

AGENDA
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. February 26, 2024 – 6:00 PM

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes for February 12, 2024

D. PUBLIC HEARING: *(Ordinance No. O-2019-31). A registered speaker during the public hearing may not exceed 1.5 minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the presiding clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.*

- 1) Rio Delta Engineering, representing La Frontera Re Development, LLC., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from General Business District (C) to Limited Industrial District (L-I). The property is legally described as being a 6.61 acre tract of land, more or less, out of Lot 7, Block 6, A.J. McColl Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1401 West Warren Street. **COZ#240104**

E. PLATS:

- 1) HALFF, representing Jaime Garza, BEBO Distributing Company, Inc., A Texas Corporation, is requesting final plat approval of the proposed Lot 1 DSV Subdivision. The property is legally described as being 36.458 acres out of Lot 403, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1100 Block of West Produce Drive. **SUB#231130**
- 2) Bowman, representing Sharon A. Haydon, Caged Retail Partners, LTD., A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Stripes Pharr Subdivision. The property is legally described as being 6.137 acres out of Lot 253, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 3300 Block of South Cage Boulevard. **SUB#231132**

F. ANNOUNCEMENTS:

G. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Commission may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Commission may convene in a closed, non-public meeting to discuss any matters related to real property and deliberate the purchase, exchange, lease, or value of **real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Commission may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Commission may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Commission may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.087, the Commission may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

H. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

I. ADJOURNMENT:

I, the undersigned authority, do hereby certify that the above notice of said Regular Meeting of the Planning & Zoning Commission was posted on the bulletin board at City Hall and on the City's web page at www.pharr-tx.gov. This Notice was posted on the 22ND day of February 2024 at 1:00 p. m. and will remain posted continuously for at least 72 hours preceding the scheduled time of said Meeting, in compliance with Chapter 551 of the Government Code, Vernon's Texas Codes, Annotated (Open Meetings Act).

WITNESS MY HAND AND SEAL, this 22nd day of February 2024




HILDA PEDRAZA, TRMC, CMC
CITY CLERK

MINUTES
PLANNING & ZONING COMMISSION

City Commissioner's Room
118 S. Cage Blvd. February 12, 2024 - 6:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, February 12, 2024 and following is the record of attendance.

MEMBERS PRESENT: Danny Wylie
Charlie Ramirez
Ruben Luna
Mercedes Guillen

ABSENT: Jonathan Larraga
Rafael Munguia
Andy Castro
Romeo Robles

STAFF PRESENT: David Friedlein, Assistant City Manager
Ricardo Rodriguez, City Attorney
Kimberly Mendoza, Director of Development Services
Joe Garza, Asst. Director of Development Services
Heriberto Martinez, Planner III
Laura Fonseca, Planner II
Joanna Villarreal, Planner I
Juan Vasquez, Development Assistance Specialist
Nancy Hernandez, Secretary
Julia Rios, Administrative Assistant
Jose Navarro, Assistant Fire Marshal
Lee Roy Cantu, Assistant Fire Marshal
Eloy Silva, Fire Inspector

ITEM A. CALL TO ORDER

1) ROLL CALL AND POSSIBLE ACTION ON THE EXCUSING OF ANY ABSENT MEMBER

Chairman, Danny Wylie, called the meeting to order at 6:00 p.m. Roll call established a quorum.

Charlie Ramirez **moved** to excuse absent members. Ruben Luna seconded the motion and when put to a vote, it carried unanimously.

ITEM B. PUBLIC TESTIMONY

Chairman, Danny Wylie, opened the public testimony and asked if anyone signed up to speak.

Nancy Hernandez, Secretary, stated no one had signed up to speak.

ITEM C. APPROVAL OF MINUTES

1) MINUTES FOR JANUARY 22, 2024 and MINUTES FOR FEBRUARY 01, 2024

Chairman, Danny Wylie, introduced the item. Ruben Luna **moved** to approve the minutes as submitted. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING:

1) THE CITY OF PHARR, OWNER, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO GENERAL BUSINESS DISTRICT (C). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 3.4 ACRES, MORE OR LESS, OUT OF LOT 7, BLOCK 4, A.J. MCCOLL SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS LOCATED AT 4800 NORTH JACKSON ROAD. COZ#240103

Laura Fonseca, Planner II, introduced the item and stated The City of Pharr, was requesting a change of zone from Agricultural and/or Open Space District (A-O) to General Business District (C). She went over the property's legal description and physical address and stated the property was located on the East side of North Jackson Road, approximately 0.14 miles West Nolana Loop. She stated North Jackson Road was a 120 ft. – 150 ft. principal arterial that runs north and south with a posted speed limit of 40-50 miles per hour or less, as identified in the City of Pharr's Thoroughfare Plan.

Laura Fonseca, Planner II, stated the property is currently zoned Agricultural and/or Open Space District (A-O) and the property to the North was rezoned from Agricultural and/or Open Space District (A-O) to Residential Multi-Family High Density District (R-MFHD) on May 15, 2023. She further stated the property to the East was zoned Agricultural and/or Open Space District (A-O) on October 13, 1989, upon annexation to the City of Pharr. The property to the south was rezoned from Agricultural and/or Open Space District (A-O) to General Business District (C) on June 7, 2011. The city limits lie to the west side of the property. She reported there have been no other zoning requests

within the vicinity of the subject property since that time. The property was generally designated for commercial use in the Land Use Plan.

Laura Fonseca, Planner II, explained the General Business District (C) was established to provide adequate space and site diversification for most types of commercial development in the City of Pharr. Larger shopping centers and more existing commercial strips along major arterials would be included in the district. The noise, traffic, litter, late-night hours, and possible blighting influence require adequate buffering from residential areas, except on arterials or major collectors.

Laura Fonseca, Planner II, further reported five (5) letters were mailed to the surrounding property owners on February 2, 2024, and a legal notice was published in the Advance News Journal on January 31, 2024. She briefly stated staff received no response to the letters or the legal notice.

Lastly, Laura Fonseca, Planner II, stated that Development Services recommended approval of the request to re-zone from Agricultural and/or Open Space District (A-O) to General Business District (C) as the property complies with the land use plan, meets area requirements, has adequate ingress and egress and will be compatible with surrounding properties. If approved, the owner must comply with all City Ordinances and City Department requirements.

Chairman, Danny Wylie, asked if applicant had any comments. Applicant had no comments.

Chairman, Danny Wylie, opened the public hearing and asked if anyone signed up to speak. There being no one in the affected area who signed up, the public hearing was closed.

There being no discussion, Board Member Charlie Ramirez **moved** to approve. Board Member Ruben Luna seconded the motion and when put to vote, it carried unanimously.

- 2) CROSS DEVELOPMENT CC PHARR, LLC., REPRESENTING HEAVY INVESTMENTS, LTD., OWNER HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO GENERAL BUSINESS DISTRICT (C). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 2.09 ACRES, MORE OR LESS, OUT OF LOTS 13 AND 14, L.R. BELL DEVELOPMENT "E" SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS LOCATED AT 1400 EAST FERGUSON AVENUE. COZ#240101**

Laura Fonseca, Planner II, introduced the item and stated Cross Development CC Pharr, LLC., was requesting a change of zone from Agricultural and/or Open Space District (A-O) to General Business District (C) in order to develop and construct an automobile repair shop. She went over the property's legal description and physical address and stated the property was located on the South side of east Ferguson Avenue, approximately 0.08 miles West of North Veterans Boulevard, She stated the property fronts East Ferguson Avenue, a 120 ft. – 150 ft. principal arterial that runs east and west with a posted speed limit of 40-50 miles per hour or less, as identified in the City of Pharr's Thoroughfare Plan.

Laura Fonseca, Planner II, stated the property is currently zoned Agricultural and/or Open Space District (A-O) upon adoption of comprehensive zoning in 1982. The property to the North was zoned General Business District (C) upon adoption of comprehensive zoning in 1982. A portion of the property to the east was rezoned from Agricultural and/or Open Space District (A-O) to General Business District (C) on February 20, 2017. The remaining portion to the east was rezoned from Agricultural and/or Open Space District (A-O) to General Business District (C) on January 20, 2020. The property to the south was zoned Single-Family Residential District (R-1) upon annexation on October 19, 1982. She reported there have been no other zoning requests within the general vicinity of the subject property since that time. The property was generally designated for commercial and residential use in the Land Use Plan. However, is compatible with surrounding zoning.

Laura Fonseca, Planner II, explained the General Business District (C) was established to provide adequate space and site diversification for most types of commercial development in the City of Pharr. Larger shopping centers and more existing commercial strips along major arterials would be included in the district. The noise, traffic, litter, late-night hours, and possible blighting influence require adequate buffering from residential areas, except on arterials or major collectors.

Laura Fonseca, Planner II, further reported sixteen (16) letters were mailed to the surrounding property owners on January 26, 2024, and a legal notice was published in the Advance News Journal on January 24, 2024. She briefly stated staff received two (2) response for information only, to the letter or public notice.

Lastly, Laura Fonseca, Planner II, stated that Development Services recommended approval of the request to re-zone from Agricultural and/or Open Space District (A-O) to General Business District (C) as the property meets area requirements, has adequate ingress and egress and will be compatible with surrounding properties. If approved, the owner must comply with all City Ordinances and City Department requirements.

Chairman, Danny Wylie, asked if applicant had any comments. Applicant had no comments.

Chairman, Danny Wylie, opened the public hearing and asked if anyone signed up to speak. There was no one in the affected area who signed up to speak.

There being no discussion, Board Member Charlie Ramirez **moved** to approve and Board Member Ruben Luna seconded the motion and when put to vote, it carried unanimously.

3) DIANA L. BOJORQUEZ DE ROBLES, DBA ROYAL GARDEN, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CONDITIONAL USE PERMIT TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISE CONSUMPTION IN A HEAVY COMMERCIAL DISTRICT (H-C). THE PROPERTY IS LEGALLY DESCRIBED AS 0.21 ACRES, MORE OR LESS, OUT OF LOTS 12 AND 13, MACO BUSINESS CENTER SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED AT 213 EAST FERGUSON AVENUE, SUITE C. CUP#240101

Joanna Villarreal, Planner I, introduced the item and stated Diana L. Bojorquez De Robles, DBA Royal Garden was requesting a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Heavy Commercial District (H-C). Ms. Villarreal went over the property's legal description and physical address and stated the property and properties to the east and west was currently zoned Heavy Commercial District (H-C). The adjacent zoning being General Business District (C) to the south. The property to north was zoned Single-Family Residential-Small Lot District (R-1A). She further stated the area was generally designated for commercial use in the Land Use Plan.

Joanna Villarreal, Planner I, briefly stated Police, Fire, Health, Code and Development Services recommended approval of the Conditional Use Permit. She reported twenty (20) surrounding property owners within a three hundred (300) foot radius were notified of the request by letter on January 26, 2024, and a legal notice was published in the Advance News Journal on January 24, 2024. She stated staff received no response to the letter or legal notice.

Joanna Villarreal, Planner I, further stated Development Service recommended approval of the request for a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Heavy Commercial District (H-C) and applicant shall comply with all City Ordinances and City Department requirements.

Chairman, Danny Wylie, asked if there were any comments from the applicant. Joanna Villarreal, Planner I, reported there were no comments.

There being no discussion, Board Member Ruben Luna **moved** to approve. Board Member Mercedes Guillen seconded the motion and when put to vote, it carried unanimously.

ITEM E. PLATS: NONE

ITEM F. ANNOUNCEMENTS: NONE

ITEM G. CLOSED SESSION: IN ACCORDANCE WITH CHAPTER 551 OF THE TEXAS GOV'T. CODE, THE PLANNING AND ZONING COMMISSION HEREBY GIVES NOTICE THAT IT MAY MEET IN A CLOSED SESSION (NON-PUBLIC) EXECUTIVE SESSION TO DISCUSS THE ITEMS LISTED ON THE PUBLIC PORTION OF THE MEETING AGENDA IN ACCORDANCE WITH THE FOLLOWING BELOW

ITEM H. RECONVENE: NONE

ITEM I. ADJOURNMENT

There being no further business, Ruben Luna moved to **adjourn**. Charlie Ramirez seconded the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 6:12 p.m.

PLANNING & ZONING COMMISSION

Chairman, Danny Wylie

ATTEST:

Andy Castro, Secretary

APPROVED:



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.1.

DATE SUBMITTED: February 20, 2024

MEETING DATE: February 26, 2024

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: Rio Delta Engineering, representing La Frontera Re Development, LLC., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from General Business District (C) to Limited Industrial District (L-I). The property is legally described as being a 6.61 acre tract of land, more or less, out of Lot 7, Block 6, A.J. McColl Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1401 West Warren Street. **COZ#240104**

Classification: Public Hearing

(* If closed session, City Attorney must review and approve.)

Issue: Rio Delta Engineering, representing La Frontera Re Development, LLC., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from General Business District (C) to Limited Industrial District (L-I) in order to develop and construct office space and warehouses.

Fiscal Consideration:

Staff Recommendation: Development Services recommends approval of the rezoning request from General Business (C) to Limited Industrial District (L-I) as the property complies with the future land use plan, meets area requirements, and has adequate ingress and egress. The request is compatible with the development trends in the area. If approved, the owner must comply with all City Ordinances and City Department requirements.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 2/20/2024
Approved - 2/21/2024
Final Approval - 2/21/2024



MEMORANDUM

DATE: MONDAY, FEBURARY 26, 2024

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: Re-zoning Request: From General District (C) to Limited Industrial District (L-I). The property is legally described as being a 6.61 acre tract of land, more or less, out of Lot 7, Block 6, A.J. McColl Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1401 West Warren Street. COZ#240104

Comprehensive zoning and rezoning regulations and ordinances should be adopted and designed to facilitate, as much as possible, the following items:

1. To lessen congestion;
2. Secure safety from fire, panic and other dangers;
3. To promote health and general welfare;
4. To provide adequate light and air;
5. To protect the overcrowding of land and abutting traffic ways;
6. Avoid undue concentration of population, and;
7. To facilitate the adequate provisions of transportation, water, sewage, schools, parks, and other public requirements as per Local Government Code, Sect. 211.004.

DESCRIPTION OF PROPERTY:

Rio Delta Engineering, representing La Frontera Re Development, LLC., owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from General Business District (C) to Limited Industrial District (L-I) in order to develop and construct office space and warehouses.

The subject site is located on the south side of West Warren Street, approximately 500 feet east of North Jackson Road and has a physical address of 1401 West Warren Street. The property is legally described as being a 6.61 acre tract of land, more or less, out of Lot 7, Block 6, A.J. McColl Subdivision, Pharr, Hidalgo County, Texas.

The property fronts West Warren Street, an 80 ft. major collector which runs east and west with a posted speed limit of 30 miles per hour or less as identified in the City of Pharr's Thoroughfare Plan.

The property and the properties to the west and east were zoned General Business District (C) in April 1982 during comprehensive zoning. The property to the north was rezoned from General Business District (C) to Heavy Commercial District (H-C) on January 15, 2018. There have been no other zoning requests within the vicinity of the subject property since that time. The property is generally designated for Industrial use in the Land Use Plan.

The Limited Industrial District (L-I) is intended for industrial parks and larger, cleaner types of industries. The manufacturing uses should be conducted within a totally enclosed building. Any activities conducted outside should be screened and buffered, and no external effects such as excessive noise or odor should extend beyond the property lines. The sites for such uses are typically a minimum of two acres and average five to ten acres, with a significant amount of land dedicated to landscaping.

Twelve (12) letters were mailed out to the surrounding property owners within a two hundred (200) foot radius on February 06, 2024, and a legal notice was published in the Advance News Journal on February 7, 2024. Staff received no response to the letters or the legal notice.

Development Services is recommending **approval** of the request to re-zone from General Business (C) to Limited Industrial District (L-I) as the property complies with the future land use plan, meets area requirements, and has adequate ingress and egress. The request is compatible with the development trends in the area. If approved, the owner must comply with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of **March 4, 2024, at 4:00 p.m.**

PLANNING COMMISSION OPTIONS:

1. **Approve the rezoning request;**
2. **Table the item for:**
 - a) **consideration by the full board;**
 - b) **additional information;**
 - c) **additional time for applicant and adjacent property owners to meet;**
3. **Disapprove the request.**



REQUEST FOR CHANGE OF ZONE & AMENDMENT TO LAND USE PLAN

Rio Delta Engineering, representing La Frontera Re Development, LLC.

APPLICANT

General Business (C)

CURRENT ZONE

1401 West Warren Street

ADDRESS

Limited Industrial (L-I)

PROPOSED ZONE

	YES	NO
1 Does the property meet the minimum area requirements for the proposed zone?	X	
2 Does the property have adequate ingress and egress?	X	
3 Will the change of zone be compatible with surrounding properties? (Zoning and Land Use)	X	
4 Is the property located along a major thoroughfare?		X
5 Will the property have adequate parking for the proposed use?	X	
6 Will the property have adequate landscaping as per City Ordinance?	X	
7 Will the zone change increase the volume of traffic?	X	
8 Will a buffer be required?		X
9 Is the proposed change in line with the Future Land Use Plan?	X	

STAFF RECOMMENDATIONS:

Approval

Development Services is recommending approval of the request to re-zone from General Business District (C) to Limited Industrial District (L-I) as the property complies with the future land use plan, meets area requirements, and has adequate ingress and egress. The request is compatible with the development trends in the area.

If approved, the owner must comply with all City Ordinances and City Department requirements.

Laura Fonseca, Planner II

PREPARED BY

February 19, 2024

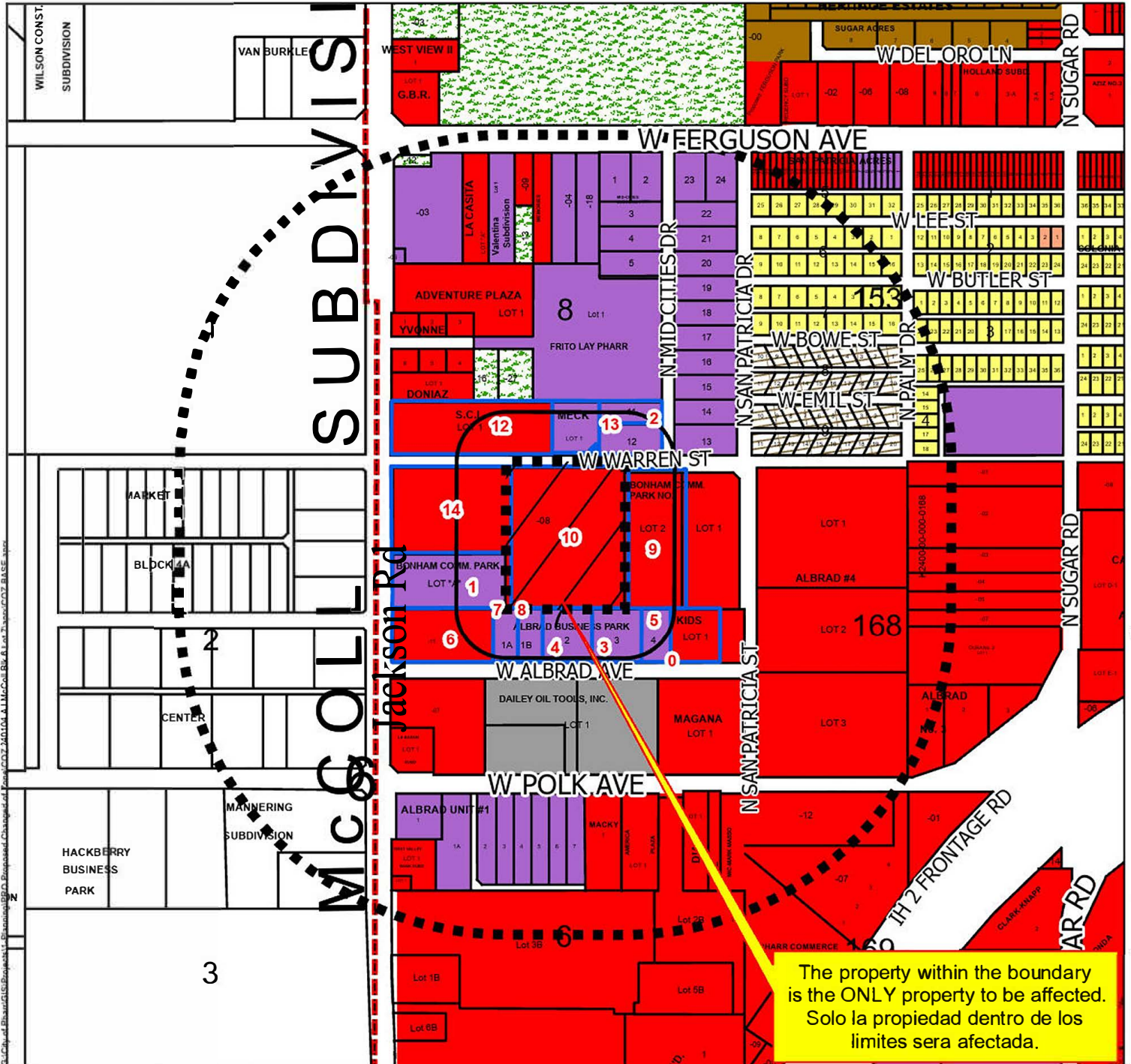
DATE



Proposed Change of Zone

6.61 acres, more or less, out of Lot
7, Block 6, A.J. McColl Subdivision

ZONING



The property within the boundary
is the ONLY property to be affected.
Solo la propiedad dentro de los
limites sera afectada.

Zoning

ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home
- Townhouse
- HUD Code
- General Business
- Business District
- Drainage Easement
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD

Future Land Use

- Hidalgo ISD
- Valley View ISD
- Planned Unit Development
- Irrigation
- Agriculture
- Single Family Res.
- Multi-Family Res.
- Manufactured Homes
- Industrial
- Commercial
- Public/Semi Public
- ROW
- Parks
- Subject Property
- 200 ft Radius
- Notified Properties
- Quarter Mile Radius

City of Pharr, Texas
Engineering Department
956.402.4242

Date: 2/5/2024

Scale: 1:7,000



All Information displayed on this map is subject
to verification by field survey or by the agency
responsible for maintaining the information.
This map is intended for general information only.

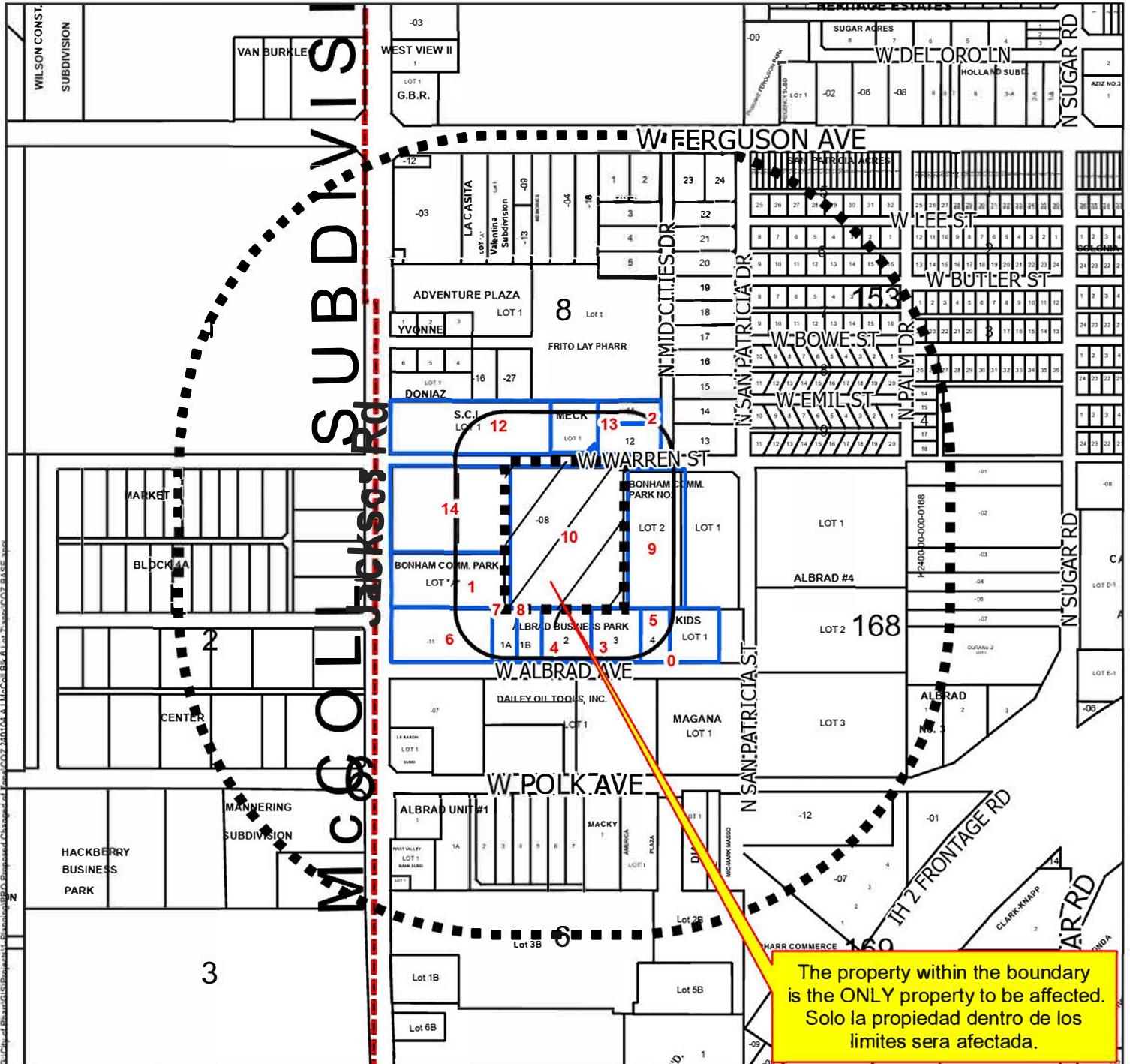


Proposed Change of Zone

6.61 acres more or less out of Lot
7 Block 6 A.J. McCol Subdivision



RADIUS



Zoning

ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home
- Townhouse
- HUD Code

- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD

- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

Future Land Use

FUTURELAND

- Irrigation
- Agriculture
- Single Family Res.
- Multi-Family Res.

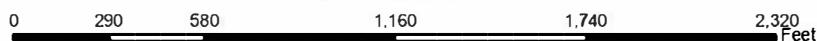
- Manufactured Homes
- Industrial
- Commercial
- Public/Semi Public
- ROW
- Parks
- Subject Property
- 200 ft Radius
- Notified Properties
- Quarter Mile Radius

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City of Pharr, Texas
Engineering Department
956.402.4242

Date: 2/5/2024

Scale: 1:7,000

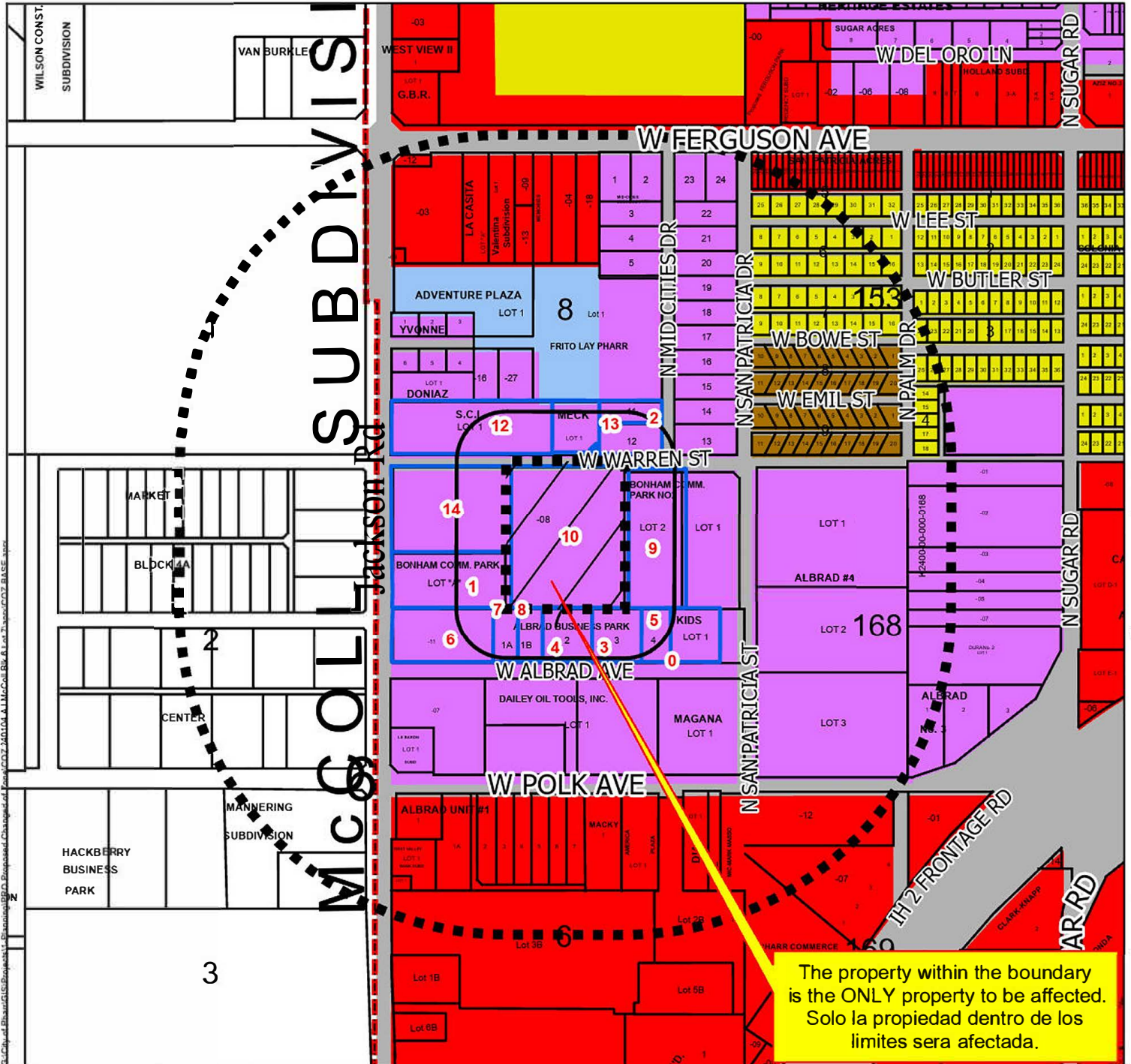


Proposed Change of Zone

6.61 acres, more or less, out of
Lot 7, Block 6, A.J. McColl
Subdivision



FUTURE LAND USE



The property within the boundary
is the ONLY property to be affected.
Solo la propiedad dentro de los
limites sera afectada.

Zoning

ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home
- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

Future Land Use

FUTURELAND

- Irrigation
- Agriculture
- Single Family Res.
- Multi-Family Res.
- Manufactured Homes
- Industrial
- Commercial
- Public/Semi Public
- ROW
- Parks
- Subject Property
- 200 ft Radius
- Notified Properties
- Quarter Mile Radius

City of Pharr, Texas
Engineering Department
956.402.4242

Date: 2/5/2024

Scale: 1:7,000

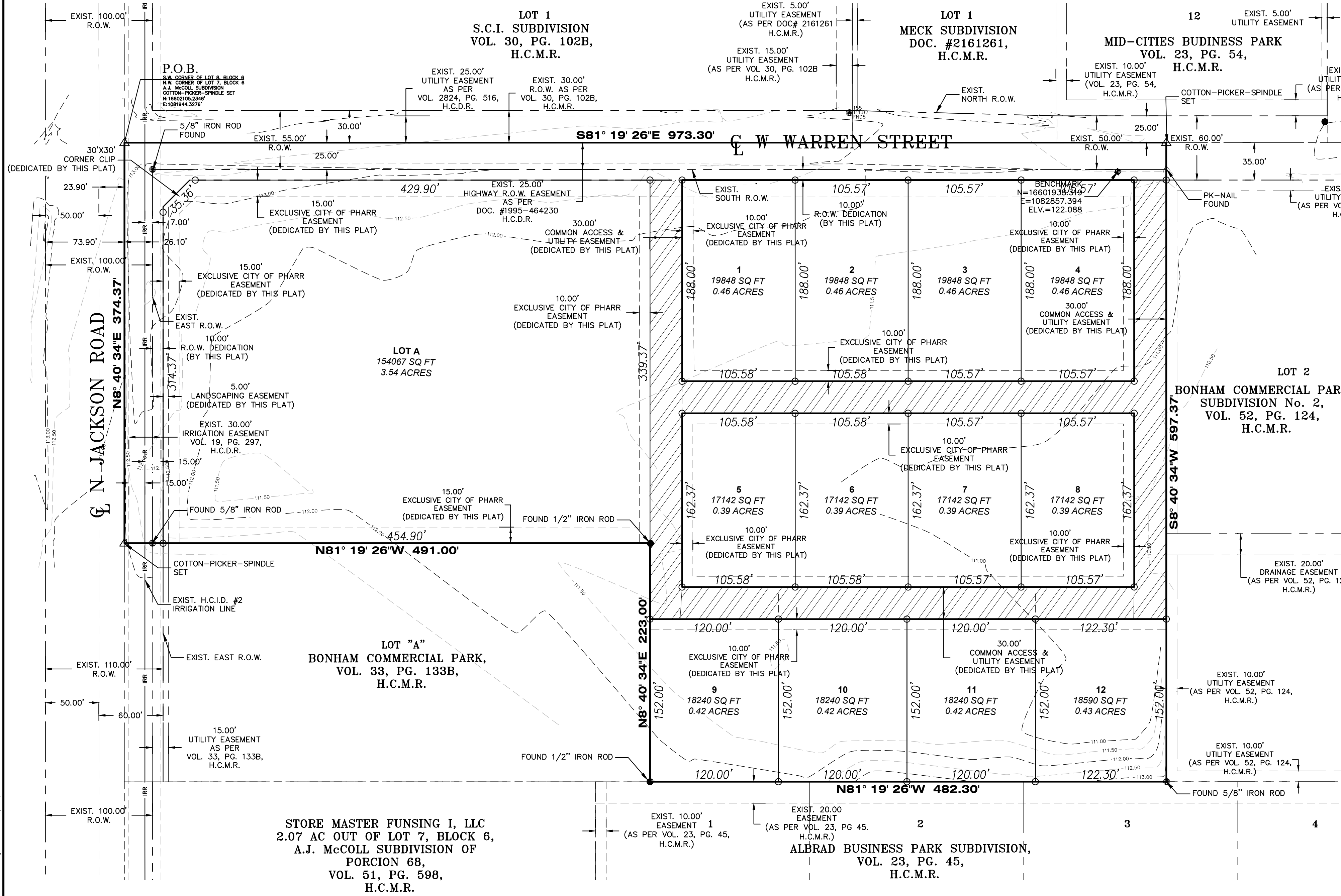
0 290 580 1,160 1,740 2,320 Feet

All Information displayed on this map is subject
to verification by field survey or by the agency
responsible for maintaining the information.
This map is intended for general information only.



JACKSON & WARREN SUBDIVISION

BEING A 10.83 ACRE TRACT OF LAND OUT OF LOT 7, BLOCK 6, A.J. McCOLL SUBDIVISION OF PORCION 68, HIDALGO COUNTY, TEXAS, ACCORDING TO MAP OR PLAT THEREOF RECORDED IN VOLUME 21, PAGE 598, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2848808, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



SCALE: 1" = 60'
BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES TEXAS SOUTH (4205)
(NAD 83)

LEGEND	
●	FOUND 4" IRON PIPE
○	FOUND 1/2" IRON ROD
●	SET 1/2" IRON ROD
●	FOUND CONCRETE MONUMENT
△	BENCHMARK HUB WITH NAIL
△	SET COTTON-PICKER-SPINDLE
△	FOUND PK NAIL
P.O.B.	PLACE OF BEGINNING
P.O.C.	POINT OF COMMENCING
R.O.W.	RIGHT-OF-WAY
CL	CENTER LINE
LL	LOT LINE
U.E.	UTILITY EASEMENT
S.E.C.	SOUTHEAST CORNER
X.X.X.X.	NATURAL GROUND (X.X.X.X.)

METES AND BOUNDS:

BEING A 10.83 ACRES TRACT OF LAND, MORE OR LESS OUT OF LOT 7, BLOCK 6, A.J. McCOLL SUBDIVISION OF PORCION 68, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 21, PAGE 598, DEED RECORDS OF HIDALGO COUNTY, TEXAS, SAID 10.83 ACRES BEING THE SAME LAND DESCRIBED IN A GENERAL WARRANTY DEED WITH VENDOR'S LIEN CONVEYED TO KYNDIEL W. BENNETT, KYLE BENNETT LIVING TRUST, DATED SEPTEMBER 12, 2017, RECORDED IN DOCUMENT #2017-284808, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS, AND SAID 10.83 ACRES TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A COTTON-PICKER-SPINDLE SET AT THE NORTHWEST CORNER OF THE SAID LOT 7, SAME POINT BEING THE SOUTHWEST CORNER OF A CALLED S.C.I. SUBDIVISION, RECORDED IN VOLUME 30, PAGE 102B, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND SAME BEING A POINT WITHIN THE EXISTING RIGHT-OF-WAY OF N. JACKSON ROAD (F.M. 3362), FOR THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT AND **POINT OF BEGINNING**;

THENCE S 81°17'47" E ALONG THE NORTH LINE OF THE SAID LOT 7, SAME BEING ALONG THE SOUTH BOUNDARY LINE OF THE SAID S.C.I. SUBDIVISION, AND SAME BEING WITHIN THE EXISTING RIGHT-OF-WAY OF W. WARREN STREET (AS PER DOCUMENT #484230, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS), TO THE NORTHWEST CORNER OF A CALLED BONHAM COMMERCIAL PARK SUBDIVISION No. 2, RECORDED IN VOLUME 52, PAGE 124, MAP RECORDS OF HIDALGO COUNTY, TEXAS, PASSING AT 26.10 FEET A 5/8-INCH IRON ROD FOUND ON THE EXISTING EAST RIGHT-OF-WAY LINE OF N. JACKSON ROAD (F.M. 3362), AND CONTINUING FOR A TOTAL DISTANCE OF 973.30 FEET TO A COTTON-PICKER-SPINDLE SET, FOR THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

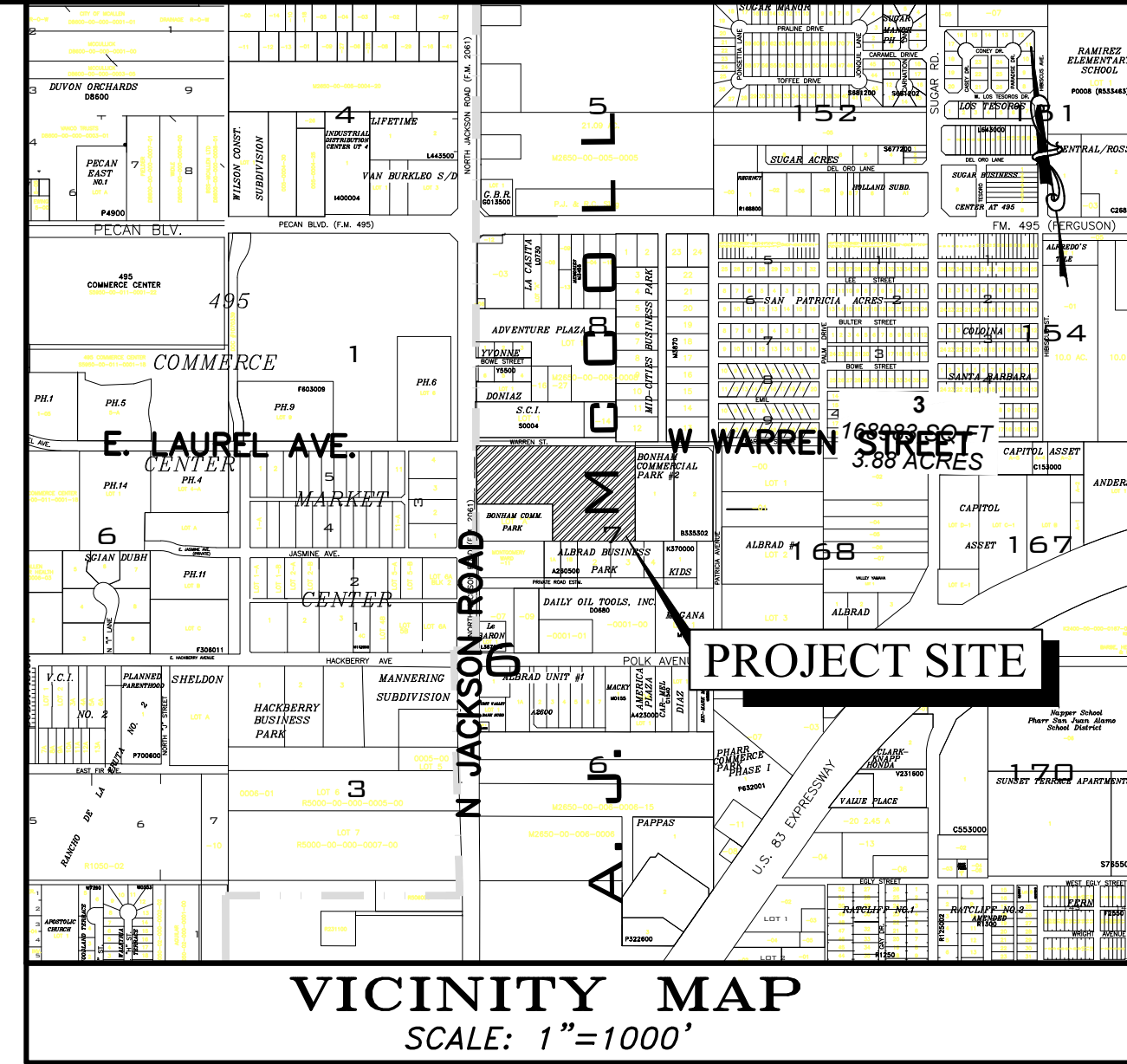
THENCE S 8°42'13" W ACROSS THE SAID LOT 7, SAME BEING ALONG THE WEST BOUNDARY LINE OF THE SAID BONHAM COMMERCIAL PARK SUBDIVISION No. 2, TO A POINT ON THE NORTH BOUNDARY LINE OF A CALLED ALBRAD BUSINESS PARK SUBDIVISION, RECORDED IN VOLUME 23, PAGE 45, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAME POINT BEING THE SOUTHWEST CORNER OF THE SAID BONHAM COMMERCIAL PARK SUBDIVISION No. 2, PASSING AT 25.00 FEET A PK NAIL FOUND ON THE EXISTING SOUTH SIDE OF W. WARREN STREET, AND CONTINUING FOR A TOTAL DISTANCE OF 597.37 FEET TO A 5/8-INCH IRON ROD FOUND, FOR THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81°17'47" W ACROSS THE SAID LOT 7, ALONG THE NORTH BOUNDARY LINE OF THE SAID ALBRAD BUSINESS PARK SUBDIVISION, TO THE SOUTHEAST CORNER OF A CALLED BONHAM COMMERCIAL PARK, RECORDED IN VOLUME 33, PAGE 133B, MAP RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 482.30 FEET TO A 1/2-INCH IRON ROD FOUND, FOR THE MOST SOUTHERLY SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°42'13" E ACROSS THE SAID LOT 7, TO AN INTERIOR CORNER OF THE ORIGINAL 10.83 BENNETT TRACT, SAME POINT BEING THE NORTHEAST CORNER OF A CALLED BONHAM COMMERCIAL PARK, RECORDED IN VOLUME 33, PAGE 133B, MAP RECORDS OF HIDALGO COUNTY, TEXAS, A DISTANCE OF 223.00 FEET TO A 1/2-INCH IRON ROD FOUND, FOR THE INTERIOR CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 81°17'47" W ALONG THE NORTH BOUNDARY LINE OF THE SAID BONHAM COMMERCIAL PARK, TO A POINT ON THE WEST LINE OF THE SAID LOT 7, PASSING AT 454.80 FEET A 5/8-INCH IRON ROD FOUND ON THE EXISTING EAST RIGHT-OF-WAY LINE OF N. JACKSON ROAD (F.M. 3362), AND CONTINUING FOR A TOTAL DISTANCE OF 491.00 FEET TO A COTTON PICKER SPINDLE SET, FOR THE MOST WESTERLY SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE N 8°42'13" E ALONG THE WEST LINE OF THE SAID LOT 7, SAME BEING WITHIN THE EXISTING RIGHT-OF-WAY OF N. JACKSON ROAD (F.M. 3362), AND THE NORTH 25.00 FEET (0.54 ACRES) LIES WITHIN THE EXISTING RIGHT-OF-WAY OF W. WARREN STREET (AS PER DOCUMENT #484230, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS).



GENERAL NOTES:

- FINISHED FLOOR ELEVATION SHALL BE 18" FROM TOP OF CURB OF ROAD AS MEASURED FROM THE CENTER OF EACH LOT.
 - THE SUBDIVISION IS IN ZONE "B" (MEDIUM SHADING) AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD ACCORDING TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480347 0005 C, REVISED DATE OCTOBER 19, 1982.
 - NO STRUCTURES SHALL BE BUILT ON TOP OF ANY EASEMENTS.
 - CITY OF PHARR BENCHMARK No. 49, ELEVATION = 111.45 FOUND MONUMENT ON THE NORTH SIDE OF W. POLK AVENUE AND EAST SIDE OF SAN PATRICIA DRIVE GRID COORDINATES N:16600687.202, E:1083244.195
 - A 5' SIDEWALK WITH ADA COMPLIANT RAMPS AND LANDINGS WILL BE REQUIRED TO BE CONSTRUCTED ALONG THE SOUTH SIDE OF W. WARREN STREET AND THE EAST SIDE OF N. JACKSON ROAD AT BUILDING PERMIT STAGE.
 - ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING PLANT REVIEW TO PROVIDE ANY ADDITIONAL FIRE PROTECTION REQUIREMENT.
 - LANDSCAPING REQUIREMENT SHALL BE AS PER CITY OF PHARR ORDINANCE
 - MINIMUM BUILDING SETBACKS SHALL BE AS PER CITY OF PHARR ORDINANCE
 - STORM WATER DETENTION IS REQUIRED FOR THIS PROPERTY. THE ENGINEER OF RECORD FOR THIS SUBDIVISION PLAT HAS ESTIMATED THAT AN AREA OF APPROXIMATELY 2,671 ACRES FEET AND A VOLUME OF APPROXIMATELY 116,342 CUBIC FEET WILL BE REQUIRED FOR THE SUBDIVISION. THIS IS AN ESTIMATE ONLY AND DETAILED ANALYSIS MAY REVEAL DIFFERENT REQUIREMENTS.
- NO BUILDING PERMIT SHALL BE ISSUED FOR THIS PLATTED PROPERTY UNTIL A STORM WATER DETENTION SYSTEM DESIGN HAS BEEN APPROVED BY THE CITY OF PHARR FOR THIS COMMERCIAL DEVELOPMENT.
- OWNERS ARE TO MAINTAIN DETENTION/RETENTION AREAS.
 - OWNERS TO MAINTAIN R.O.W. AND PERIMETER OF SUBDIVISION.
 - ENFORCEMENT OF ALL PLAT NOTES AND DEDICATIONS SHALL BE THE RESPONSIBILITY OF THE AGENCY OR ENTITY TO WHOM THE DEDICATION IS GRANTED.
 - EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEMS (TPDES).
 - FIRE SPRINKLER PROTECTION SHALL BE INSTALLED BY A TEXAS LICENSE FIRE PROTECTION COMPANY WITH A MINIMUM RME-U LICENSE TO INSTALL THE FIRE SPRINKLER UNDERGROUND.

STATE OF TEXAS - COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I (WE), THE UNDERSIGNED, OWNER(S) **LA FRONTERA RE DEVELOPMENT, LLC** OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE **JACKSON & WARREN SUBDIVISION** AN ADDITION TO THE CITY OF PHARR, HIDALGO COUNTY, TEXAS, AND WHOSE NAME(S) IS (ARE) SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, SEWER LINES, WATER COURSES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I (WE) WILL CAUSE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF PHARR, ALL THE SAME, FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF PHARR.

JOSEPH WILLIAM HOLAND (OWNER)
LA FRONTERA RE DEVELOPMENT, LLC
1308 E. JASMINE AVENUE
MCALLEN, TX. 78501

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, **JOSEPH W. HOLAND** PERSONALLY APPEARED AND PROVED, THROUGH HIS DEPARTMENT OF PUBLIC SAFETY DRIVER'S LICENSE, TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, FURTHERMORE, AFTER BEING DULY SWORN BY ME, HE DECLARED THAT THE STATEMENTS CONTAINED THEREIN ARE TRUE AND CORRECT, AND ACKNOWLEDGED THAT HE (THEY) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED, ALL GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS THE ____ DAY OF _____, 2024.

NOTARY PUBLIC FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES ON: _____

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 CERTIFICATE

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

HIDALGO COUNTY IRRIGATION DISTRICT NO. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED ON HIDALGO COUNTY IRRIGATION DISTRICT NO.2

PRESIDENT _____ SECRETARY _____

STATE OF TEXAS CITY OF PHARR

I, THE UNDERSIGNED, THE MAYOR OF THE CITY OF PHARR HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

AMBROSIO HERNANDEZ
MAYOR, CITY OF PHARR

ATTEST: _____ CITY CLERK _____ DATE _____

STATE OF TEXAS CITY OF HIDALGO

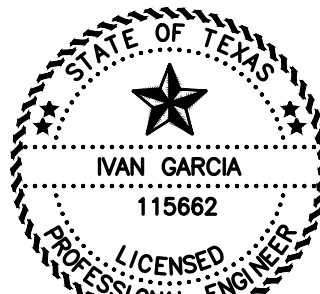
I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF PHARR, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT OF **JACKSON & WARREN SUBDIVISION** CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE DATED THIS ____ DAY OF _____, 2024.

DANNY WYLIE CHAIRMAN, PLANNING & ZONING COMMISSION

STATE OF TEXAS COUNTY OF HIDALGO

I, IVAN GARCIA P.E., R.P.L.S., A REGISTERED PROFESSIONAL ENGINEER AND PUBLIC SURVEYOR, AM AUTHORIZED UNDER THE LAWS OF THE STATE OF TEXAS TO PRACTICE THE PROFESSIONS OF ENGINEERING AND PUBLIC SURVEYING, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION, AND FURTHER CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT, AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF PHARR SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

IVAN GARCIA, P.E., R.P.L.S.
REGISTERED PROFESSIONAL ENGINEER NO. 115662
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 6496
SURVEY FIRM # 10194027



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

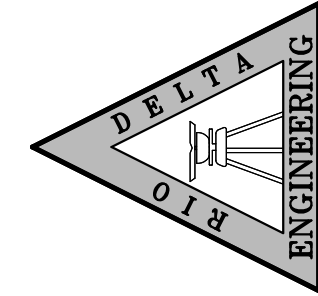
ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

NAME	ADDRESS	PHONE & FAX
OWNER(S): JOSEPH W. HOLAND - LA FRONTERA RE DEVELOPMENT, LLC	1308 E. JASMINE AVENUE MCALLEN, TX. 78501	78501 - -
SURVEYOR: IVAN GARCIA, PE., R.P.L.S.	921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083
ENGINEER: IVAN GARCIA, PE., R.P.L.S.	921 S. 10TH AVENUE EDINBURG, TX. 78539	(956) 380-5152 (956) 380-5083

RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083



PRELIMINARY

JACKSON & WARREN SUBDIVISION PHARR, TEXAS HIDALGO COUNTY

PLAT SHEET

ENGINEER: IVAN GARCIA P.E. R.P.L.S.
SURVEYOR: IVAN GARCIA P.E. R.P.L.S.

CHECKED: IVAN GARCIA P.E. R.P.L.S.
DRAWN: E.P., E.D.T.

SCALE: 1" = 60'

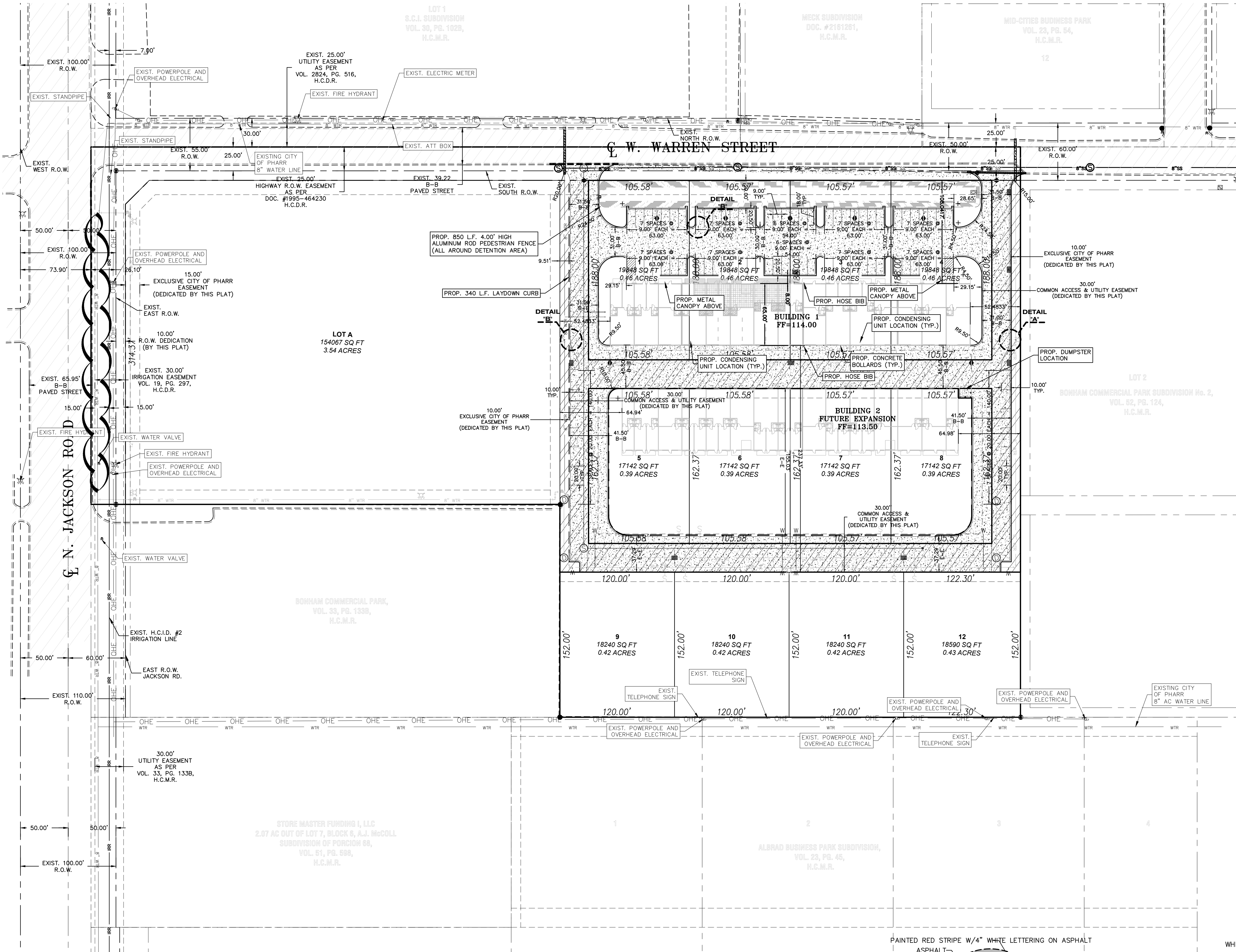
DATE: DECEMBER 12, 2023

PROJECT: SUB 20 048

REVISIONS:

PAGE NO. 1-OF-1

Y: RDE SUBDIVISIONS 2020 SUB 20 048 - PHARR SUBDIVISION - HOLLAND DMS SUB 20 048_RDE_SHT 4 DIMENSIONED LAYOUT.dwg RIDE 12/14/2023 6:37 PM



SCALE: 1" = 50'
BEARING OF BASIS
TEXAS STATE PLANE
COORDINATES TEXAS SOUTH (4205)
(NAD 83)

LEGEND	
	-POWER POLE
	-FIRE HYDRANT
	-SET IRON ROD
	-IRON ROD FOUND
	-EXIST. 8" WATER LINE
	-EXIST. 6" WATER LINE
	-EXIST. 6" SANITARY SEWER MANHOLE
	-EXIST. WATER METER
	-EXIST. GAS METER

ABBREVIATION LEGEND	
F.B.S.L.	FRONT BUILDING SETBACK LINE
R.B.S.L.	REAR BUILDING SETBACK LINE
S.B.S.L.	SIDE BUILDING SETBACK LINE
R.O.W.	RIGHT-OF-WAY
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCING
S.W.C.	SOUTHWEST CORNER
F.T.	FARM TRACT
F.M.	FARM-TO-MARKET
C.P.&L.	CENTRAL POWER & LIGHT CO.
D.R.H.C.	DEED RECORDS OF HIDALGO COUNTY
U.E.	UTILITY EASEMENT
S.W.S.C.	SHARYLAND WATER SUPPLY CORP.
U.E.	UTILITY EASEMENT
O.S.S.F.	ON-SITE SEWAGE FACILITY
B-B	BACK TO BACK
E-E	EDGE TO EDGE
C	CENTER LINE
L	LOT LINE

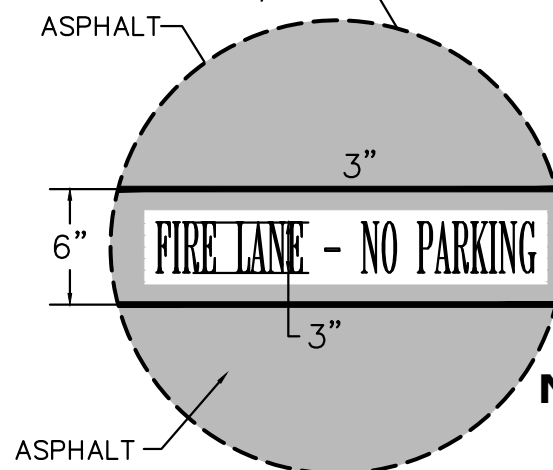
NOTES:

- CONTRACTOR SHALL CONNECT ALL EXISTING WATER SERVICES TO NEW LINE. FIELD VERIFY PRIOR TO CONSTRUCTION.
- CONTRACTOR SHOULD COORDINATE WITH CITY STAFF BEFORE AND DURING ANY SERVICE INTERRUPTIONS.
- ONLY POLY TUBING SHALL BE USED FOR WATER SERVICE.
- ALL FITTING SHALL HAVE MEGA LUGS.
- SAND BEDDING "6 BOTTOM/6" TO 8" TOP-PLACE BLUE TAPE IN THE MIDDLE OF SAND AND/OR AS PER CITY OF PHARR STANDARD CONSTRUCTION MANUAL.
- CONCRETE COLLAR ON ALL WATER VALVES 30"x30"x6"
- CONTRACTOR SHALL COORDINATE WITH ALL UTILITY/RIGHT OF WAY OWNERS AND ENGINEER PRIOR TO START CONSTRUCTION AND/OR ANY RELOCATIONS OF UTILITIES.
- CONTRACTOR SHALL FOLLOW ALL RESPECTIVE REQUIREMENTS FROM UTILITY AND RIGHT OF WAY OWNERS FOR ALL RELOCATIONS.
- CONTRACTOR SHALL LOCATE ALL EXIST. WATER/SEWER SERVICES ALONG ALLEY AND CONNECT TO NEW WATER/SEWER LINE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AT LEAST 48 HRS. WITH RESPECTIVE PROPERTY OWNERS AND THE CITY OF PHARR UTILITIES DEPT. FOR SERVICE INTERRUPTIONS AND DOWNTIMES.

GENERAL NOTES:

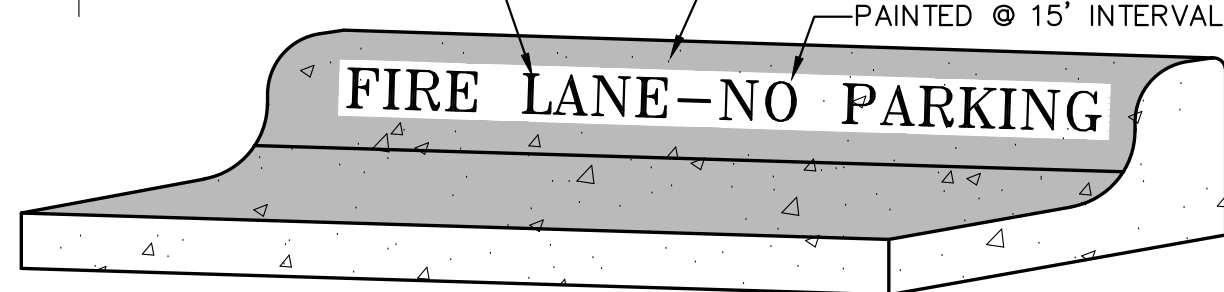
- ALL EXIST. UTILITIES ARE AT APPROXIMATE LOCATIONS.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE BASED ON OBSERVATION OF ABOVEGROUND STRUCTURES, LINES SPOTTED BY THE OWNER, AND UTILITY SPOTTING. ACTUAL LOCATION OF THESE UTILITIES MAY VARY, AND ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.
- BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
- ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.
- ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

PAINTED RED STRIPE W/4" WHITE LETTERING ON ASPHALT



NO PARKING
DETAIL "A"
NOT TO SCALE

WHITE 4" LETTERS



NO PARKING
DETAIL "B"
NOT TO SCALE

DIMENSIONED LAYOUT
JACKSON & WARREN SUBDIVISION
PHARR, TEXAS
HIDALGO COUNTY

PROJECT :

ENGINEER:
IVAN GARCIA P.E. R.P.L.S.
SURVEYOR:
IVAN GARCIA P.E. R.P.L.S.
CHECKED:
IVAN GARCIA P.E. R.P.L.S.
DRAWN:
E.P., E.D.T.

SCALE:
AS SHOWN

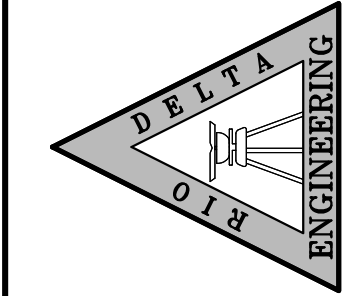
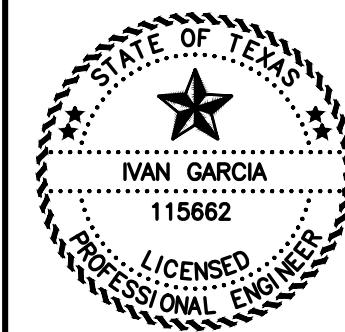
DATE:
DECEMBER 13, 2023

PROJECT:
SUB 20 048

REVISIONS:

PAGE NO.
SHT 4

ISSUED FOR:
PERMIT



RIO DELTA ENGINEERING
FIRM REGISTRATION No. F-7628
SURVEY FIRM No. 10194027
921 S. 10TH AVENUE EDINBURG, TEXAS 78539
(TEL) 956-380-5152 (FAX) 956-380-5083

DETENTION AREA CROSS-SECTION "A-A"
NOT TO SCALE



Pharr
Development Services



Site Photo

1401 W Warren Street





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.1.

DATE SUBMITTED: February 20, 2024

MEETING DATE: February 26, 2024

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: HALFF, representing Jaime Garza, BEBO Distributing Company, Inc., A Texas Corporation, is requesting final plat approval of the proposed Lot 1 DSV Subdivision. The property is legally described as being 36.458 acres out of Lot 403, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1100 Block of West Produce Drive. **SUB#231130**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: HALFF, representing Jaime Garza, BEBO Distributing Company, Inc., A Texas Corporation, is requesting final plat approval of the proposed Lot 1 DSV Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends final plat approval of the proposed Lot 1 DSV Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Ricardo Rodriguez
Kimberly Mendoza

Created/Initiated - 2/20/2024
Approved - 2/21/2024
Final Approval - 2/21/2024



Pharr

Development Services



MEMORANDUM

DATE: MONDAY, FEBRUARY 26, 2024

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: LOT 1 DSV SUBDIVISION
FILE NO. **SUB#231130**

GENERAL INFORMATION:

APPLICANT: HALFF, representing Jaime Garza, BEBO Distributing Company, Inc., A Texas Corporation, is requesting final plat approval of the proposed Lot 1 DSV Subdivision.

LEGAL DESCRIPTION: The property is legally described as being 36.458 acres out of Lot 403, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 1100 Block of West Produce Drive.

ZONING: The property is currently zoned Limited Industrial District (L-I). The adjacent zones are Limited Industrial District (L-I) to the north, east and west and City limits to the south. The property is designated for industrial use in the Land Use Plan.

PROPERTY PROPOSED USE: Warehouses.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends final plat approval of the proposed Lot 1 DSV Subdivision subject to the following conditions:

STREETS, PAVING AND R.O.W.:

1. Add "W" for West Produce Dr.
2. Streetlights shall be 250' max spacing, along W. Produce Dr.
3. Darken line along the dedicated W. Produce Dr.
4. Shall obtain street cut permits from public works and public utilities department if any street cuts

EASEMENTS:

1. No overlapping easements, if any.
2. Easements shall be 15' Exclusive to City of Pharr, for water or sewer lines within property, if any.

**SIDEWALK:
ADA:**

1. See attached comments.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.

DRAINAGE:

1. Provide detention directive on plat note.
2. See attached comments.

OTHER:

1. Update location map to show recorded subdivisions.
2. Parent company guarantee (Bond) \$ 1,727,227.94
3. Identify dash line on the west side of property.
4. Verify notary signature block.
5. H.C.I.D. #2 verify with district for any issues. (comments attached)
6. Provide formation documents for company. (Ownership)
7. Organize Planning and Zoning Commission signature block to be within the others.
8. Plat note #4, remove the proposed setbacks and leave as per City of Pharr Ordinance.
9. Remove plat note # 16 and show street light along W. Produce Dr.

10. Developer shall pay re-imbusement to existing subdivision.
11. Identify the east lot line or gap and west.
12. Remove the word proposed and use dedicated by plat.
13. Remove extra information within lot.
14. Staff comments attached.

This item will go before the City Commission meeting of March 04, 2024

STAFF REVIEW MEETING FOR:

LOT 1 DSV SUBDIVISION

COMMENTS:

Initials: J.R.

NOVEMBER 28, 2023

WATER:

- Will need to install in line gate valves.
- Public Utilities recommend a secondary water loop for fire protection (there are two options).
- Will need to install 12" MJ tees with 2-12" GV on the southeast and southwest corners of the property (for future connections).
- Will need to install a 12" MJ cross with 4-12" GV on the northeast corner of the property (for future connections)
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

SEWER:

- Ok as proposed.
- Will need to update manhole lid detail.
- Manhole rim and lid will need to be composite base with the City of Pharr logo.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name:_____

Signature:_____

Date:_____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: DSV SUBDIVISION LOT #1

Reviewed by: J. GONZALEZ

November 29, 2023

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. SHALL HAVE LOOPED WATER LINES FROM TWO DIFFERENT DIRECTIONS AND HAVE A CIRCULATING FEED.**
- 2. SHALL PROVIDE DETAILS ON FIRE HYDRANT PLACEMENT ON THE DETENTION POND.**



Staff Review Meeting

DATE: 11/29/2023

DSV Subdivision

36.458 Acres

Pharr Tx, 78577

Plat Notes:

- No comments

General Notes:

- 8" bleeder is required for outfall connection.
- Shall obtain a Large Construction Notice from TCEQ.
- If detention pond is deeper than 3 feet or more, it will require a surrounding fence with a height of 3 feet minimum or higher.
- As per City Standards all inlets will be type A.
- If boring is required, a permit must be requested from the Public Works Department.
- All stormwater manhole covers shall have the New City Logo.
- Show utility profiles, lines, crossing, elevations, and separation details.
- Include Best Management Practices and submit an approved Sediment Erosion Control Plan with details.
- Must submit (1) digital copy in (USB) for review and three (3) hard copies of the Storm Water Pollution Prevention Plan at pre-construction meeting. Will be reviewed and must be approved Prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Lot 1 DSV Subdivision

DATE: November 30, 2023

REVIEW: Preliminary (comments plans dated 11-22-2023)

PLAT

1. Signature and seal from P.E. & RPLS is required.
2. Note No. 15--- Revise note to say: "Owners to maintain detention/retention area".
3. Verify ROW on S. Sugar Rd.

SITE PLAN

1. Provide all pertinent details for water, sewer, storm, and paving.
2. Provide profile detail for all utility crossings.
3. Trench safety shall be required for all proposed utility lines.
4. Show detail of all water and sewer line tie-ins. Water line shall be required to be a true loop as per standard requirements.
5. Inline valves for waterline may be required as per Public Utilities request.

DRAINAGE

1. Drainage report to be reviewed and approved by HCDD No. 1.
2. Drainage plan to be reviewed and approved at building permit phase.

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

- **PRIOR TO SUBMITTING PRECONSTRUCTION PLANS, FIELD VERIFY ALL UTILITY TIE-INS FOR WATER, SEWER, AND STORM LINES.**
- Access road must follow City of Pharr standards for paving.
- Testing may be required for concrete, paving and backfilling items.
- Curb and gutter must meet design strength of 3000 psi and must include 3 #3 continuous rebar.
- Sidewalk must meet design strength of 3000 psi and must follow City design standard and ADA guidelines.
- Driveway shall have a design strength of 4000 psi and concrete drive shall meet the appropriate design strength to prevent damage. Must follow City design standard and ADA guidelines.
- Drainage headwall shall include a footing on top and shall be a minimum 18 inches long.
- Headwall width from edge to edge of discharge pipe shall be 18 inches minimum.
- Gate valve concrete collar dimensions shall be 30 inches x 30 inches x 6 inches.
- Proposed fire hydrants shall be 6 feet from back of curb.
- Fire hydrant detail preferred brand Mueller factory yellow. (Note: connection from hydrant to valve box is mechanical joint to mechanical joint and from valve box to watermain is flange to flange). ***UPDATE (Please see attachment pertaining to proposed hydrants)**
- Show all utility crossings that may be present in this site plan.
- Sanitary sewer service wye requires concrete cradle.
- Provide Public Works discharge permit when discharging into City storm system.
- At time of subdivision completion all lots shall be required to provide positive drainage and outfall towards the street.

From: [John Salinas](#)
To: [Eddie Martinez](#)
Cc: [Javier Lopez](#)
Subject: Proposed Lot 1 DSV Subd; Proposed Majestic International Trade Port Phase 2 Subd.
Date: Tuesday, November 28, 2023 11:30:20 AM
Attachments: [20231128112809.pdf](#)

***** This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. *****

Hello Eddie,

HCID2 claims for the following proposals:

1. Lot 1 DSV Subdivision:
 - a. We have an 80' fee simple claim within the west side. Vol. 26, Pg. 203 tract 52 as shown Vol. 0, Pg. 63-5.
 - b. We have a 21" FJ-RCP pipeline on the east side not being shown.
 - c. Need a reference point from the corner Lot Kelly-Pharr.
 - d. Update to the signature script as shown in the attachment.
2. Majestic International Trade Port Phase 2 Subdivision:
 - a. The subdivision boundary should not include the 100' canal right of way this is still HCID2 property. Until then, that area would need to be carved out. After the purchase/release, the boundary line shown is correct.
 - b. The bold label on the north shown as CANAL RIGHT OF WAY is incorrect, it should be DRAIN DITCH. Vol. 21, Pg. 345 as shown Vol. 16, Pg. 5.
 - c. We need a reference point from the common corner Lot out of Closner Subdivision.
 - d. The easement label shown on the south side would need to be released by document not abandoned by plat. The pipeline is being replaced and relocated outside of road right of way.
 - e. The signature script update: THIS PLAT ... BY THE HIDALGO ... ; Remove the comma after THIS and after FENCES.

If there are any questions, please advise. Thank you.

John Salinas
Hidalgo County Irrigation District No. 2
P.O. Box 6
San Juan, TX 78589
Phone: (956) 787-1422
Fax: (956) 781-7622
Email: jbs_hcid2@att.net

neating the boundary of
ve been marked with a
SOC.", unless otherwise
ce the boundary.

constructed along

irements at the time of

record for the subdivision
an on-site volume of
imate only and detailed
ssued for this platted
by the City of Pharr for

ccordance with
S).

sponsibility of the agency

Permit Phase in order to

Ambrosio Hernandez
Mayor, City of Pharr

Date

Hilda Pedraza
City Clerk

Date

STATE OF TEXAS
COUNTY OF HIDALGO:

Hidalgo County Drainage District No. 1 hereby certifies that the drainage plans for this subdivision comply with the minimum standards of the district adopted under Texas Water Code 49.211(c). The district has not reviewed and does not certify that the drainage structures described are appropriate for the specific subdivision based on generally accepted engineering criteria. It is the responsibility of the developer and his engineer to make these determinations.

Raul E. Sesin, P.E. C.F.M.
By, Hidalgo County Drainage District No. 1
General Manager

Date

STATE OF TEXAS
COUNTY OF HIDALGO:

This plat is hereby approved by the Hidalgo County Irrigation District No. 2 on this

the day of , 2024.

No improvements of any kind (including without limitation, trees, fences, and buildings) shall be placed upon Hidalgo County Irrigation District No. 2 rights-of-way or easements.

President

Attest:

Secretary *→ align*

↑ move up - Align next to President

PRELIMINARY

NOV 22 2023

Time:

**LOT 1
DSV SUBDIVISION**

A SUBDIVISION OF
36.458 ACRES OUT OF LOT 403
KELLY-PHARR SUBDIVISION

SITUATED IN THE
CITY OF PHARR
HIDALGO COUNTY, TEXAS

OWNER:

BEBO, INC.

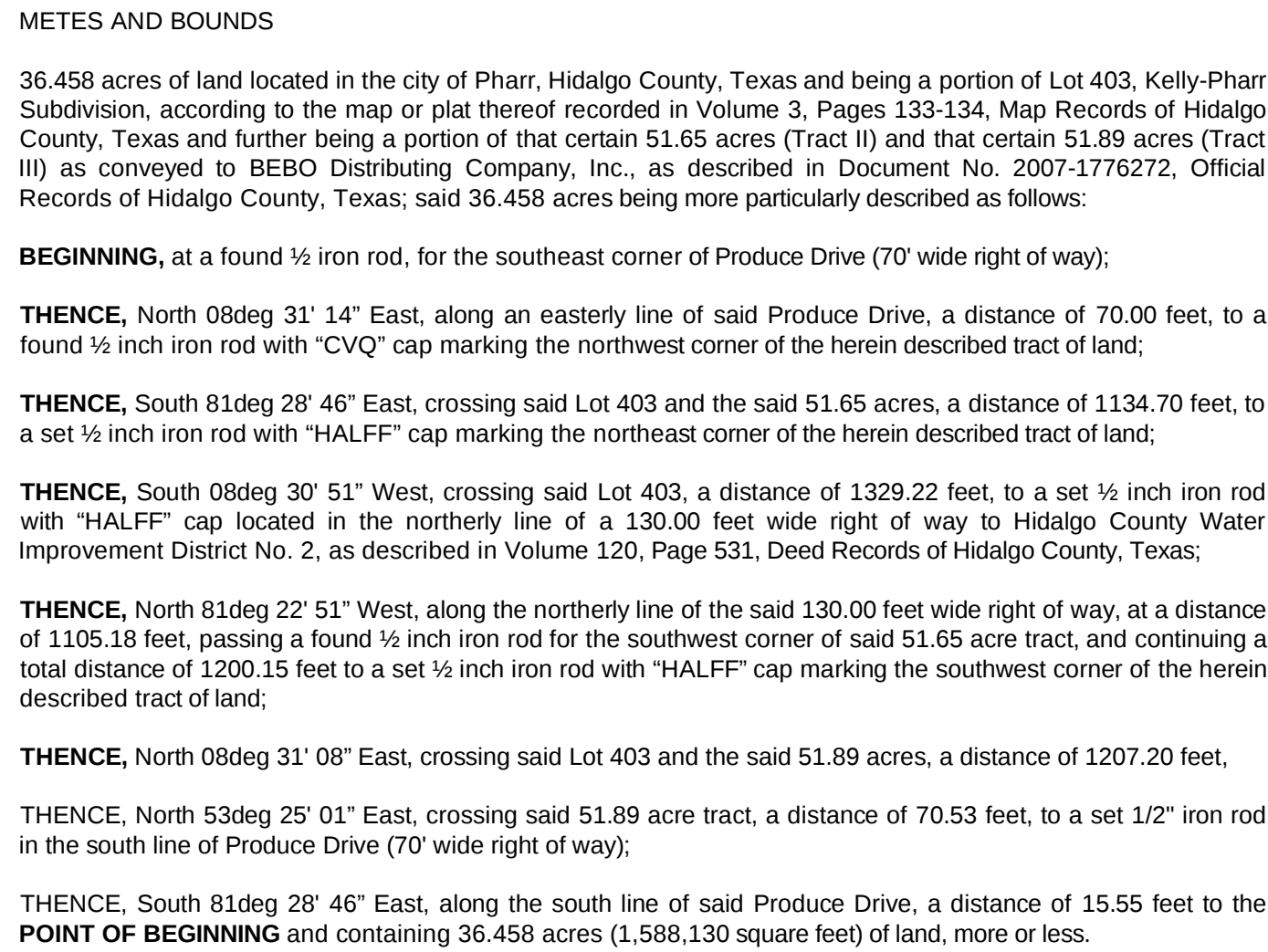
BY

 **half**

5000 WEST MILITARY, SUITE 100
MCALLEN, TX 78503-7446
TEL (956) 664-0286
TBPCLS SURVEYING FIRM #10194444

DATE OF PREPARATION: NOVEMBER 2023

(956) 664-0286
(956) 664-0286



LEGEND

FIR4 - FOUND 1/2" IRON ROD

FIRC4 - FOUND 1/2" IRON ROD
W/ CAP AS NOTED

FIRC5 - FOUND 5/8" IRON ROD
W/ CAP AS NOTED

SIR - SET 1/2" IRON ROD W/ CAP "HALF"

D.R.H.C.T. - DEED RECORDS HIDALGO COUNTY, TEXAS

M.R.H.C.T. - MAP RECORDS HIDALGO COUNTY, TEXAS

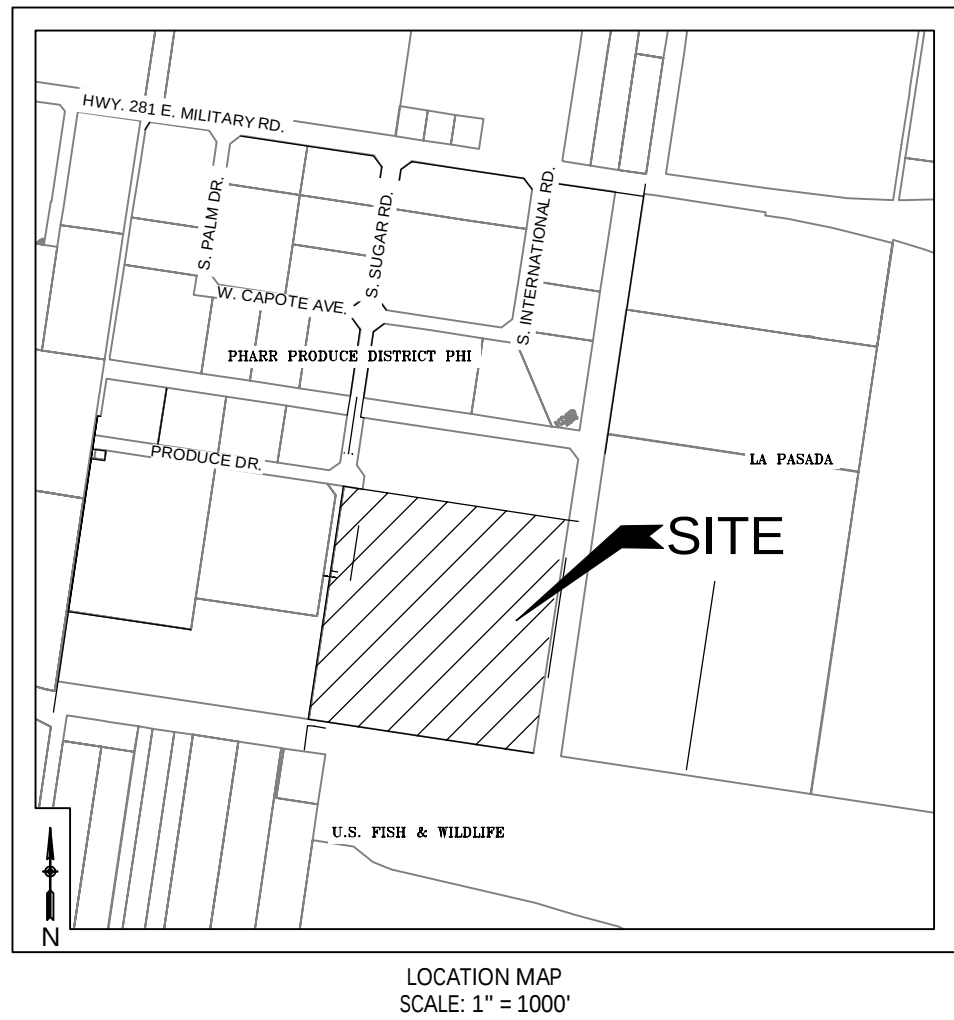
O.R.H.C.T. - OFFICIAL RECORDS HIDALGO COUNTY, TEXAS

H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT

R.O.W. - RIGHT-OF-WAY

Z - SAME OWNER

L₁ - LOT LINE



I, the undersigned owner of the land shown in this plat, and designated herein as Lot 1 DSV Subdivision to the City of Pharr, County of Hidalgo, Texas, and whose name is subscribed hereto, do hereby subdivide such property and dedicate to the use of the public all streets, alleys, parks, watercourses, drains, easements, and public places shown thereon for the purposes of consideration therein expressed.

Danny Wylie _____ Date _____
Chairman, Planning and Zoning Commission

 FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY _____

15. Owners to maintain detention and retention areas.

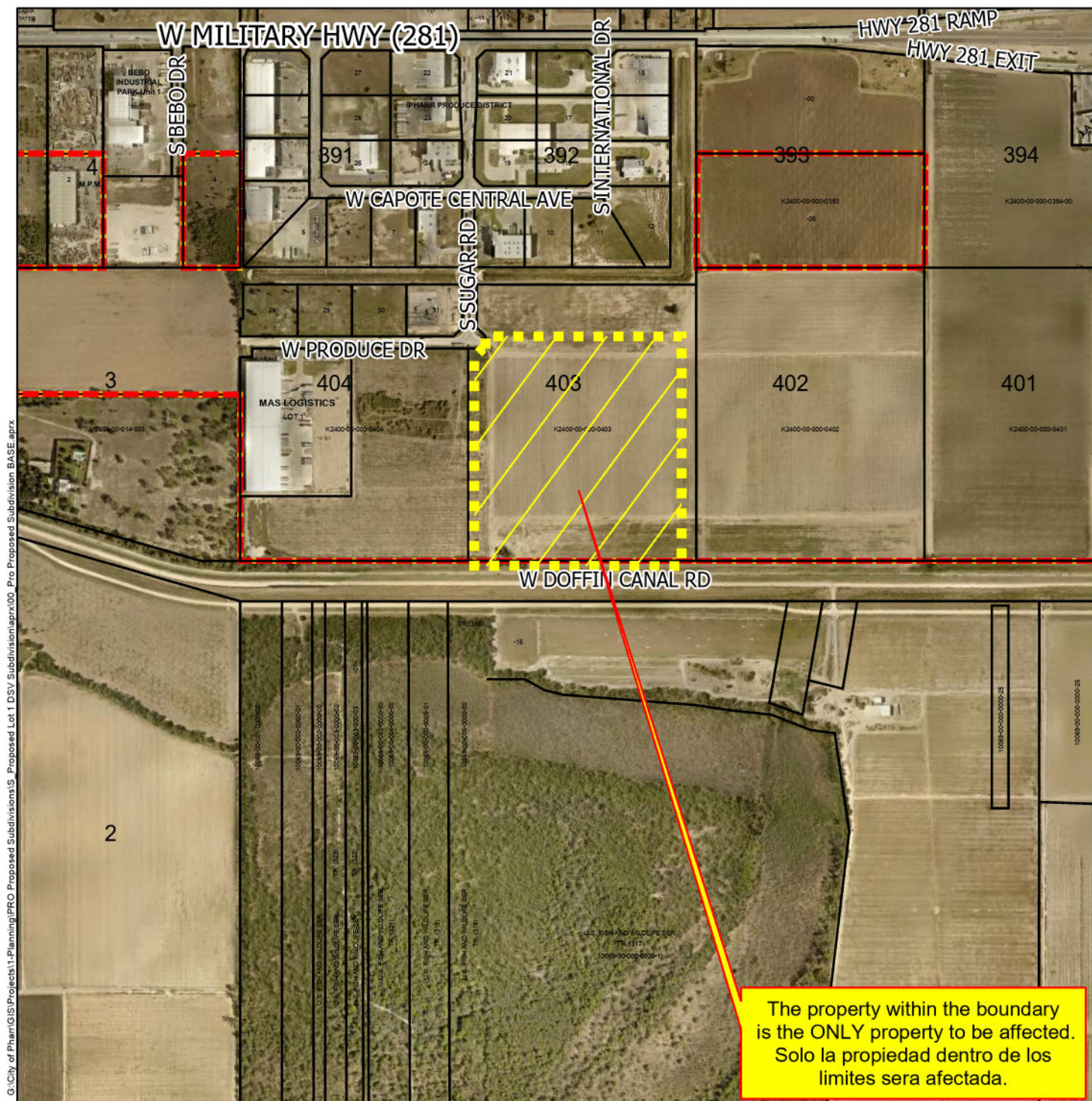
LOT 1
DSV SUBDIVISION
A SUBDIVISION OF
36.458 ACRES OUT OF LOT 403
KELLY-PHARR SUBDIVISION

SITUATED IN THE
CITY OF PHARR
HIDALGO COUNTY, TEXAS
OWNER:
BEBO, INC.



DATE OF PREPARATION: NOVEMBER 2023

PRINCIPAL CONTACTS
OWNER: BEBO DISTRIBUTING COMPANY, INC. P.O. BOX 3668
ENGINEER: HALFF ASSOCIATES, INC. 5000 W. MILITARY STE. 100
SURVEYOR: HALFF ASSOCIATES, INC. 5000 W. MILITARY STE. 100



- | | | | | |
|--|---|---|---|---|
|  Agricultural Open Space |  Rail Road R.O.W |  Neighborhood Commercial | <h2>Future Land Use</h2> <h3>FUTURELAND</h3> |  Industrial |
|  Single Family |  Government Owned |  Office Professional | |  Commercial |
|  Single Family Small Lot |  General Business |  PSJA ISD | |  Public/Semi Public |
|  Residential Multi-Family |  Business District |  Hidalgo ISD | |  ROW |
|  Residential Multi-Family High Density |  Drainage Easement |  Valley View ISD | |  Parks |
|  Mobile Home |  Heavy Commercial |  Planned Unit Development |  Single Family Res. |  Subject Property |
|  Townhouse |  Heavy Industrial | |  Multi-Family Res. | |
|  HUD Code |  Limited Industrial | |  Manufactured Homes | |

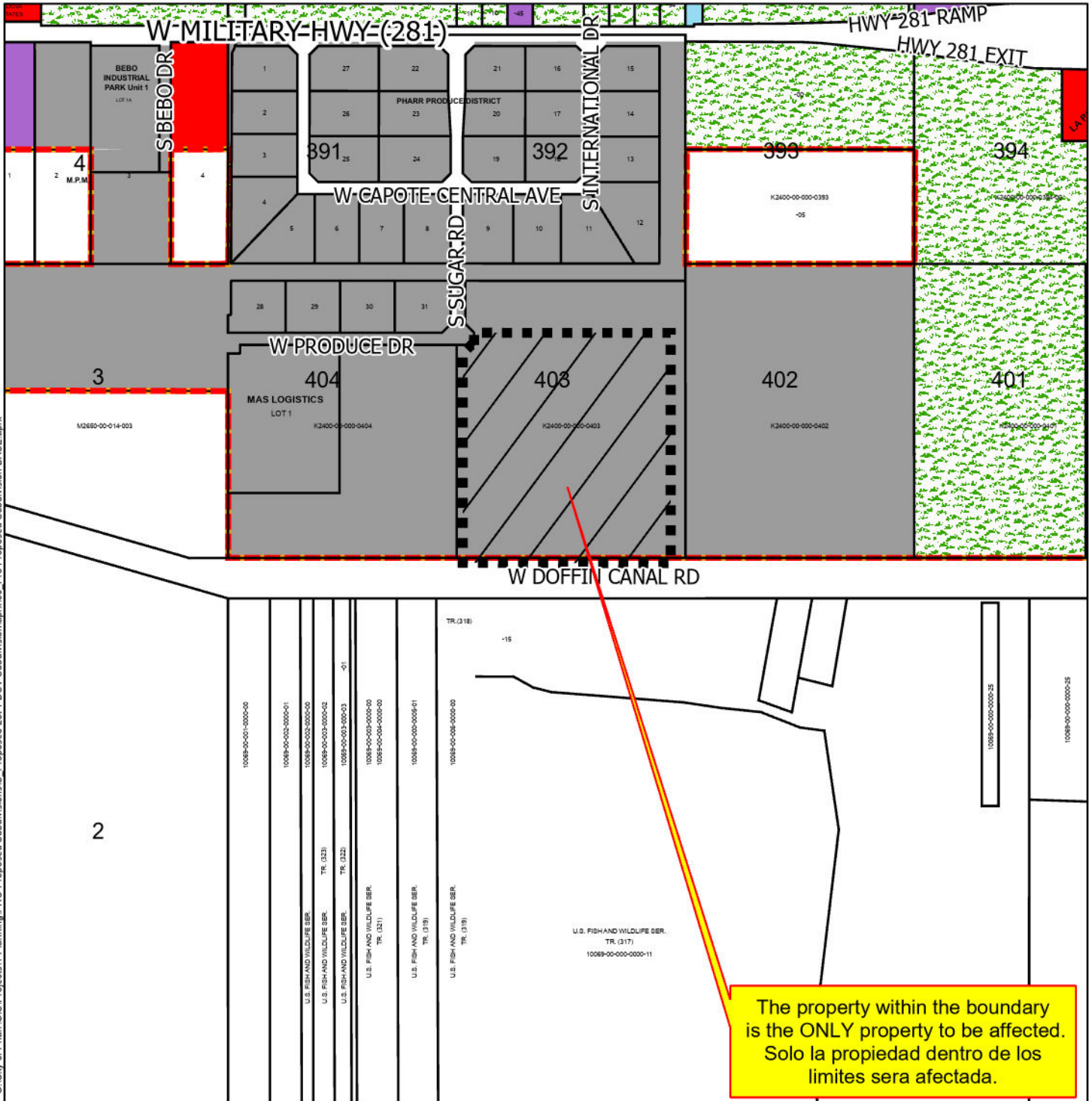
Scale: 1:10,000

0 415 830 1,660 2,490 3,320 Feet



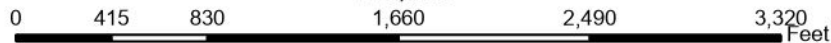
Date: 11/27/2023

ZONING



- | | | | | |
|--|---|--|---|--|
| <ul style="list-style-type: none"> Agricultural Open Space Single Family Single Family Small Lot Residential Multi-Family Residential Multi-Family High Density Mobile Home Townhouse HUD Code | <ul style="list-style-type: none"> Rail Road R.O.W Government Owned General Business Business District Drainage Easement Heavy Commercial Heavy Industrial Limited Industrial | <ul style="list-style-type: none"> Neighborhood Commercial Office Professional PSJA ISD Hidalgo ISD Valley View ISD Planned Unit Development | <p>Future Land Use</p> <p>FUTURELAND</p> <ul style="list-style-type: none"> Irrigation Agriculture Single Family Res. Multi-Family Res. Manufactured Homes | <ul style="list-style-type: none"> Industrial Commercial Public/Semi Public ROW Parks Subject Property |
|--|---|--|---|--|

Scale: 1:10,000





Pharr
Development Services



Site Photo

1100 Block of West Produce Drive





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.2.

DATE SUBMITTED: February 20, 2024

MEETING DATE: February 26, 2024

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: Bowman, representing Sharon A. Haydon, Caged Retail Partners, LTD., A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Stripes Pharr Subdivision. The property is legally described as being 6.137 acres out of Lot 253, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 3300 Block of South Cage Boulevard. **SUB#231132**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Bowman, representing Sharon A. Haydon, Caged Retail Partners, LTD., A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Stripes Pharr Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Stripes Pharr Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza

Ricardo Rodriguez

Kimberly Mendoza

Created/Initiated - 2/20/2024

Approved - 2/21/2024

Final Approval - 2/21/2024



Pharr

Development Services



MEMORANDUM

DATE: MONDAY, FEBRUARY 26, 2024

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: STRIPES PHARR SUBDIVISION
FILE NO. **SUB#231132**

GENERAL INFORMATION:

APPLICANT: Bowman, representing Sharon A. Haydon, Caged Retail Partners, LTD., A Texas Limited Partnership, is requesting preliminary plat approval of the proposed Stripes Pharr Subdivision.

LEGAL DESCRIPTION: The property is legally described as being 6.137 acres out of Lot 253, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 3300 Block of South Cage Boulevard.

ZONING: The property is currently zoned Heavy Commercial District (H-C). The adjacent zones are Residential multi-family District (R-MF) and Agricultural and/or Open Space District (A-O) to the east, Agricultural and/or Open Space District (A-O) to the north and south and General Business District (C) and Agricultural and/or Open Space District (A-O) to the west. The property is designated for Commercial and Public/Semi Public use in the Land Use Plan.

PROPERTY PROPOSED USE: Stripes and gas station store.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Stripes Pharr Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Streetlights shall be 250' max spacing, along S. Cage Blvd. and W. Javelina Dr.
2. Shall obtain street cut permits from public works and public utilities department if any for street cuts.
3. Shall provide approved TxDot permit for driveway and sidewalk.

EASEMENTS:

1. No overlapping easements, if any.
2. Easements shall be 15' Exclusive to City of Pharr, for water or sewer lines within property, if any.

**SIDEWALK:
ADA:**

1. See attached comments.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Provide detention directive on plat note.
2. See attached comments.

OTHER:

1. Update location map to show recorded subdivisions.
2. Add plat note: No structures allowed over any easement granted by this plat.
3. Add plat note: Erosion and sediment control during construction shall be in accordance with the current Texas discharge Pollution discharge elimination system (T.P.D.E.S.).
4. Owner(S) to Maintain detention/retention area.
5. Add plat note: additional fire protection may be required during the building review phase in order to provide any additional fire protection requirements.
6. Show all the dedicated easements on the plat (label

existing or dedicated by plat).

7. H.C.I.D. #2 verify with district for any issues. (comments attached)
8. Provide formation documents for company. (Ownership)
9. Organize Planning and Zoning Commission signature block to be within the others.
10. Plat note #6, remove the proposed setbacks and leave as per City of Pharr Ordinance.
11. Remove plat note # 16 and show street light along W. Produce Dr.
12. Developer shall pay re-imbursement to existing subdivision.
13. Identify the east lot line or gap and west.
14. Remove the word proposed and use dedicated by plat, if any.
15. Staff comments attached.

STAFF REVIEW MEETING FOR: *STRIPES PHARR SUBDIVISION*

COMMENTS:

Initials: J.R.

FEBRUARY 13, 2024

WATER:

- Will need to show all surrounding utilities in the area.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

SEWER:

- Ok as proposed.
- Will need to verify elevations on proposed manhole tie-in.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name:_____

Signature:_____

Date:_____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: STRIPES PHARR SUBD. (Staff Review)

Reviewed by: Manuel Renta

02/13/24

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of

20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

PLAT NOTE:

1. **Additional Fire Protection may be required during the building permit phase in order to meet any additional fire protection requirement.**

General Comments

1. **Exist fire hydrants may need to be replaced pending assessment from Pharr Fire Dept.**



Staff Review Meeting

DATE: 02/13/2024

Pharr Stripes

12.57 Acres

Pharr Tx, 78577

Plat Notes:

- **No comments**

General Notes:

- **8 In bleeder is required for all outfall connections.**
- **#7 Inlet shows proposed and existing.**
- **Manhole shall have new city logos.**
- **Curb Cut Permit will be required from Public Works.**
- **Include Best Management Practices and submit an approved Sediment Erosion Control Plan with details.**
- **Must submit (1) digital copy in (USB) to review and must be approved prior to any earthwork disturbance or Notice to Proceed (N.T.P.) is issued. Must submit (3) three hard copies of the Finalized Stormwater Pollution Prevention Plan (S.W.P.P.P.) at Pre-Construction Stage.**

SUBDIVISION: Stripes Pharr Subdivision**DATE:** February 15, 2024**REVIEW:** Preliminary plan comments dated: 2/5/2024**PLAT**

1. Signature and seal from P.E. & R.P.L.S. required.
2. Add note--- *Storm Water detention is required for this property. The engineer of record for this subdivision plat has estimated that an area of approximately _____ acres and a volume of approximately _____ acre feet will be required for this use. This is an estimate only and detailed analysis may reveal different requirements. No Building permit shall be issued for this platted property until a storm water detention system design has been approved by the City of Pharr for this commercial development.*
3. Add note---Owners to maintain ROW and perimeter of subdivision.
4. Add note---Owners to maintain detention / retention areas.
5. Add note---Erosion and sediment control during construction shall be in accordance with current Texas pollution discharge elimination system (TPDES).
6. Note no. 5--- Revise note to say... "5.0'ft sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of building permit phase."
7. Note No. 7---Use the correct benchmark for this development.

SITE PLAN

1. Revise sanitary sewer detail to composite manhole lid with updated logo.
2. Include all pertinent City of Pharr details for water, sewer, paving sidewalk, etc. (If applicable)
3. Change tapping tee to cut-in-tee 12"x2" MJ Tee with 12"-in dresser coupling and 12"-in gate valves.

DRAINAGE

1. Drainage report to be reviewed and approved by HCDD No. 1.
2. Drainage plan to be reviewed and approved at building permit stage.
3. Add “**grate inlet**” to all Type A inlet callouts.
4. Detention pond with depths of 3-ft or deeper may require a perimeter fence at a minimum height of 4'-ft.
5. Tx-Dot discharge permit shall be required for outfall tie-in.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

ADDITIONAL COMMENTS

- Lab testing shall be required for backfilling, paving, and concrete items (If applicable).

From: [John Salinas](#)
To: [Eddie Martinez](#)
Cc: [Javier Lopez](#)
Subject: Proposed Pharr International Park Subd.; Proposed Stripes Pharr Subd.
Date: Thursday, February 15, 2024 10:07:58 AM

***** This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. *****

Hello Eddie,

HCID2 claims for the proposals:

1. Pharr International Park Subd.:

We have the general right of way covering the north half. Vol. 21, Pg. 345 and Vol. 19, Pg. 49.

We have the general right of way covering the south half. Vol. 26, Pg. 354 and Vol. 19, Pg. 33.

Add the subdivision name to the P.O.B. label.

Update to the signature script template:

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS THE ____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF WAY OR EASEMENTS.

_____	ATTEST: _____
PRESIDENT	SECRETARY

In the metes and bounds, the call numbers 6, 7, 8 and 9 are not being represented in the plat.

The district's facilities are not part of the development.

- a. The 80' canal in between lots 3 – 6.
- b. The original drain ditch within the 200' dedication.
- c. The 100' canal r.o.w. within lots 13 – 15.
- d. The drain ditch along the east side of lots 6 & 7.

Within the n.w. corner of Lot 3 development, we have an 18"mj pipe waters lots 3 & 4 S.J.P to the north we need to protect.

There is a 24" FJ-RCP pipe along the south edge of Lot 12 development we need to protect.

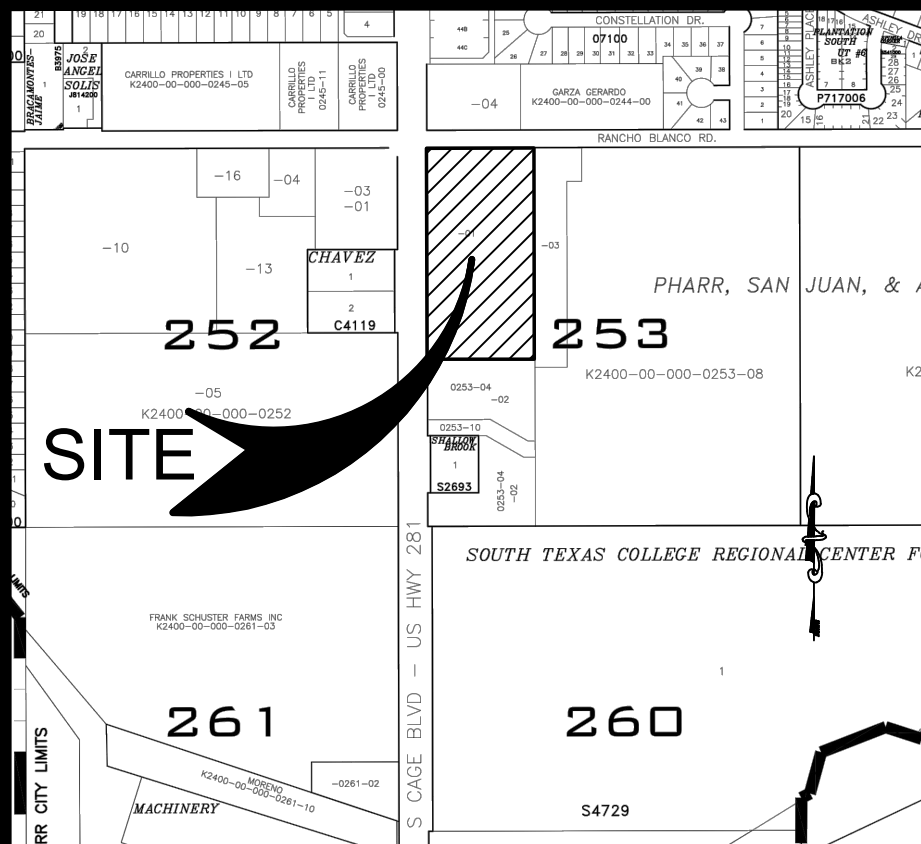
2. Stripes Pharr Subd.:

Need to add Kelly-Pharr Subdivision to the reference point.

Edit from utility easement to 20' HCID2 EXCLUSIVE EASEMENT.

Within the second statement of the signature block, edit from INCLUDED to INCLUDING.

John Salinas
Hidalgo County Irrigation District No. 2
P.O. Box 6
San Juan, TX 78589
Phone: (956) 787-1422
Fax: (956) 781-7622
Email: jbs_hcid2@att.net



- LEGEND:
- ① = FOUND 1/2" IRON BAR WITHOUT A CAP
 - ② = SET 1/2" IRON BAR WITH AN ORANGE CAP MARKED "SLS RPLS 5142"
 - ③ = 1/2" IRON BAR WITH A YELLOW CAP MARKED "MF"
 - ④ = 1/2" IRON BAR WITH A YELLOW CAP MARKED "RGCE" FOUND SET IN THE GROUND
- DOC. = DOCUMENT
NO. = NUMBER
VOL. = VOLUME
PG. = PAGE
O.R. = OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS
P.R. = PLAT RECORDS OF HIDALGO COUNTY, TEXAS
N = NORTHING
E = EASTING
C = CENTERLINE

- SURVEYORS NOTES:
1. PROPERTY CORNERS ARE MONUMENTED WITH A CAP OR DISK MARKED "SLS RPLS 5142" UNLESS NOTED OTHERWISE.
 2. ALL COORDINATES AND BEARINGS SHOWN ARE BASED ON THE TEXAS COORDINATE SYSTEM, TEXAS SOUTH ZONE 4205, NORTH AMERICAN DATUM OF 1983 (NAD2011). GRID DISTANCES SHOWN HEREON ARE BASED UPON SURFACE MEASUREMENTS. TO CONVERT SURFACE DISTANCES TO GRID, APPLY A COMBINED SCALE FACTOR OF 1.00040.
 3. DIMENSIONS SHOWN ARE SURFACE.

LOT 244
MAP OF THE SUBDIVISION
OF PORCIONES 66, 67,
69 AND 70
(DOC. NO. 1909-8984 P.R.)

0.177 ACRES
DEDICATED TO THE
CITY OF PHARR
(BY THIS PLAT)

0.055 ACRES
UTILITY EASEMENT
(DOC. NO.: 2010-2165878 O.R.)

20' AGREEMENT TO
RIGHT OF ENTRY
(DOC. NO.: 2010-2122733
O.R.)

OWNER: CHRISTINA
LOUISE STOUT
(DOC. NO.: 1993-305475 O.R.)

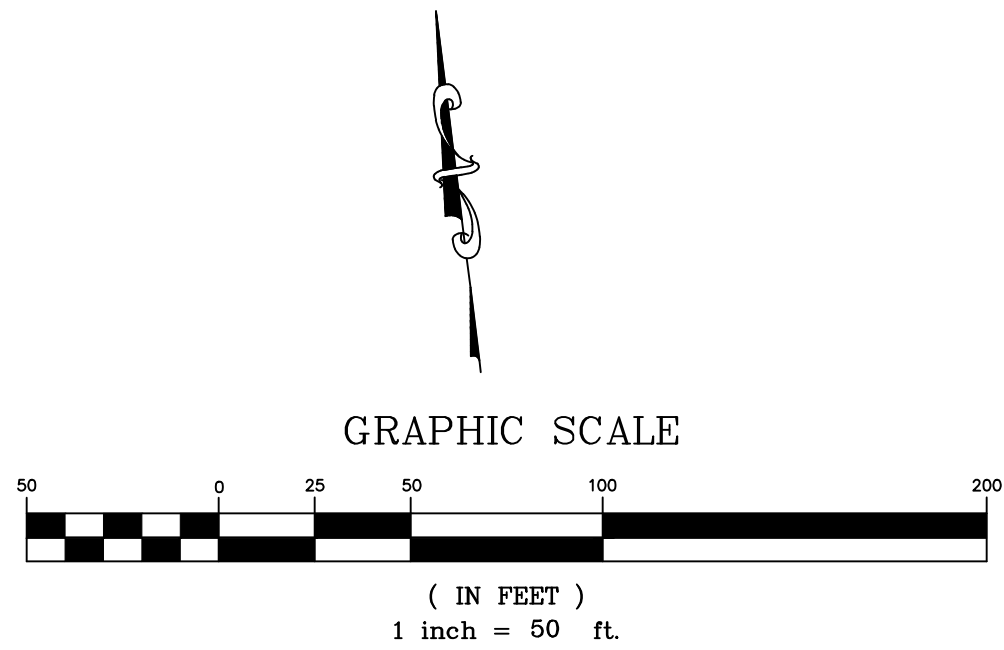
TRACT VII
OWNER: KELLAM, LTD., A
TEXAS LIMITED PARTNERSHIP
(INSTRUMENT NO.: 2013-2473935
O.R.)

0.59 ACRES
OWNER: CHRISTINA
LOUISE STOUT
(DOC. NO.: 1993-305475 O.R.)

1.0 ACRES
OWNER: CHRISTINA
LOUISE STOUT
(DOC. NO.: 1993-305475 O.R.)

REMAINING PORTION OF A 3.0
ACRES
OWNER: ORGO FAMILY, LTD.
(DOC. NO.: 2019-0362550 O.R.)

REMAINING PORTION OF A
2.46 ACRES
OWNER: ORGO FAMILY, LTD.
(DOC. NO.: 2019-0362550 O.R.)



PLAT OF STRIPE PHARR

BEING 6.137 ACRES OUT OF LOT 253, KELLY-PHARR SUBDIVISION MAP
OF THE SUBDIVISION OF PORCIONES 66, 67, 69 AND 70, HIDALGO
COUNTY, TEXAS AS SHOWN BY PLAT OF RECORD IN DOCUMENT
NUMBER 1909-8984 OF THE PLAT RECORDS OF HIDALGO COUNTY,
TEXAS AND BEING THAT TRACT OF LAND DESCRIBED IN DEED OF
RECORD IN DOCUMENT NUMBER 2013-2473935 OF THE OFFICIAL
RECORDS OF HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HARRIS

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS
"STRIPE PHARR" TO THE CITY OF PHARR, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREIN,
HEREBY DEDICATE TO THE USE OF PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS,
EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATION
THEREIN EXPRESSED

SHARON A. HAYDON
CAGED RETAIL PARTNERS, LTD., A TEXAS LIMITED PARTNERSHIP
1207 ANTOINE DRIVE, HOUSTON TX 77055

STATE OF TEXAS
COUNTY OF HARRIS

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED SHARON A.
HAYDON KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING
INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSES
AND CONSIDERATIONS THEREIN EXPRESSED AND IN THE CAPACITY THEREIN STATED.

GIVEN UNDER MY HAND & SEAL OF OFFICE
THIS ____ DAY OF ____, 202__.

NOTARY PUBLIC
HARRIS COUNTY, TEXAS

CHAIRMAN, PLANNING AND ZONING COMMISSION

THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF
PHARR HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF
THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

DANNY WYLIE, CHAIRMAN
PLANNING AND ZONING COMMISSION

MAYOR, CITY OF PHARR

I, THE UNDERSIGNED MAYOR OF THE CITY OF PHARR, HEREBY CERTIFY THAT THIS
SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF
THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

DR. AMBROSIO HERNANDEZ, M.D.
MAYOR, CITY OF PHARR

APPROVAL BY IRRIGATION DISTRICT NO. 2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS
THE ____ DAY OF ____, 2024.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES AND
BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 RIGHTS OF
WAY OR EASEMENTS.

PRESIDENT _____ ATTEST: SECRETARY _____

APPROVED BY DRAINAGE DISTRICT

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS
FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED
UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT
CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC
SUBDIVISION BASED ON GENERALLY-ACCEPTED ENGINEERING CRITERIA. IT IS THE
RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E.
GENERAL MANAGER

STATE OF TEXAS
COUNTY OF BEKAR

I HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT
TO THE MATTERS OF STREETS, LOTS AND DRAINAGE LAYOUT, TO THE BEST OF MY
KNOWLEDGE THIS PLAT CONFORMS TO ALL REQUIREMENTS OF THE UNIFIED DEVELOPMENT
CODE EXCEPT FOR THOSE VARIANCES GRANTED BY THE SAN ANTONIO PLANNING
COMMISSION.

WILLIAM "BILL" SCHOCK, P.E.,
LICENSED PROFESSIONAL ENGINEER
TEXAS REGISTRATION NO. 88636

STATE OF TEXAS
COUNTY OF BEKAR

I HEREBY CERTIFY THAT THE ABOVE PLAT CONFORMS TO THE MINIMUM STANDARDS SET
FORTH BY THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING ACCORDING TO AN ACTUAL
SURVEY MADE ON THE GROUND BY: EMPLOYEES OF SINCLAIR LAND SURVEYING, INC. UNDER
MY SUPERVISION.

LEMUEL T. SINCLAIR, R.P.L.S. #5142
REGISTERED PROFESSIONAL LAND SURVEYOR

PROJECT ENGINEER:

Bowman

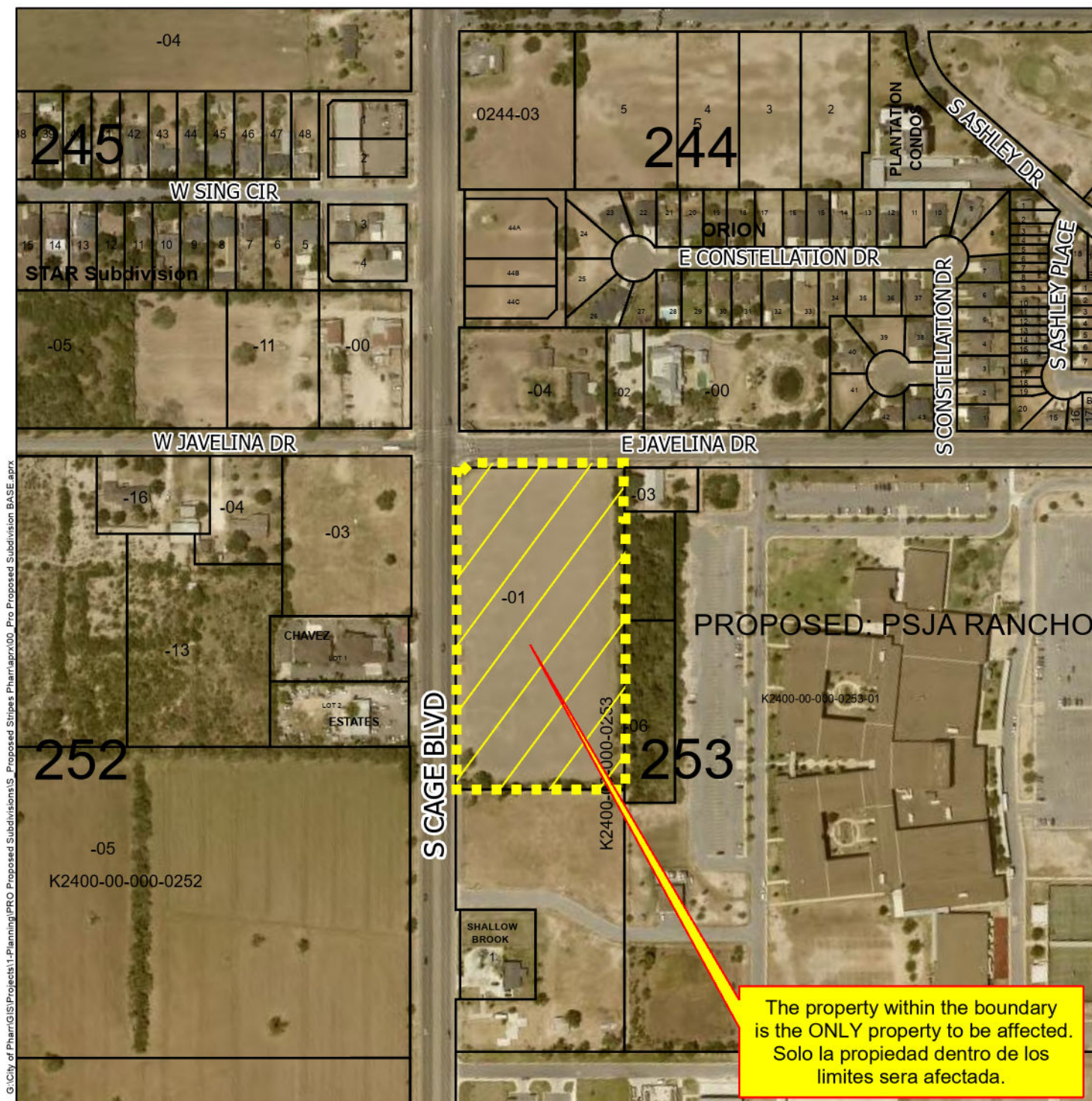
8122 DATAPONT RD., STE. 202
SAN ANTONIO, TEXAS 78229
PHONE: 210-298-1600
EMAIL: BSCHOCK@BOWMAN.com
TBPEL Registration No.: F-14309

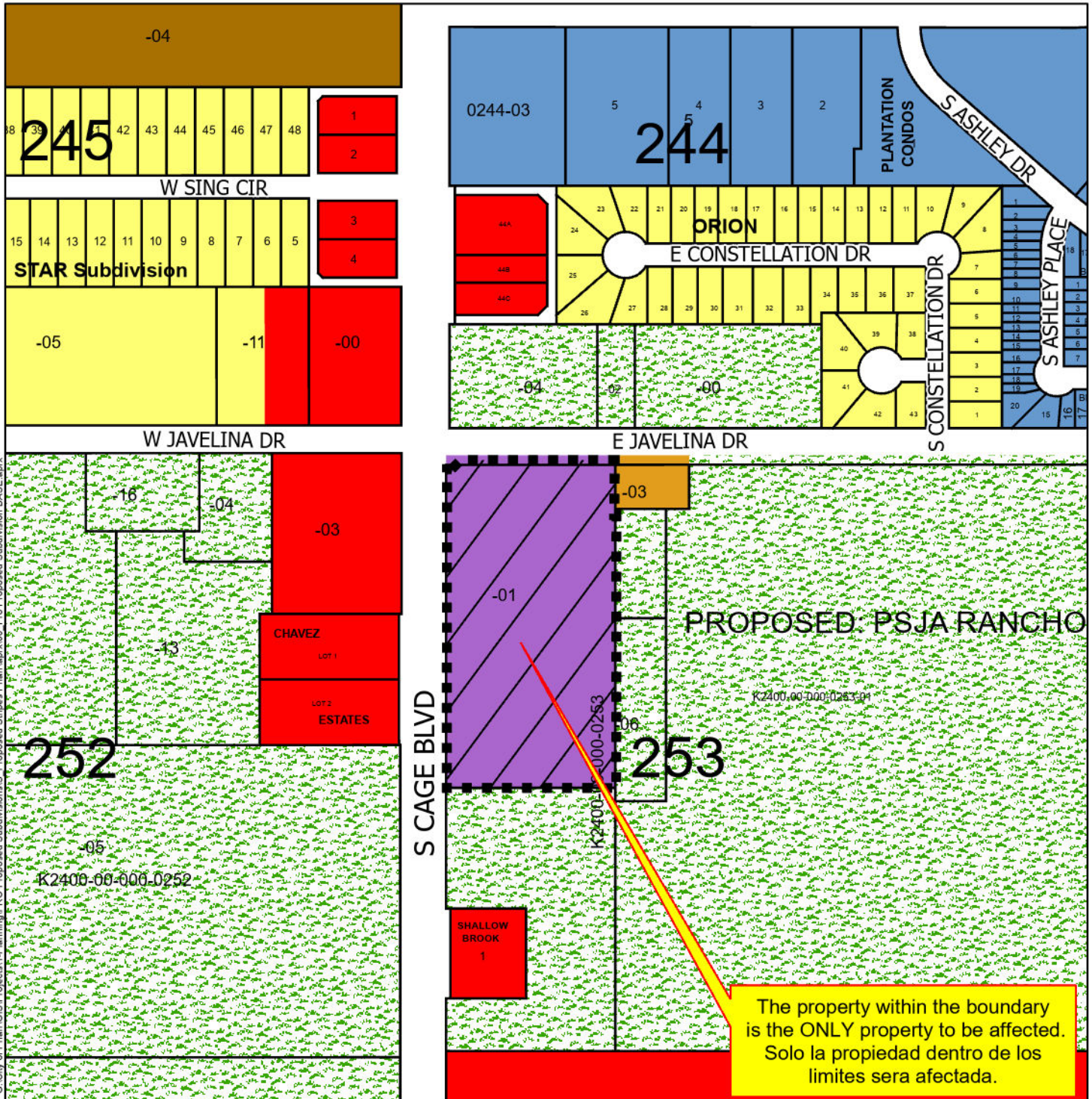
PROJECT SURVEYOR:



SINCLAIR LAND
SURVEYING, INC.

3411 MAGIC DRIVE
SAN ANTONIO, TEXAS 78229
210-341-4518
TBPELs FIRM NO. 10089000





- | | | | |
|---------------------------------------|--------------------|--------------------------|--------------------|
| Agricultural Open Space | Rail Road R.O.W | Neighborhood Commercial | Industrial |
| Single Family | Government Owned | Office Professional | Commercial |
| Single Family Small Lot | General Business | PSJA ISD | Public/Semi Public |
| Residential Multi-Family | Business District | Hidalgo ISD | ROW |
| Residential Multi-Family High Density | Drainage Easement | Valley View ISD | Parks |
| Mobile Home | Heavy Commercial | Planned Unit Development | Subject Property |
| Townhouse | Heavy Industrial | Single Family Res. | |
| HUD Code | Limited Industrial | Multi-Family Res. | |
| | | Manufactured Homes | |

- Future Land Use**
- FUTURELAND**
- Irrigation
 - Agriculture
 - Single Family Res.
 - Multi-Family Res.
 - Manufactured Homes



Pharr
Development Services



Site Photo

3300 Block of South Cage Blvd.

