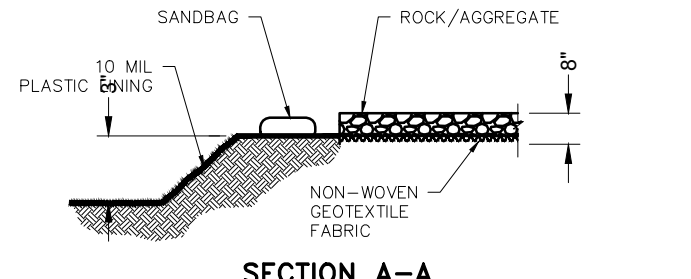
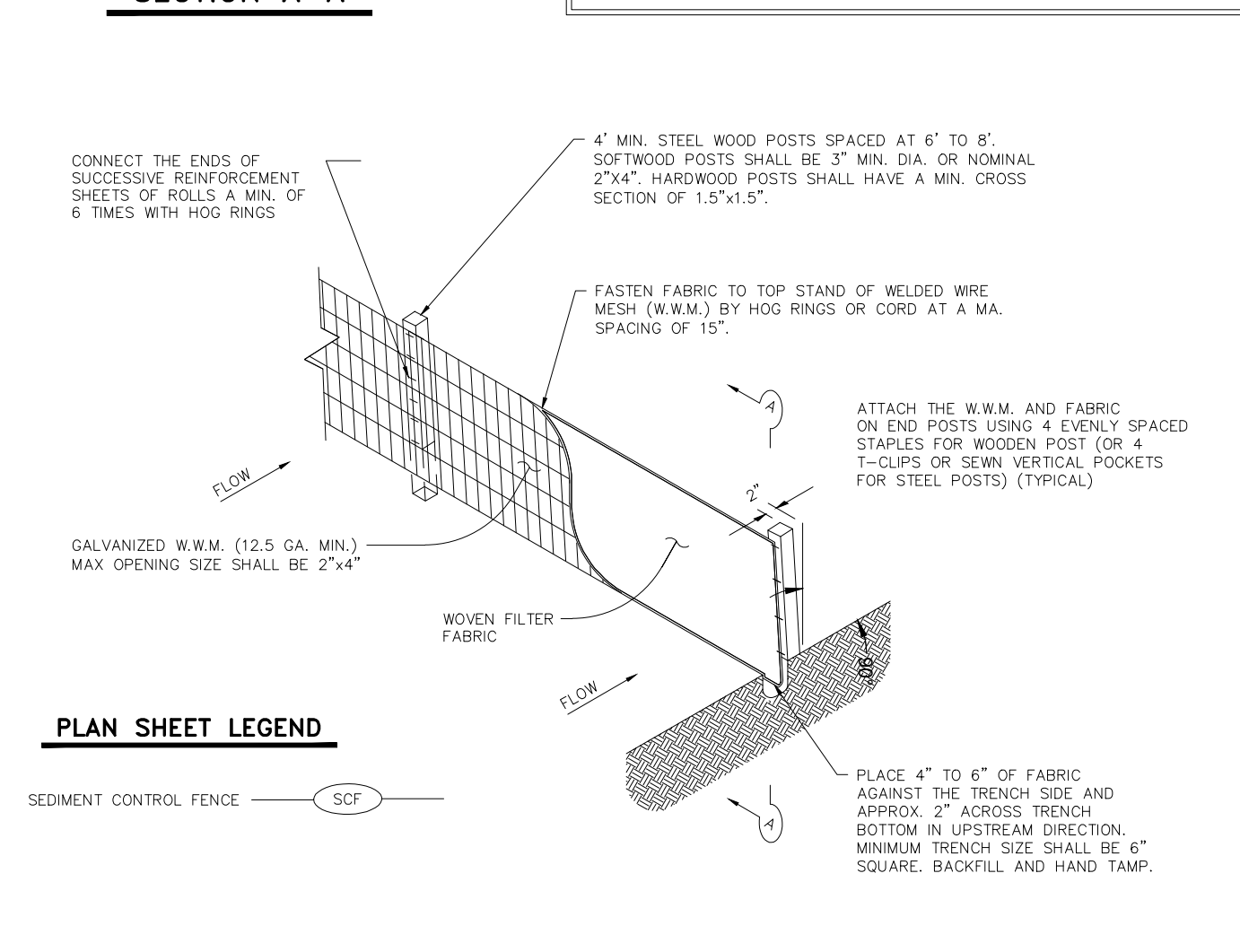
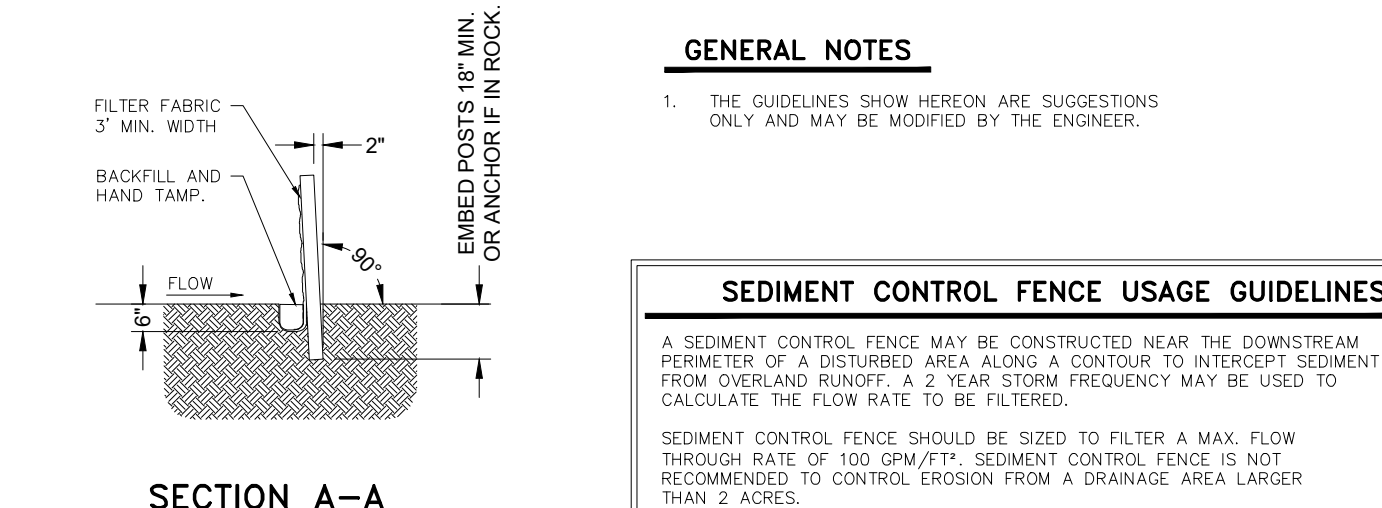
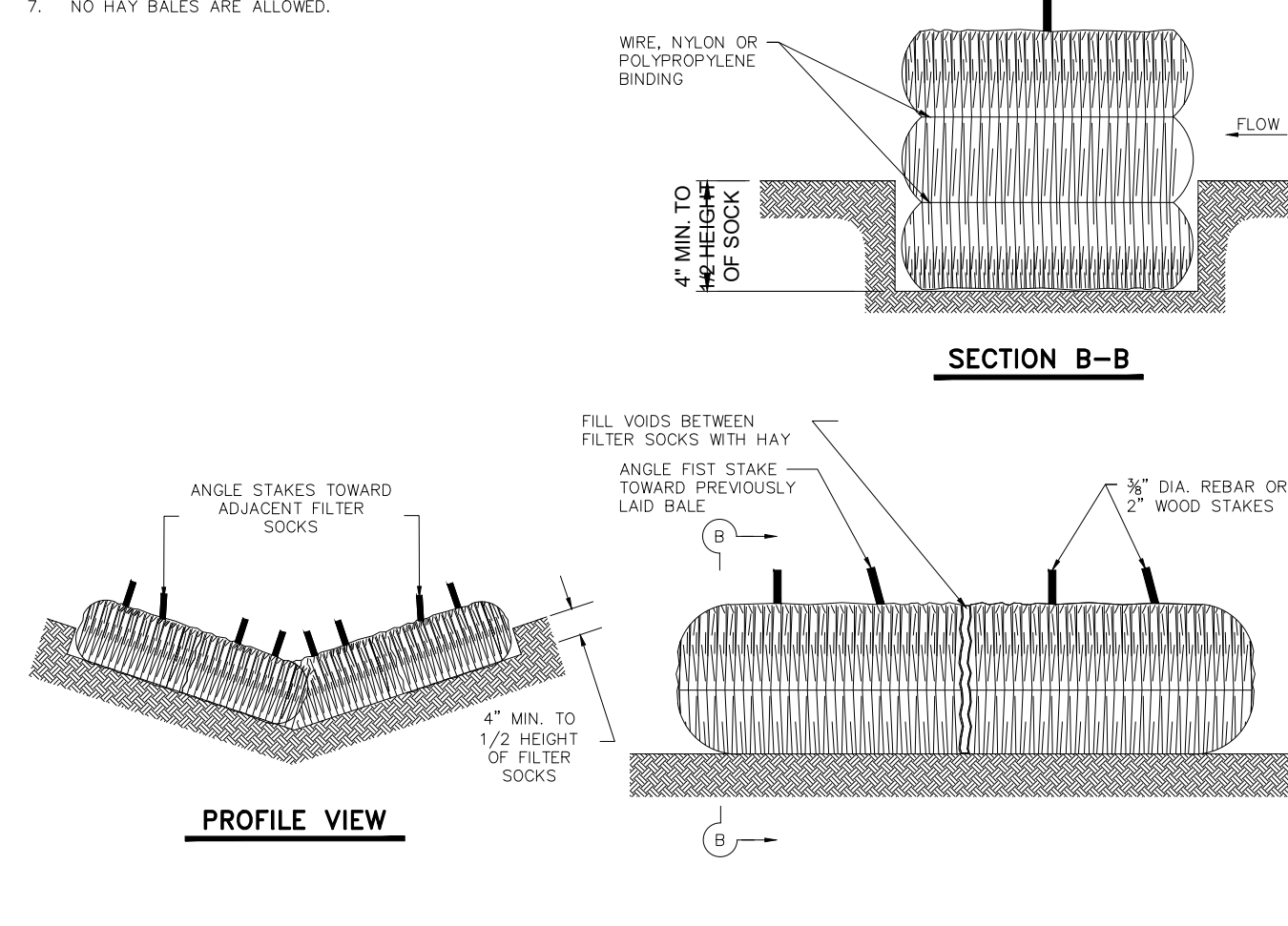
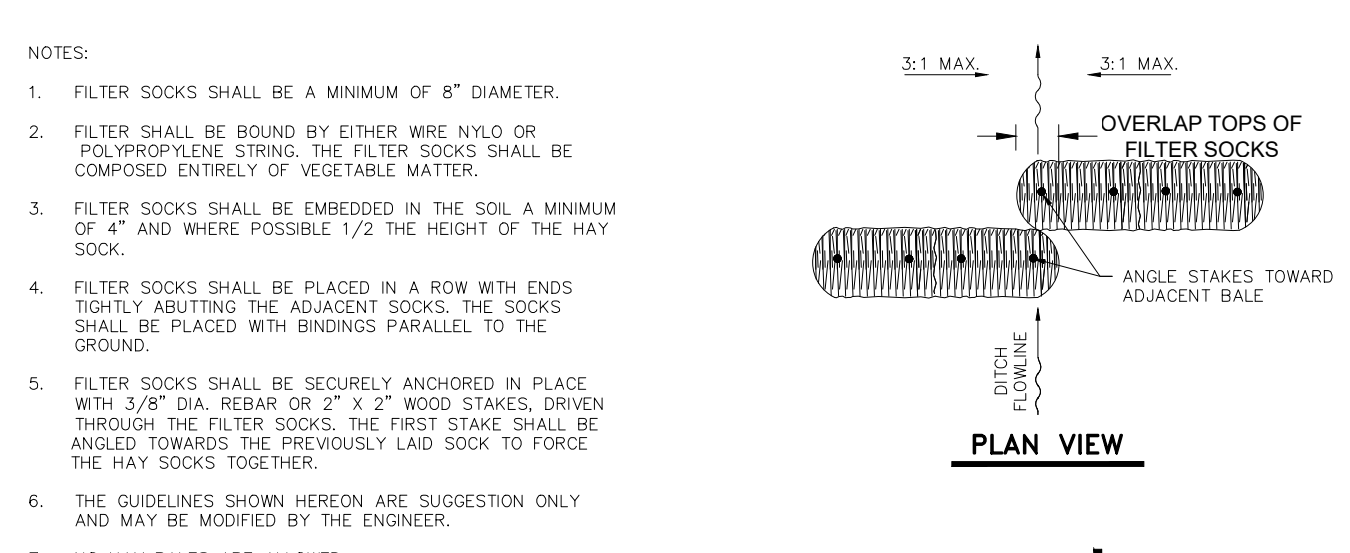
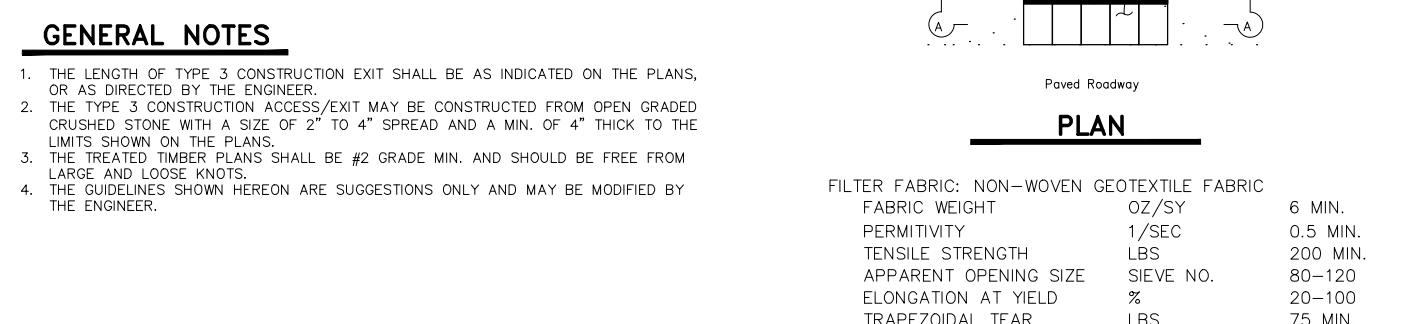
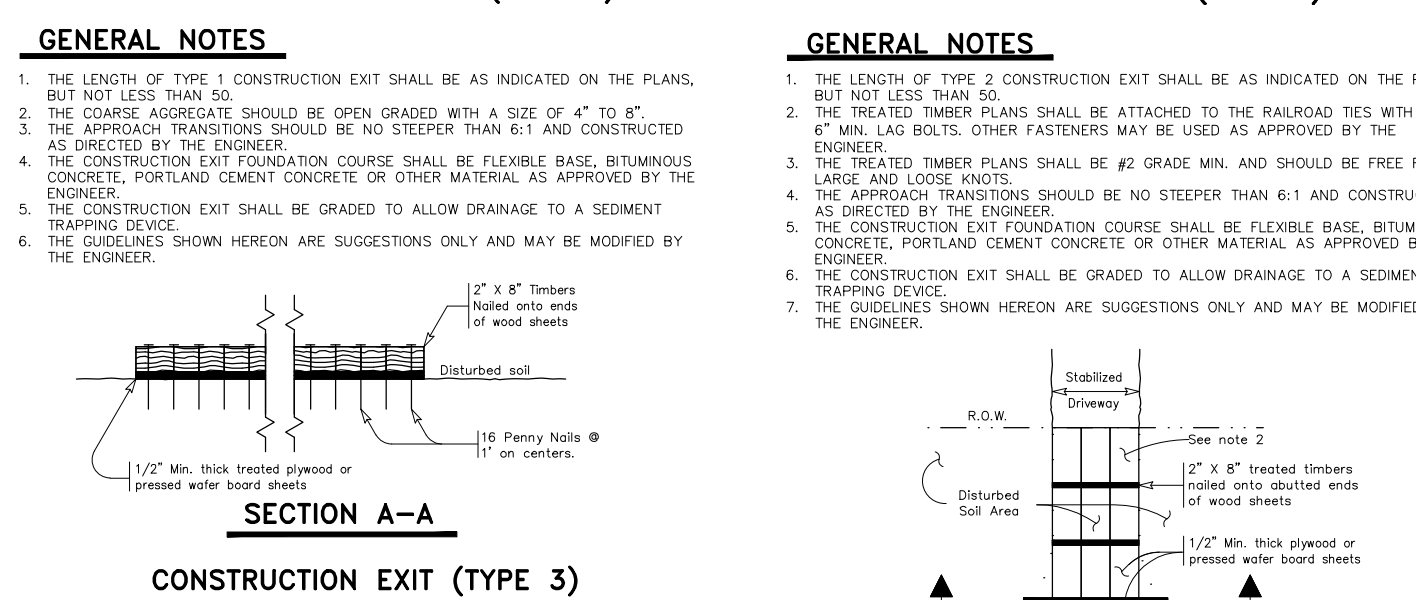
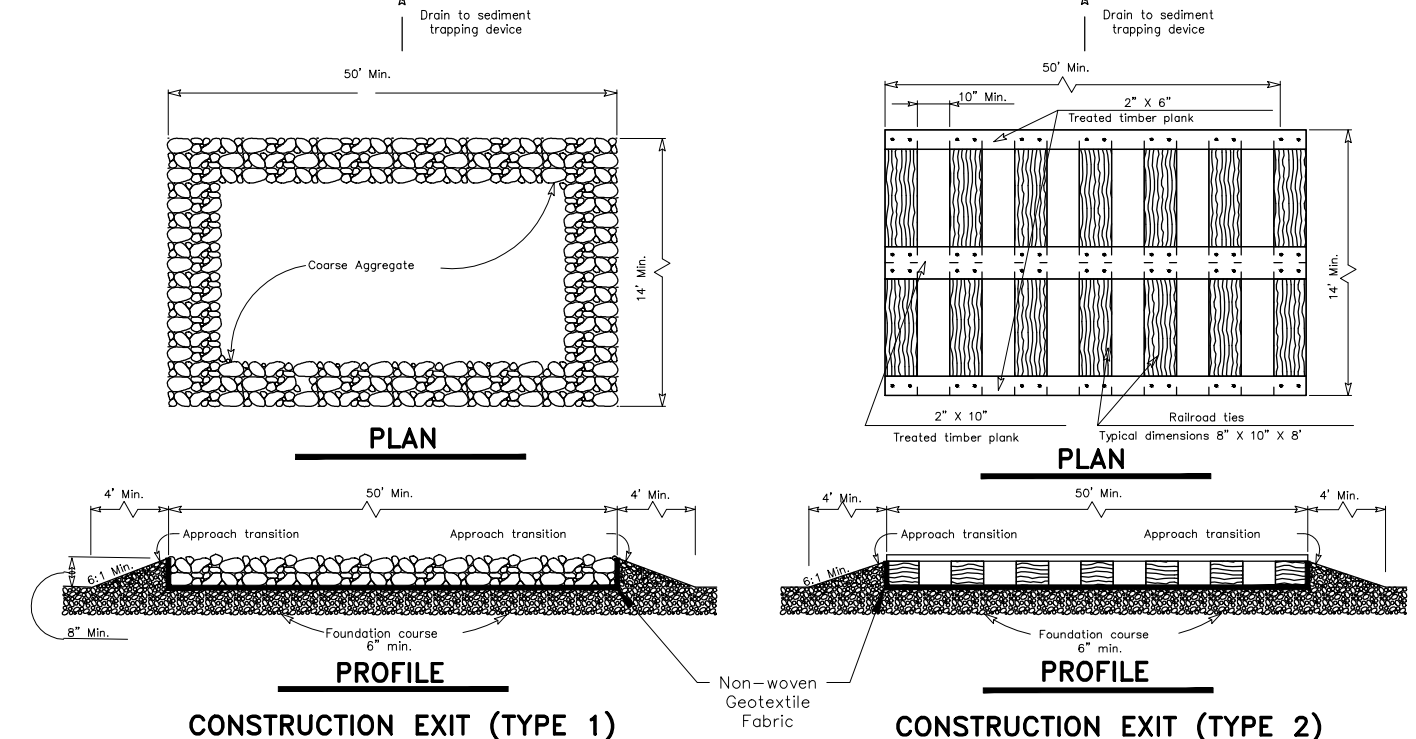
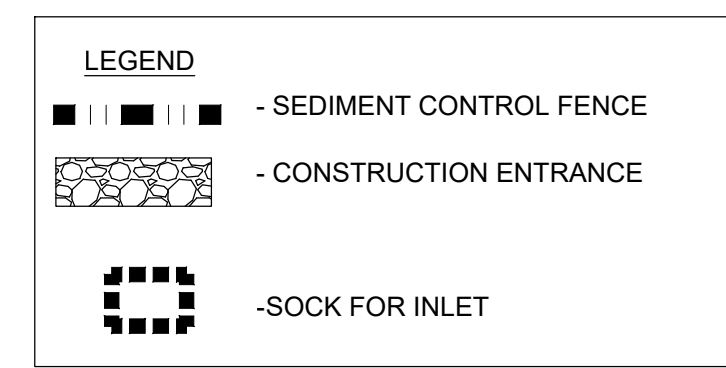
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SHEET 6 OF 7



TEMPORARY EROSION CONTROL LOGS - 2

STW-4



TEMPORARY EROSION CONTROL CONSTRUCTION ACCESS / EXIT

STW-5

EROSION CONTROL DETAIL

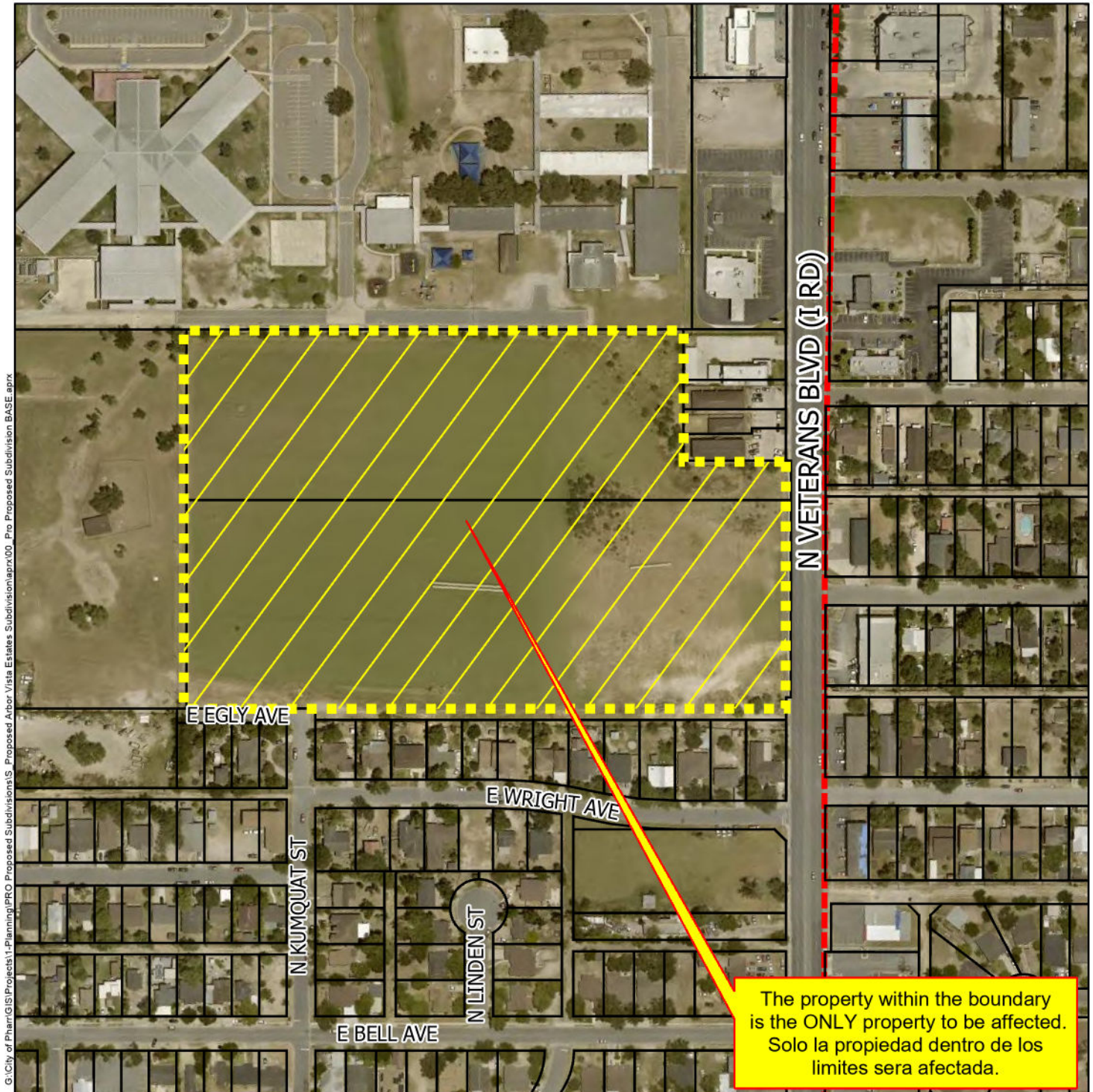
STW-1

TEMPORARY SEDIMENT CONTROL FENCE - DETAILS

STW-2

CONCRETE TRUCK WASH AREA

STW-8



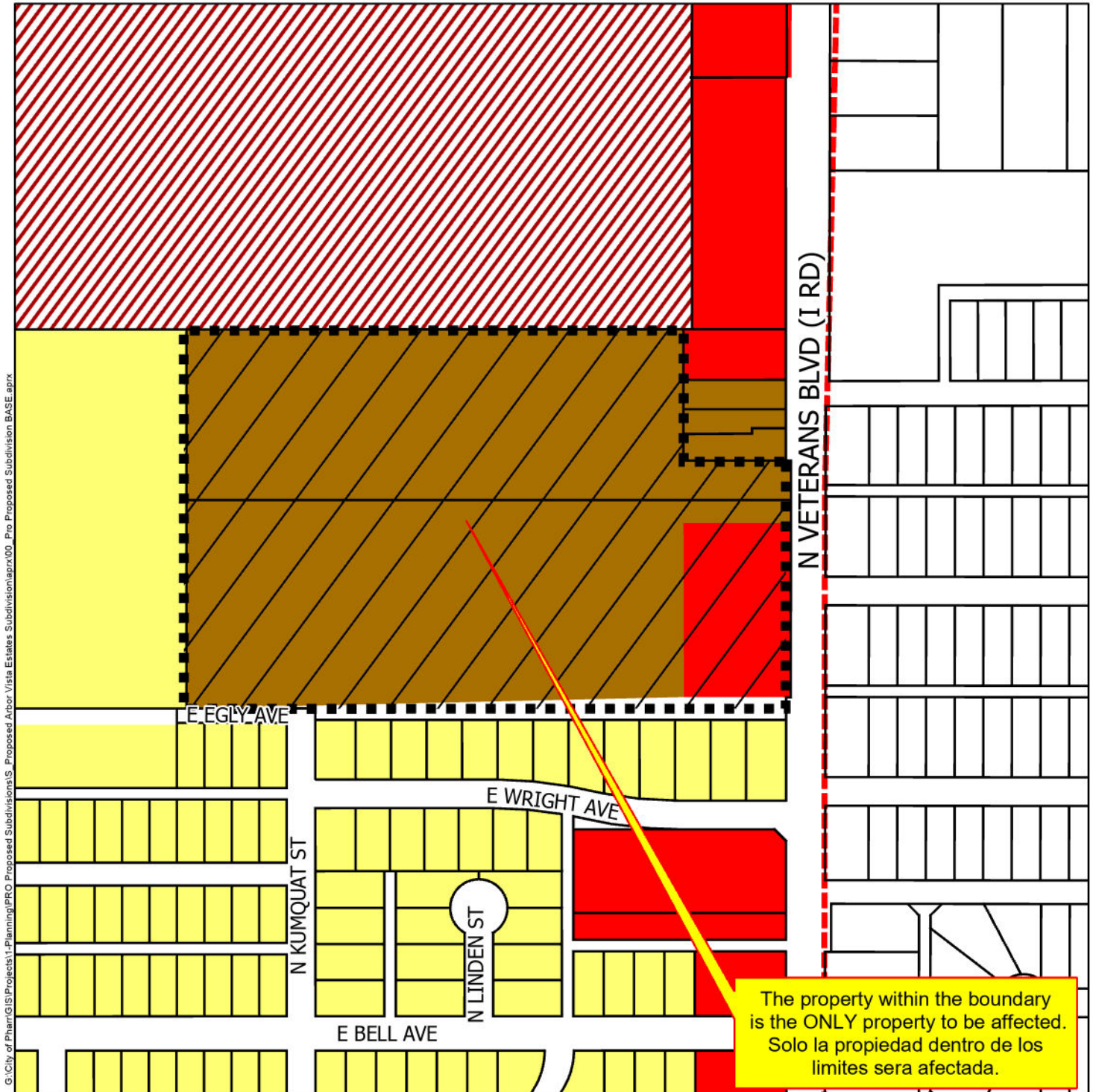
 Pharr City Limit
 Subject Property

City of Pharr, Texas
Engineering Department
956.702.5355

Scale: 1:3,000
0 125 250 500 750 1,000 Feet



Date: 2/4/2025



- | | | | |
|--------------------------|---------------------------------------|--------------------|--------------------------|
| Subject Property | Residential Multi-Family High Density | General Business | Neighborhood Commercial |
| Pharr City Limit | Mobile Home | Business District | Office Professional |
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |





Pharr
Development Services



Site Photo

700 Block of North Veterans Blvd. ("I" Rd.).

