

AGENDA
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. December 27, 2022 – 6:00 PM

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes of December 12, 2022

D. PUBLIC HEARING: *(Ordinance No. O-2019-31). A registered speaker during the public hearing may not exceed 1.5 minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the presiding clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.*

- 1) 33 Construction and Energy, LLC., representing Norma D. Rodriguez Trejo, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to General Business District (C). The property is legally described as being 0.97 acres, more or less, out of Lot 326, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located at 500 West Dicker Road. **COZ#221169**

- 2) R. E. Garcia & Associates, representing Jene & Jonathan Byrom, owners, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to Single Family Residential District (R-1). The property is legally described as being 1.83 acres, more or less, out of Lot 249, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1000 - 1200 Block of West Javelina Drive. **COZ#221168**

E. PLATS:

- 1) S2 Engineering, PLLC, representing Carlos Gomez, Manager for Gomez Group, LLC., is requesting preliminary plat approval of the proposed Big D Industrial Park Subdivision. The property is legally described as being an 8.635 acre tract of land and a part or portion of Lot 98, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 700 Block of East Nolana Loop (FM 3461) **SUB#221036**

- 2) R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No. 4 Subdivision. The property is legally described as being a 0.28 of an acre tract of land being a portion of Lot 121, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1506 West Heritage Dr. **SUB#221138**

3) R.E. Garcia and Associates, representing Jene Byrom and Jonathan Byrom, owners, are requesting preliminary plat approval of the proposed Rancho Blanco Estates Subdivision. The property is legally described as being a 1.83 acre tract of land being a portion of Lot 249, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 900 Block of West Javelina Dr. **SUB#221240**

4) R. Gutierrez Engineering Corporation, representing Gabriela A. Cavazos De Salazar, Manager for Texas Quality Construction is requesting preliminary plat approval of the proposed Angel S.C. Subdivision. The property is legally described as being a 0.54 acre tract of land, being a portion of the north half (1/2) of Lot 1, Block 1, and a portion of Lot 2, Block 1, The Van Williams Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 200 Block of West Sam Houston Avenue. **SUB#220932**

F. ANNOUNCEMENTS:

G. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Commission may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Commission may convene in a closed, non-public meeting to discuss any matters related to real property and deliberate the purchase, exchange, lease, or value of **real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Commission may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Commission may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Commission may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation**. The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.087, the Commission may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues**. The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

H. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

I. ADJOURNMENT:

I, the undersigned authority, do hereby certify that the above notice of said Regular Meeting of the Planning & Zoning Commission was posted on the bulletin board at City Hall and on the City's web page at www.pharr-tx.gov. This Notice was posted on the 22nd day of December, 2022 at 11:00 a.m. and will remain posted continuously for at least 72 hours preceding the scheduled time of said Meeting, in compliance with Chapter 551 of the Government Code, Vernon's Texas Codes, Annotated (Open Meetings Act).

WITNESS MY HAND AND SEAL, this 22nd day of December, 2022




Hilda Pedraza, City Clerk

MINUTES
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. December 12, 2022 - 6:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, December 12, 2022 and following is the record of attendance.

MEMBERS PRESENT: Danny Wylie Romeo Robles
 Charlie Ramirez Guadalupe Cano

ABSENT: Rafael Munguia Luis Madrigal
 Jonathan Larraga Andy Castro

STAFF PRESENT: Kimberly Mendoza, Director of Development Services
 Eddie Martinez, Planner II
 Anaisa Licerio, Planner II
 Laura Fonseca, Planner I
 Alyn Cervantes, Code Compliance Inspector/Officer
 Joanna Villarreal, Secretary

ITEM A. CALL TO ORDER

1) ROLL CALL AND POSSIBLE ACTION ON THE EXCUSING OF ANY ABSENT MEMBER

Chairman, Danny Wylie, called the meeting to order at 6:11 p.m. Roll call established a quorum.

Charlie Ramirez moved to excuse the absent members. Guadalupe Cano seconded the motion and when put to a vote it carried unanimously.

ITEM B. PUBLIC TESTIMONY

Chairman, Danny Wylie, opened the public testimony and asked if anyone signed up to speak.

Joanna Villarreal, Secretary, stated Rogelio Lizano signed up to speak on behalf of his mother Martha Lizano.

Rogelio Lizcano, residing at 1230 S. Cage Blvd., voiced his concerns with commercial office use due to his elderly mother who is 80 years old. He stated the noise factor during construction in that small area was disturbing and this was a very busy intersection. He further requested to have a barrier.

ITEM C. APPROVAL OF MINUTES

1) APPROVAL OF MINUTES FOR NOVEMBER 28, 2022

Chairman, Danny Wylie, introduced the item.

Guadalupe Cano **moved** to approve the minutes as submitted. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING

1) BEN-AVI, LLC., OWNER, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM SINGLE-FAMILY RESIDENTIAL DISTRICT (R-1) TO OFFICE AND PROFESSIONAL DISTRICT (O-P). THE PROPERTY IS LEGALLY DESCRIBED AS BEING LOT 12, BLOCK 2, ELLERS RESUBDIVISON, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED AT 1234 SOUTH CAGE BOULEVARD. COZ#221165 (THIS ITEM WILL GO TO CITY COMMISSION)

Laura Fonseca, Planner I, introduced the item and stated owner had filed with the Planning & Zoning Commission a request for a Change of Zone from Single-Family Residential District (R-1) to Office and Professional District (O-P) in order to operate an office. She stated the subject site was located on the northwest corner of South Cage Boulevard and West Ridge Road. She further stated the property fronts South Cage Boulevard, a 120'-150' principal arterial street that runs north and south with a posted speed limit of 30 miles per hour as identified in the City of Pharr's Thoroughfare Plan.

Laura Fonseca, Planner I, further stated the property was zoned Single-Family Residential District (R-1) and the subject property and the properties to the north and west were zoned to Single-Family Residential District (R-1) when the properties were annexed to the City of Pharr in April 1982. The property to the east was rezoned from Single-Family Residential District (R-1) to General Business District (C) on January 15, 2002. The property to the south was rezoned from Agricultural and/or Open Space District (A-O) General Business District (C) on October 21, 2003. She further stated there have been no other zoning requests within the general vicinity of the subject property since that time.

Laura Fonseca, Planner I, also stated the property was generally designated for single family residential use in the Land Use Plan. The office and professional District (O-P) was established to create a restrictive district for clean, attractive, low-intensity office or professional uses, and is considered the highest commercial district. She stated the uses allowed in this district should not have a blighting effect on adjacent residential areas and may be located close to all types of residential uses, with appropriate buffers and landscaping. She added the uses with excessive amounts of traffic, noise, or litter, or with late-night hours were not suitable for this district. The areas should not be zoned to this usage unless they are located on or close to arterials or collectors capable of carrying the additional traffic they will generate, and there was increased water, fire protection,

wastewater, and drainage capacity. She stated twelve (12) letters were mailed out to the surrounding property owners November 23, 2022, and a legal notice was published in the Advance News Journal on November 23, 2022. Staff received (1) response in opposition to the letters or the legal notice.

Laura Fonseca, Planner I, further stated staff recommended approval of the request for a change from Single-Family Residential District (R-1) to Office and Professional District (O-P), as the property meets requirements and had adequate ingress and egress. The property was not currently compatible with the future land use plan; however, the zoning would allow reasonable use of the property and granting the request results in equal treatment of similarly situated properties. If approved, the owner must comply with all City Ordinances and City Department requirements.

Chairman, Danny Wylie, asked if applicant had any comments. At the time, Sonia Chavez, owner, mentioned they were very excited to open a location of Income tax services in the city of Pharr, being that a lot of her customers live in Pharr, and they would like to be closer to them.

Chairman, Danny Wylie, opened the public hearing and asked if anyone signed up to speak. There being no one in the affected area who signed up, the public hearing was closed. Mr. Wylie opened the item for board discussion.

Board member, Charlie Ramirez asked Mr. Lizcano if he had a copy of the proposed site plan. Mr. Lizcano restated his concerns and his recommendations of putting the buffer fence before they start any construction for the safety of his mother.

Chairman, Danny Wylie, asked staff for the distance between the homes and the buffer. Laura Fonseca, Planner I, stated there was about 5 feet. Charlie Ramirez asked if there was going to be a drive going around the house. Laura Fonseca, Planner I, mentioned there would be a one-way drive and some part of the house will be removed.

Laura Fonseca, Planner I, further stated this was a preliminary draft of site plan and once they apply for the building permit, they would need to comply with City Ordinances and City Departments to be converted to commercial use and meet codes.

Chairman, Danny Wylie, asked if there will be a buffer on the east side. Laura Fonseca, Planner I, responded, yes, a buffer is required abutting all residential uses.

Chairman, Danny Wylie, if they will they be coming out through Ridge or the alley.

Laura Fonseca, Planner I, stated they can't use the alley as the alley was only for emergency and service vehicles and they would come in through Cage Blvd. and out through Ridge Road.

Chairman, Danny Wylie asked if this will be a right turn only. Laura Fonseca, Planner I, stated that would be a recommendation to discuss with Engineering Department.

Chairman, Danny Wylie, also asked what were the hours of operation. Applicant responded the hours would be from 9 a.m. to 5 p.m.

Chairman, Danny Wylie, stated during tax season most places were open late, and applicant responded this will not be the case.

Chairman, Danny Wylie, inquired if the right turn on Cage would be a city sign or owners' responsibility. Kimberly Mendoza, Director, stated the engineering department had seen the proposal, and this was just a preliminary site plan. She further stated the building would have to be brought up to compliance to commercial standards.

Chairman, Danny Wylie asked if we are going to make an effort to put the buffer before construction starts. Kimberly Mendoza, Director, stated at time of building permit that would be required prior to final inspection as per standard.

Chairman, Danny Wylie, stated buffers were usually installed at the end. Kimberly Mendoza, Director, stated that was correct and were required before the Certificate of Occupancy. She further stated they can meet with the applicant but at this time they can't condition a change of zone request.

Board Member, Romeo Robles asked if the owner would agree to that recommendation and if she understood they could make accommodations for the concerns of the neighbor.

Sonia Chavez stated that the garage was wood and there would not be too much of disturbance nor the use of equipment. She also stated the intersection and other emergency vehicles already cause a lot of noise at that location.

Following discussion, Charlie Ramirez moved to **approve** the request to re-zone from Single-Family Residential District (R-1) to Office and Professional District (O-P). Guadalupe Cano seconded the motion and when put to a vote, it carried unanimously.

ITEM E. PLATS:

- 1) TREVINO ENGINEERING, REPRESENTING ELIAS J. GUTIERREZ, OWNER, IS REQUESTING FINAL PLAT APPROVAL OF THE PROPOSED CASA GUTIERREZ SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 0.279 OF AN ACRE TRACT OF LAND CONSISTING OF THE SOUTHERN PORTION OF LOTS 6 AND 7, BLOCK 3, SECONDED AMENDED MAP OF HELMER SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE**

PROPERTY IS LOCATED WITHIN THE 1300 BLOCK OF WEST CHEROKEE AVENUE. SUB#210719

Eddie Martinez, Planner II, introduced the item. He stated the property was currently zoned Single-Family Residential District (R-1) and the adjacent zones were Single-Family Residential District (R-1) to the north, south, east, and west. She further stated the property was designated for multi-family residential use in the Land Use Plan.

At this time Chairman, Danny Wylie, stated a public hearing was not required and opened the item for discussion and action.

There being no discussion, Guadalupe Cano moved to approve the request for final plat approval of the proposed Casa Gutierrez Subdivision. Romeo Robles seconded the motion and when put to vote, it carried unanimously.

ITEM F. ANNOUNCEMENTS/OTHER BUSINESS:

Kimberly Mendoza, Director, informed board about next meeting between holidays and wished the board a Merry Christmas.

ITEM G. CLOSED SESSION:

None

ITEM H. RECONVENE:

None.

ITEM I. ADJOURNMENT

There being no further business, Romeo Robles moved to adjourn. Charlie Ramirez second the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 6:36 p.m.

PLANNING & ZONING COMMISSION

Chairman, Danny Wylie

ATTEST:

Andy Castro, Secretary

APPROVED: _____



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.1.

DATE SUBMITTED: December 21, 2022

MEETING DATE: December 27, 2022

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: 33 Construction and Energy, LLC., representing Norma D. Rodriguez Trejo, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to General Business District (C). The property is legally described as being 0.97 acres, more or less, out of Lot 326, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located at 500 West Dicker Road. **COZ#221169**

Classification: Public Hearing

(* If closed session, City Attorney must review and approve.)

Issue: 33 Construction and Energy, LLC., representing Norma D. Rodriguez Trejo, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to General Business District (C).

Fiscal Consideration:

Staff Recommendation:

Development Services is recommending approval of the request to re-zone from Agricultural and or Open Space District (A-O) to General Business District (C) as the property meets area requirements, and has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Patricia Rigney
Kimberly Mendoza

Created/Initiated - 12/21/2022
Approved - 12/21/2022
Final Approval - 12/21/2022



MEMORANDUM

DATE: TUESDAY, DECEMBER 27, 2022

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: Re-zoning Request: From Agricultural and/or Open Space District (A-O) to General Business District (C). The property is legally described as being 0.97 acres, more or less, out of Lot 326, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located at 500 West Dicker Road. COZ#221169

Comprehensive zoning and rezoning regulations and ordinances should be adopted and designed to facilitate, as much as possible, the following items:

1. To lessen congestion;
2. Secure safety from fire, panic and other dangers;
3. To promote health and general welfare;
4. To provide adequate light and air;
5. To protect the overcrowding of land and abutting traffic ways;
6. Avoid undue concentration of population, and;
7. To facilitate the adequate provisions of transportation, water, sewage, schools, parks, and other public requirements as per Local Government Code, Sect. 211.004.

DESCRIPTION OF PROPERTY:

33 Construction and Energy, LLC., representing Norma D. Rodriguez Trejo, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to General Business District (C) in order to develop and construct storage facilities.

The subject property is located on the north side of West Dicker Road, approximately 0.33 miles west of South Cage Boulevard. This property is legally described as being 0.97 acres, more or less, out of Lot 326, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

The property fronts West Dicker Road, a 120' – 150' principal arterial street that runs west and east with a posted speed limit of 40-55 miles per hour as identified in the City of Pharr's Thoroughfare Plan.

The property is currently zoned Agricultural and or Open Space District (A-O) since the property was annexed to the City of Pharr on December 15, 1987. The subject property and the properties to the east and west are zoned Agricultural and or Open Space District (A-O). The property to the north was rezoned from Agricultural and or Open Space District (A-O) to Single-Family Residential on July 17, 2001. The property to the south is zoned General Business District (C). The property is generally designated for single family residential use in the Land Use Plan.

The General Business District (C) is established to provide adequate space and site diversification for most types of commercial development in the City of Pharr. Larger shopping centers and most existing commercial strips along major arterials would be included in this district. The noise, traffic, litter, late-night hours, and possible blighting influences require adequate buffering from residential areas, and the traffic from such uses should not pass-through residential areas, except on arterials or major collectors.

Twenty-Seven (27) letters were mailed out to the surrounding property owners within a 200ft radius on December 9, 2022, and a legal notice was published in the Advance News Journal on December 7, 2022. Staff received one (1) response for information to the letters or the legal notice.

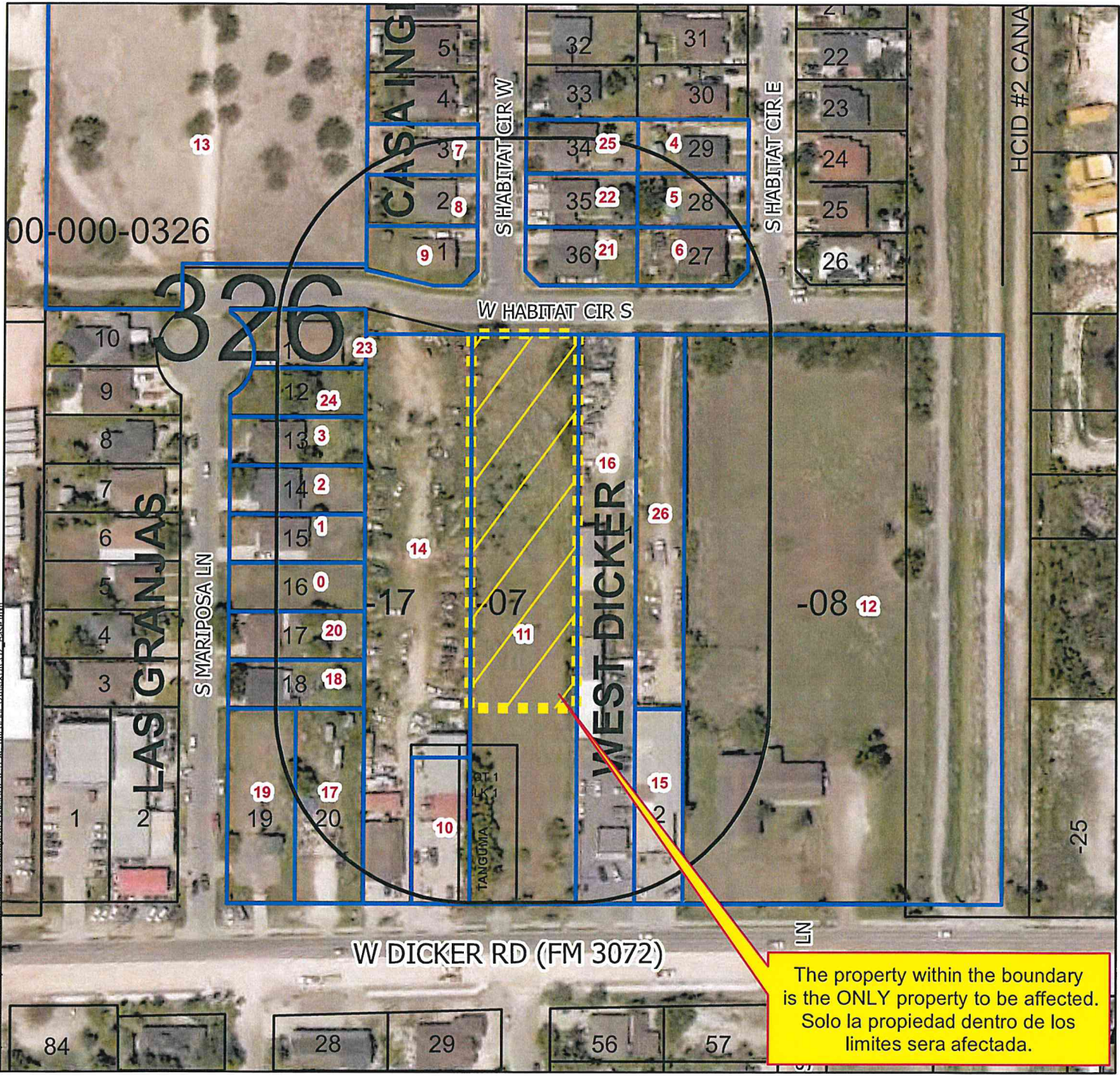
Development Services is recommending **approval** of the request to re-zone from Agricultural and or Open Space District (A-O) to General Business District (C) as the property meets area requirements, and has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of **January 03, 2022**, at **4:00 p.m.**

PLANNING COMMISSION OPTIONS:

1. Approve the rezoning request;
2. Table the item for:
 - a) consideration by the full board;
 - b) additional information;
 - c) additional time for applicant and adjacent property owners to meet;
3. Disapprove the request.

Proposed Change of Zone
 0.97 ac, out of Lot 329
 33 Construction and Energy LLC.



The property within the boundary is the ONLY property to be affected.
 Solo la propiedad dentro de los limites sera afectada.

Zoning

ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

- 200 ft. Buffer Zone
- Notified Properties
- Subject Property

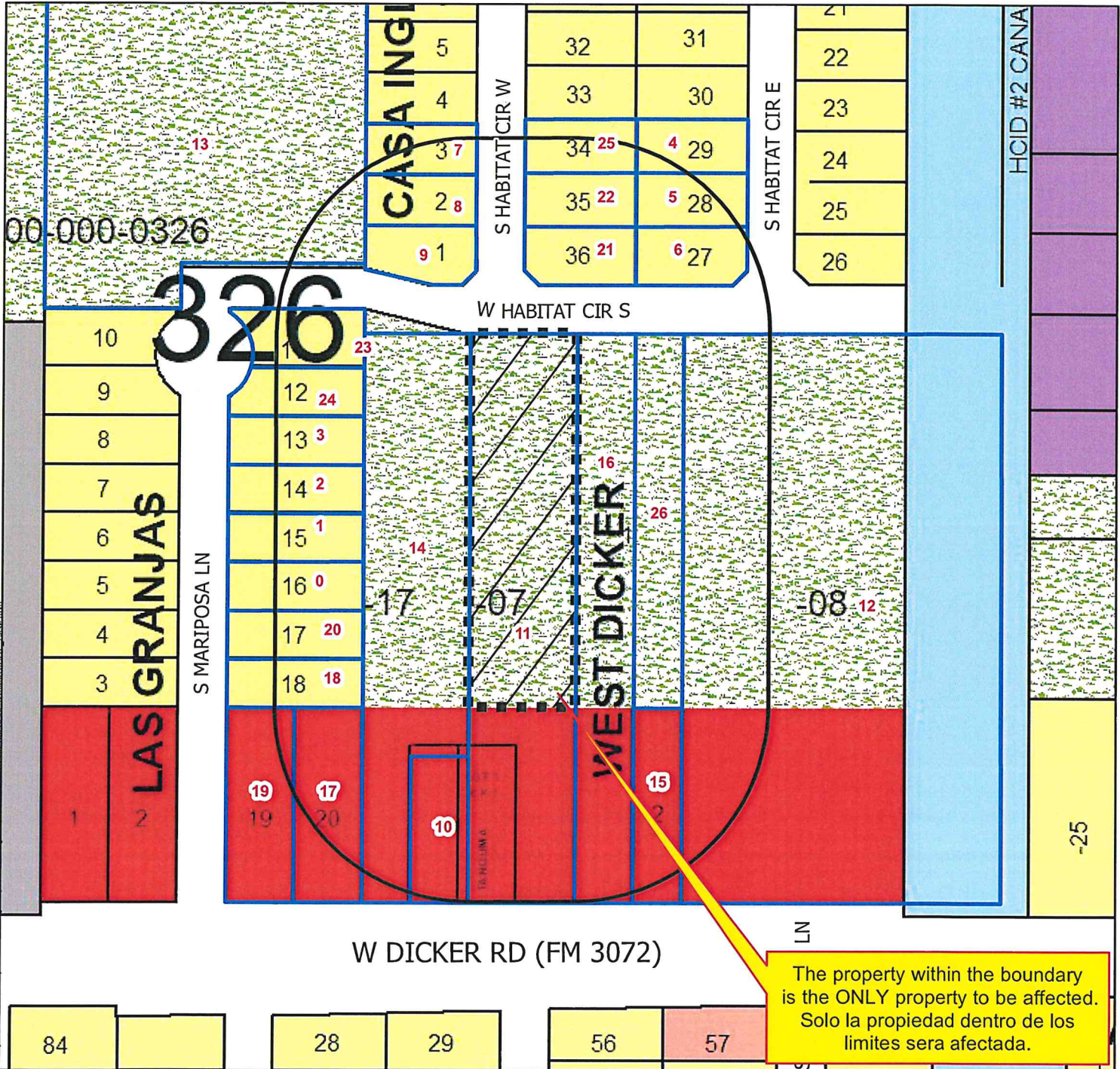
All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.

City of Pharr, Texas
 Engineering Department
 956.402.4242
 Date: 12/6/2022

Scale: 1 inch = 149 feet

0 75 150 300 450 600 Feet

Proposed Change of Zone
0.97 ac, out of Lot 329
33 Construction and Energy LLC.



The property within the boundary is the ONLY property to be affected.
Solo la propiedad dentro de los limites sera afectada.

Zoning

ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial

- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

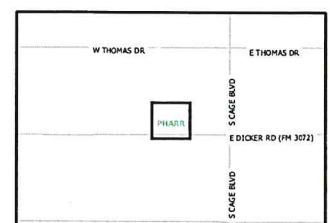
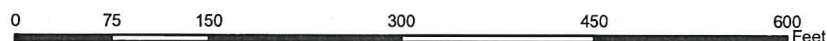
- 200 ft. Buffer Zone
- Notified Properties
- Subject Property

All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.

City of Pharr, Texas
Engineering Department
956.402.4242

Date: 12/6/2022

Scale: 1 inch = 149 feet





REQUEST FOR CHANGE OF ZONE & AMENDMENT TO LAND USE PLAN

33 Construction and Energy, LLC., representing Norma D. Rodriguez Trejo, owner,
APPLICANT

Agricultural and/or Open Space District (A-O)
CURRENT ZONE

500 West Dicker
ADDRESS

General Business District (C)

	YES	NO
1 Does the property meet the minimum area requirements for the proposed zone?	X	
2 Does the property have adequate ingress and egress?	X	
3 Will the change of zone be compatible with surrounding properties? (Zoning and Land Use)	X	
4 Is the property located along a major thoroughfare?	X	
5 Will the property have adequate parking for the proposed use?	X	
6 Will the property have adequate landscaping as per City Ordinance?	X	
7 Will the zone change increase the volume of traffic?		X
8 Will a buffer be required?		X
9 Is the proposed change in line with the Future Land Use Plan?		X

STAFF RECOMMENDATIONS:

Approval

Development Services is recommending approval of the request to re-zone from Agricultural and/or Open Space District (A-O) to General Business District (C) as the property meets area requirements, and has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

Laura Fonseca
PREPARED BY

December 21, 2022
DATE

**1.667 ACRES OUT OF THE SOUTH
5.0 ACRES OF THE WEST 10.0 ACRES
OF THE EAST 20.0 ACRES OF LOT 326
KELLY PHARR SUBDIVISION, VOLUME 3,
PAGES 133 AND 134, DEED RECORDS
HIDALGO COUNTY, TEXAS**

NOTES:

1. BEARINGS ARE BASED ON THE RECORDED DEED AS SHOWN IN DOCUMENT NO. 2421515, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS AND REFERENCED TO THE MONUMENTED EAST BOUNDARY LINE.

2. THIS PROPERTY APPEARS TO LIE WITHIN ZONE "B" (AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD) ACCORDING TO THE COMMUNITY-PANEL NUMBER 480334-0500-B, EFFECTIVE DATE JANUARY 2, 1981. *FLOOD ZONE IS DETERMINED BY GRAPHIC SCALING ONLY. SOUTHPOINT TEXAS SURVEYING, LLC DOES NOT ASSUME RESPONSIBILITY FOR EXACT DETERMINATION.*

3. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS/ENCUMBRANCES OTHER THAN THOSE SHOWN MAY EXIST AND AFFECT THIS PROPERTY.

4. ORIGINAL SURVEYS ARE SIGNED AND SEALED IN BLUE INK. ALL OTHER COPIES ARE NULL AND VOID.

5. A METES & BOUNDS DESCRIPTION (22153MB.docx) OF EVEN DATE ACCOMPANIES THIS SURVEY EXHIBIT.

LEGEND

○	1/2" IRON ROD FOUND
●	1/2" IRON ROD SET W/CAP
□	STAMPED "SOUTHPOINT 5974"
□	MAILBOX
○	WATER METER
○	POWER POLE
⊙	STORM DRAIN MANHOLE
—//—	METAL SHEET FENCE LINE
—◇—	CHAINLINK FENCE LINE
—x—	HOG WIRE FENCE LINE
—○—	METAL POLE FENCE LINE
—OHE—	OVERHEAD ELECTRIC
▨	ZONED AGRICULTURE AS PER CITY OF PHARR ZONING MAP

I, R. MICHAEL WOOD, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT, SHOWS ALL IMPROVEMENTS LOCATED ON THE PROPERTY, WAS PREPARED USING INFORMATION OBTAINED BY AN ON THE GROUND SURVEY MADE UNDER MY DIRECTION AND SUPERVISION AND THAT THERE ARE NO ENCROACHMENTS, BOUNDARY CONFLICTS, PROTRUSIONS, OR VISIBLE OR APPARENT EASEMENTS, EXCEPT SHOWN HEREON.

R. Michael Wood
R. MICHAEL WOOD, RPLS

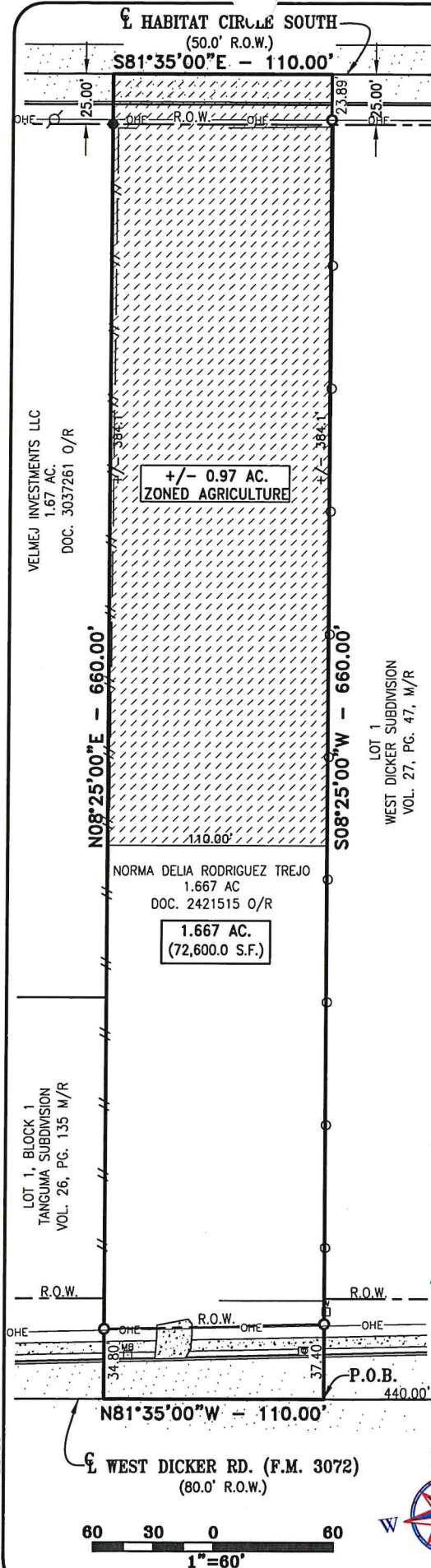


8/3/2022

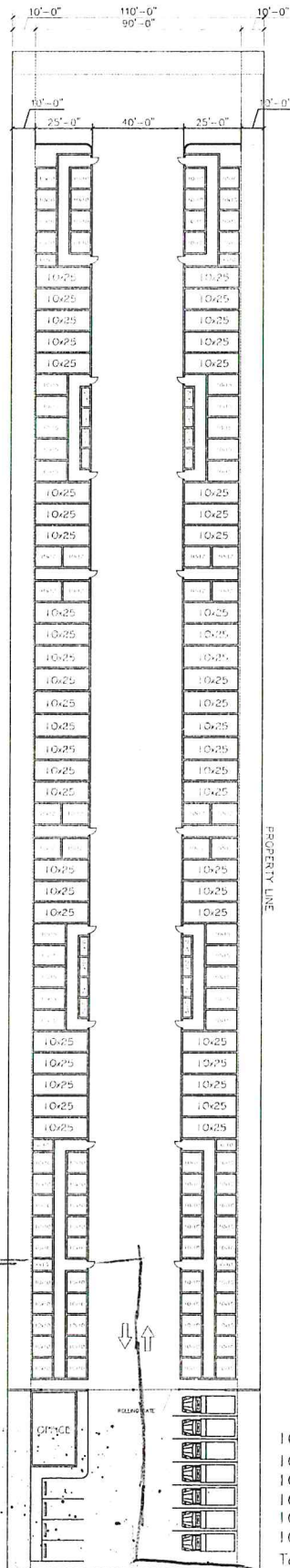
Southpoint
Texas Surveying, LLC

1409 N. Stuart Place Rd., Suite A (956) 245-1937
Harlingen, TX 78550 TBPLS Firm No. 10194358

PROJECT No. 22153



422.60



- 10x25: 50 units
- 10x15: 20 units
- 10x12: 16 units
- 10x10: 56 units
- 10x6: 6 units
- 10x5: 16 units
- Total: 164 units

(200 x 110
existing
commercial)

W. DICKER RD



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.2.

DATE SUBMITTED: December 21, 2022

MEETING DATE: December 27, 2022

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: R. E. Garcia & Associates, representing Jene & Jonathan Byrom, owners, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to Single Family Residential District (R-1). The property is legally described as being 1.83 acres, more or less, out of Lot 249, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1000 - 1200 Block of West Javelina Drive. **COZ#221168**

Classification: Public Hearing

(* If closed session, City Attorney must review and approve.)

Issue: R. E. Garcia & Associates, representing Jene & Jonathan Byrom, owners, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to Single Family Residential District (R-1).

Fiscal Consideration:

Staff Recommendation: Development Services is recommending approval of the request to re-zone from Agricultural and/or Open Space District (A-O) to Single Family Residential District (R-1) as the property meets area requirements and has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Patricia Rigney
Kimberly Mendoza

Created/Initiated - 12/21/2022
Approved - 12/21/2022
Final Approval - 12/21/2022



MEMORANDUM

DATE: TUESDAY, DECEMBER 27, 2022

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: Re-zoning Request: From Agricultural and/or Open Space District (A-O) to Single Family Residential District (R-1). The property is legally described as being 1.83 acres, more or less, out of Lot 249, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1000-1200 Block of W Javelina Dr. COZ#221168

Comprehensive zoning and rezoning regulations and ordinances should be adopted and designed to facilitate, as much as possible, the following items:

1. To lessen congestion;
2. Secure safety from fire, panic and other dangers;
3. To promote health and general welfare;
4. To provide adequate light and air;
5. To protect the overcrowding of land and abutting traffic ways;
6. Avoid undue concentration of population, and;
7. To facilitate the adequate provisions of transportation, water, sewage, schools, parks, and other public requirements as per Local Government Code, Sect. 211.004.

DESCRIPTION OF PROPERTY:

R. E. Garcia & Associates, representing Jene & Jonathan Byrom, owners, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/or Open Space District (A-O) to Single Family Residential District (R-1) in order to develop and construct a single-family residence on one lot.

The subject site which is located on the south side of West Javelina Drive and approximately 2,500 feet east of South Jackson Road. The property is legally described as being 1.83 acres, more or less, out of Lot 249, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1000-1200 Block of W Javelina Dr.

The property fronts West Javelina Drive, a 80' minor collector with a posted speed limit of 30 miles per hour or less as identified in the City of Pharr's Thoroughfare Plan.

The property is currently zoned Agricultural and/or Open Space District (A-O). The property and the properties to the west and a portion to the north and east were annexed on November 7, 2022. A portion of the city limits lie to the south and another portion to the north and east. There has been no other zoning request within the general vicinity of the subject property since that time. The property is generally designated for single family residential use in the Land Use Plan.

The Single-Family District is intended to be composed of single-family dwellings together with public, denominational and private schools, churches and public parks essential to create basic neighborhood units. Areas that are zoned for this use shall have water, wastewater, drainage and access to paved streets based on single-family usage. It is intended for areas that are properly buffered from nonresidential uses and protected from pollution and/or environmental hazards or from high volume of non-single-family traffic.

Five (5) letters were mailed out to the surrounding property owners on December 9, 2022, and a legal notice was published in the Advance News Journal on December 7, 2022. Staff received no response to the letters or the legal notice.

Development Services is recommending **approval** of the request to re-zone from Agricultural and/or Open Space District (A-O) to Single Family Residential District (R-1) as the property meets area requirements and has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of **January 03, 2023**, at **4:00 p.m.**

PLANNING COMMISSION OPTIONS:

1. Approve the rezoning request;
2. Table the item for:
 - a) consideration by the full board;
 - b) additional information;
 - c) additional time for applicant and adjacent property owners to meet;
3. Disapprove the request.



REQUEST FOR CHANGE OF ZONE & AMENDMENT TO LAND USE PLAN

R.E. Garcia & Associates
rep. Jene & Jonathan Byrom

APPLICANT

Agricultural and/or Open Space District
(A-O)

CURRENT ZONE

1000-1200 Block of West Javelina Drive

ADDRESS

Single Family Residential District (R-1)

PROPOSED ZONE

	YES	NO
1 Does the property meet the minimum area requirements for the proposed zone?	X	
2 Does the property have adequate ingress and egress?	X	
3 Will the change of zone be compatible with surrounding properties? (Zoning and Land Use)	X	
4 Is the property located along a major thoroughfare?		X
5 Will the property have adequate parking for the proposed use?	X	
6 Will the property have adequate landscaping as per City Ordinance?	X	
7 Will the zone change increase the volume of traffic?		X
8 Will a buffer be required?		X
9 Is the proposed change in line with the Future Land Use Plan?	X	

STAFF RECOMMENDATIONS:

Approval

Development Services is recommending approval of the request to re-zone to Residential Multi-Family High Density (R-MFHD) as the property meets area requirements and has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

Anaisa Licerio, Planner II

PREPARED BY

December 21, 2022

DATE

Proposed Change of Zone
1.83 ac, Out of Lot 249
R.E. Garcia & Associates, representing Jene & Byrom



The property within the boundary is the ONLY property to be affected.
Solo la propiedad dentro de los limites sera afectada.

Zoning

ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial

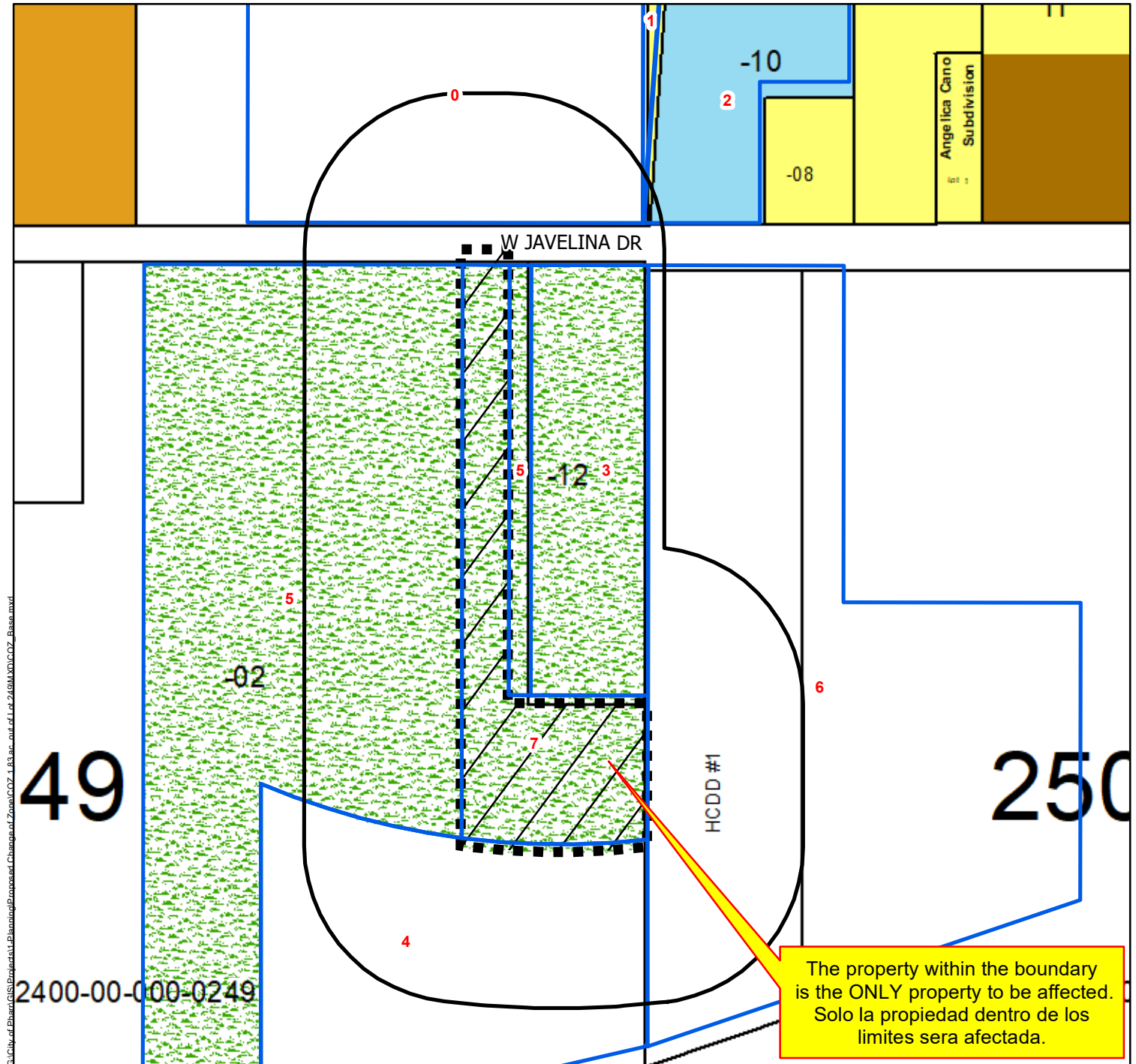
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

City of Pharr, Texas
Engineering Department
956.402.4242
Date: 12/6/2022

Scale: 1 inch = 233 feet

200 ft Buffer Zone
 Notified Properties
 Subject Property

All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



Zoning

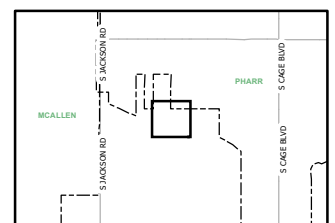
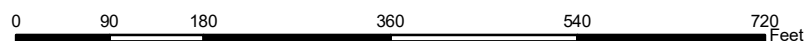
ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
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- Business District
- Drainage Easement
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- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

- 200 ft Buffer Zone
- Notified Properties
- Subject Property

All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



builder :

Superior Homes Built with Integrity and Style



Off: (956) 973-5055
Fax: (956) 447-2404
P.O. Box 804
Weslaco, Texas 78599
berryhomes@rgv.rr.com

prepared for :

Byrom Residence

project legal description :

A 1.83 Acre Tract of land being a portion of lot 249, Kelly-Pharr Subdivision, as recorded in Volume 3, Page 133, Deed Records, Hidalgo County, Texas, Also being a portion of that certain tract described in warranty deed with vendor's lien recorded in Volume 1474, Page 713, Deed Records, Hidalgo County, Texas.

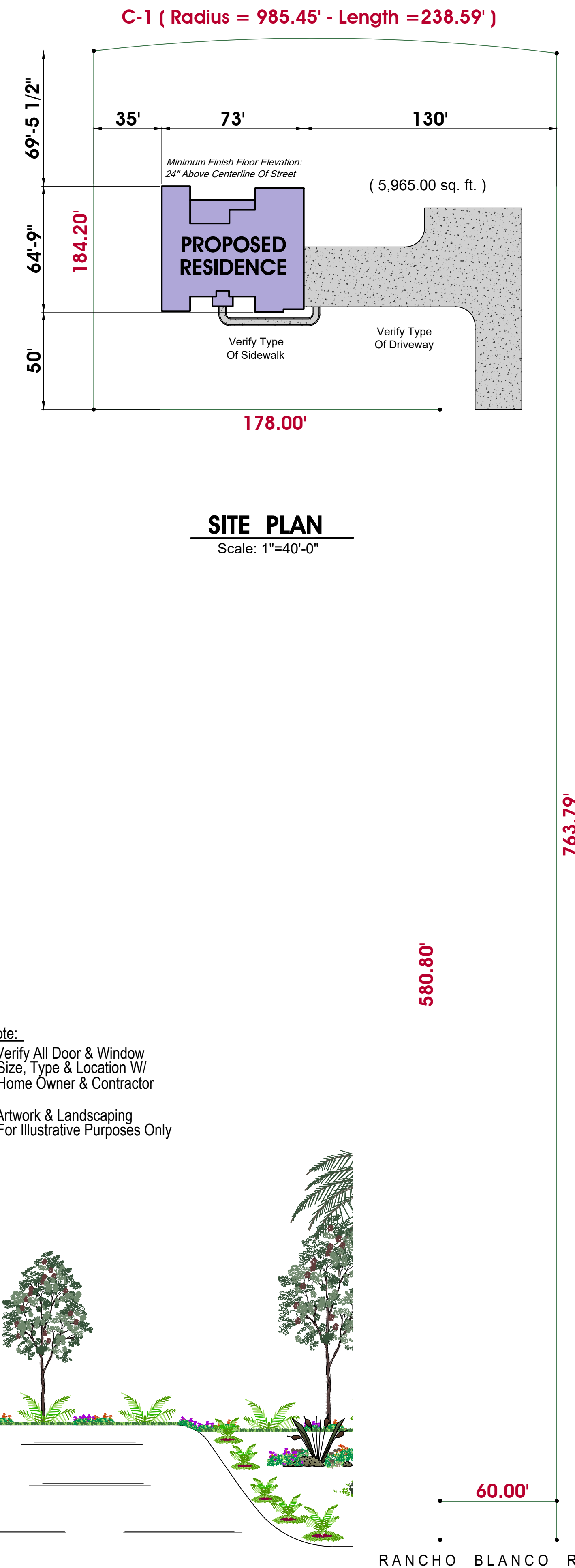
INDEX OF DRAWINGS

- CVR** - Cover Page - Concept Renders
Site Plan - Roof Plan
- F-1** - Floor Plan & Bonus Room
Wall Section Details
- E-1** - Electrical Plan
Bonus Room Electrical
- EV-1** - Exterior Elevations
Roof Plan
- S-1** - Foundation Plan
Foundation Section Details

AREAS	
Living Area	3,165.00'
Garage Area	670.00'
Patio Area	310.00'
Porch Area	70.00'
Bonus Area	285.00'
Total Area	4,500.00'



- Note:
- 1.) Verify All Door & Window Size, Type & Location W/ Home Owner & Contractor
 - 2.) Artwork & Landscaping For Illustrative Purposes Only

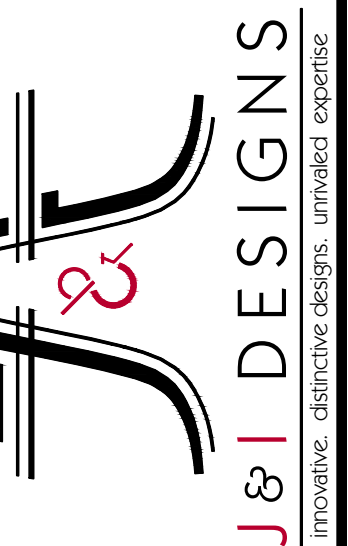


Builder Notice

To the best of our knowledge these plans are drawn to comply with owner's and/or builders specifications and any changes made on them after prints are completed will be done at the owner's and/or builders expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. J & I Designs is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

Builder:

1022 E. Tyler Suite #3
Harlingen, Texas 78550
Office: (956) 425-6604
E-mail: jandidesigns@att.net
Javier Martinez (956) 345-5151
Ignacio Martinez (956) 245-7106

**J & I DESIGNS**
Innovative. Distinctive Designs. Unmatched Expertise

The Byrom Family

Project Information:
1.83 Acre Tract Kelly Pharr Subdivision
Pharr, TX - Hidalgo County

Prepared For:

Date: 11-23-2022

Plan Number: W-LA-4215-2022

Sheet: 1 Of: 5

CVR



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.1.

DATE SUBMITTED: December 21, 2022

MEETING DATE: December 27, 2022

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: S2 Engineering, PLLC, representing Carlos Gomez, Manager for Gomez Group, LLC., is requesting preliminary plat approval of the proposed Big D Industrial Park Subdivision. The property is legally described as being an 8.635 acre tract of land and a part or portion of Lot 98, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 700 Block of East Nolana Loop (FM 3461) **SUB#221036**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: S2 Engineering, PLLC, representing Carlos Gomez, Manager for Gomez Group, LLC., is requesting preliminary plat approval of the proposed Big D Industrial Park Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Big D Industrial Park Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Patricia Rigney
Kimberly Mendoza

Created/Initiated - 12/21/2022
Approved - 12/21/2022
Final Approval - 12/21/2022



MEMORANDUM

DATE: TUESDAY, DECEMBER 27, 2022
TO: PLANNING AND ZONING COMMISSION
FROM: DEVELOPMENT SERVICES

SUBJECT: BIG D INDUSTRIAL PARK SUBDIVISION FILE NO. SUB#221036

GENERAL INFORMATION:

APPLICANT: S2 Engineering, PLLC, representing Carlos Gomez, Manager for Gomez Group, LLC., is requesting preliminary plat approval of the proposed Big D Industrial Park Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 8.635 acre tract of land and a part or portion of Lot 98, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 700 Block of East Nolana Loop (FM 3461)

ZONING: The property is currently zoned Heavy Commercial District (HC). The adjacent zones are Single Family Residential District (R-1) to the north, Heavy Commercial District (HC) to the south, General Business District (C) to the east and Agricultural Open Space District (A-O) to the west. The property is designated for multi-family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: Rental equipment for construction.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Big D Industrial Park Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:** 1. In compliance.

EASEMENTS: 1. Shall provide a 15' exclusive easement to City of Pharr, for sanitary sewer line, if any.
2. Show all existing easements adjacent to property.

**SIDEWALK:
ADA:** 1. In compliance.

FIRE PROTECTION: 1. See attached comments.

WATER: 1. N.A.W.S.C., provide comments.

SEWER: 1. See attached comments.
2. Follow City of Pharr Construction Standards Manual

DRAINAGE: 1. Drainage report to be reviewed and approved by H.C.D.D. No.1

OTHER: 1. Update location map to show recorded subdivisions.
2. Provide signatures from engineer and surveyor.
3. Plat note #1, verify the last paragraph not required.
4. Provide offsite easements prior to subdivision construction.

STAFF REVIEW MEETING FOR: *BIG D INDUSTRIAL PARK SUBDIVISION*

COMMENTS: **Initials:** J.R. **DECEMBER 13, 2022**

WATER:

- Water belongs to N.A.W.S.C.
- Follow City of Pharr Construction Standards Manual.

SEWER:

- Sewer service remains private.
- Will need to have access for maintenance (proposed manhole).
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual.

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name:_____

Signature:_____

Date:_____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: BIG D INDUSTRIAL PARK SUB-D

Reviewed by: J. GONZALEZ & J. NAVARRO

December 16, 2022

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. SHALL PROVIDE A TURN AROUND FOR FIRE DEPT. APPARATUS AS PER APPENDIX D**
- 2. SHALL PROVIDE LOOPED WATER LINE.**

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Big D Industrial Park
Subdivision

DATE: December 15, 2022

REVIEW: Preliminary (comments plans dated 11-30-2022)

PLAT

1. Note No. 11 ---Revise note to say... "5.0'ft sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of subdivision construction".
2. Add note ---Owners to maintain ROW and perimeter of subdivision.
3. Add note ---Owners to maintain detention / retention areas.
4. Signature from P.E. & R.P.L.S. is required.
5. Show all existing subdivisions on location map.

SITE PLAN

1. Include fiber optics layout for IT departments review.
2. Include a street light layout. All streetlights along City ROW shall be 250 feet apart.
3. Fire hydrant shall be placed 6 feet from back of curb.

DRAINAGE

1. Drainage plan to be reviewed and approved at building permit phase.

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

- Trenching/excavations deeper than 5'-ft shall require a trench safety plan.
- Provide comments from North Alamo Water Supply Corporation (NAWSC).



Pharr Public Work

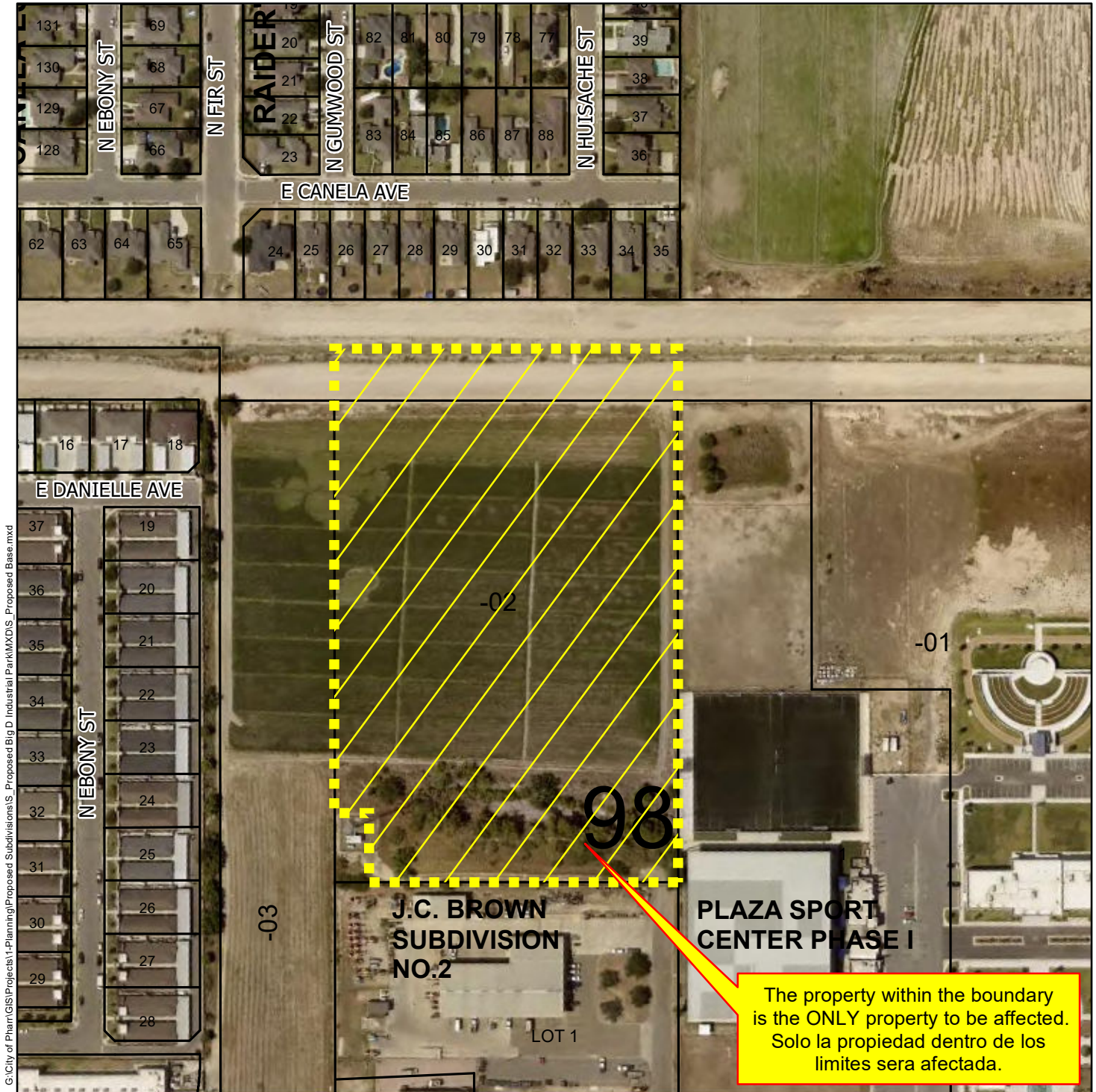


SUBDIVISION: Pre-Const Meeting
Big D Industrial Subdivision
E. Nolan
Pharr Tx, 78577

DATE: 12/13/2022
8.635 Acres

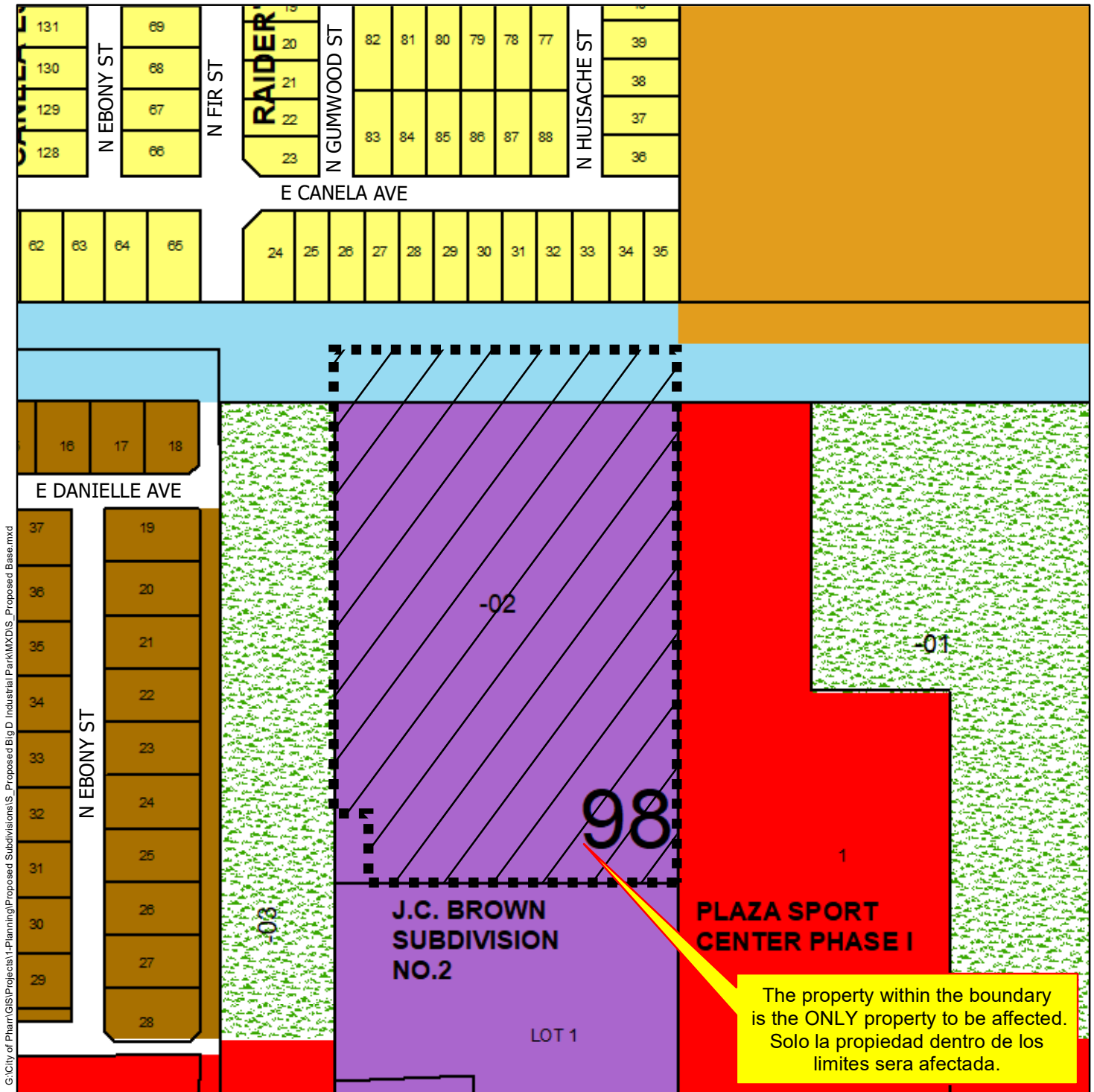
Plat Notes:

- Show details of Existing 12" RCP on page 3 Paving & Storm Drainage Layout
- Show correction on 4" sidewalk to 5" on Sidewalk Plan Details. (pg. 3)
- Show correction on pg3 rock bed entrance to show 50 x 20
- Show all Utility Profile line Crossing Details (Drainage Elevation)
- Must Obtain Discharge Permit from Hidalgo County Drainage District
- Show and Attach Erosion & Sediment Control Plan Layout to S.W.P.P.P. (must be legible)
- Erosion & Sediment Plan Layout Must be in place prior to any earth disturbance.
- Erosion & Sediment Control during construction shall be in accordance with the current Texas Pollution Discharge Elimination System (T.P.D.E.S.) and Texas Commission of Environmental Quality (T.C.E.Q.)
- Must submit a digital copy (in USB) for review and one (1) hard copy for finalization of the Stormwater Pollution Prevention Plan w/Notice of Intent (N.O.I) at pre-construction meeting. Will be reviewed and must be approved prior to any earthwork disturbance for Notice of Proceed (NTP) is issued.



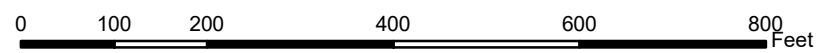
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- | | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|---|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD | Subject Property
Pharr City Limit
Pharr ETJ |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD | |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD | |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development | |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | | |
| Mobile Home | Business District | Office Professional | | |



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- | | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD | Subject Property |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD | Pharr City Limit |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD | Pharr ETJ |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development | |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | | |
| Mobile Home | Business District | Office Professional | | |





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.2.

DATE SUBMITTED: December 21, 2022

MEETING DATE: December 27, 2022

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No. 4 Subdivision. The property is legally described as being a 0.28 of an acre tract of land being a portion of Lot 121, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1506 West Heritage Dr. **SUB#221138**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No. 4 Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Heritage Manor No. 4 Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Patricia Rigney
Kimberly Mendoza

Created/Initiated - 12/21/2022
Approved - 12/21/2022
Final Approval - 12/21/2022



Pharr

Development Services



MEMORANDUM

DATE: TUESDAY, DECEMBER 27, 2022

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: HERITAGE MANOR NO. 4 SUBDIVISION FILE NO. SUB#221138
--

GENERAL INFORMATION:

APPLICANT: R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No. 4 Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 0.28 of an acre tract of land being a portion of Lot 121, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property physical address is 1506 West Heritage Dr.

ZONING: The property is currently zoned Agricultural Open Space District (A-O). The adjacent zones are Single Family Residential District (R-1) to the north and west, Residential Multifamily High Density District (R-MFHD) to the east and Residential Multifamily High Density District (R-MFHD) and Agricultural Open Space District (A-O) to the south. The property is designated for single family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: Apartments.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Heritage Manor No. 4 Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Shall provide one street light at the end of the Cul-De-Sac, show on plans.

EASEMENTS:

1. Show all existing easement adjacent to property.

**SIDEWALK:
ADA:**

1. Follow City of Pharr standards.

FIRE PROTECTION:

1. Shall provide one additional fire hydrant on the north east corner of Lot 1A.
2. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Drainage report to be approved.
2. See attached comments.

OTHER:

1. Need engineer and surveyor signature on plat.
2. Attached are staff comments.

STRAFF REVIEW MEETING FOR:

HERITAGE MANOR No. 4 SUBDIVISION

COMMENTS: **Initials:** J.R. / O.D.L. **December 13, 2022**

WATER:

- Will need to install one meter for each apartment 1' x 3/4" and one for irrigation.
- Will need to show water services details.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual.

SEWER:

- Will need to change flow direction of the sewer service wye.
- Will need to show sewer service details.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual.

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: HERITAGE MANOR No. 4

Reviewed by: J. GONZALEZ & J. NAVARRO

December 16, 2022

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. CALL OUT EXISTING HYDRANT.**
- 2. SHALL PROVIDE ADDITIONAL HYDRANT ON LOT 1 A BEFORE THE CUL-DE-SAC.**
- 3. SHALL PROVIDE HYDRANT DETAIL.**

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Heritage Manor No. 4
Subdivision

DATE: December 15, 2022

REVIEW: Preliminary (comments plans dated 11-29-2022)

PLAT

1. Signature and seal for P.E. & R.P.L.S. is required.

SITE PLAN

1. Include fiber optics layout for IT departments review.
2. Provide details for water and sewer services.
3. Provide an additional streetlight at the end of the cul-de-sac.

DRAINAGE

1. Drainage report shall be reviewed and approved by H.C.D.D. No. 1.
2. Drainage plan to be reviewed and approved at building permit phase.

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

- Trenching/excavations deeper than 5'-ft shall require a trench safety plan.

REVISION NOTES

NO.	SHEET	DATE	APPROVED

HERITAGE MANOR NO. 4 SUBDIVISION

THIS SUBDIVISION IS BEING OFFERED FOR SALE IN THE CITY OF HOUSTON, TEXAS, AND IS SUBJECT TO THE HERITAGE MANOR NO. 4 SUBDIVISION, AS RECORDED IN VOLUME 3, PAGE 133, DEED RECORDS, HOUSTON COUNTY, TEXAS, ALSO BEING PART OF CERTAIN TRACT DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 377163, OFFICIAL RECORDS, HOUSTON COUNTY, TEXAS.

DATE: NOVEMBER 07, 2022

SCALE: 1" = 30'

PREPARED BY: R. E. GARCIA & ASSOCIATES
ENGINEERS, SURVEYORS, PLANNERS
JOB NO.: 2022-237
DRAWN BY: D.E.S.

THE STATE OF TEXAS
COUNTY OF HOUSTON

OWNER'S CERTIFICATION, DEDICATION, & ATTESTATION
I, the undersigned, being duly qualified and sworn, do hereby certify that the foregoing plat is a true and correct copy of the original plat as the same appears in my office, and that the same has been duly recorded in the proper public records of the County of Houston, State of Texas.

IN WITNESS WHEREOF, I have hereunto set my hand and seal of office this 7th day of November, 2022.

BY: R. E. GARCIA, PRESIDENT
R. E. GARCIA & ASSOCIATES
11111 W. 17TH ST., SUITE 100
HOUSTON, TEXAS 77058

NOTARY PUBLIC FOR HOUSTON COUNTY, TEXAS

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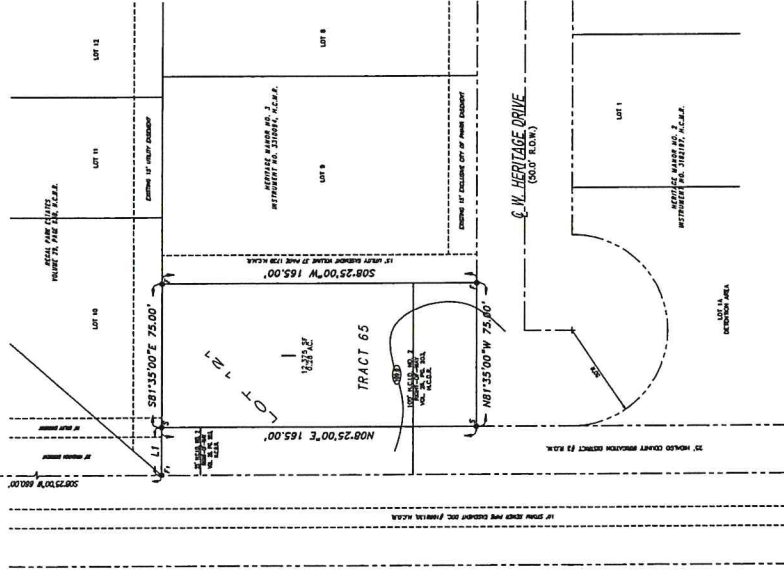
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BY: _____
DEPUTY

METES AND BOUNDS DESCRIPTION

A 0.28 OF AN ACRE TRACT OF LAND BEING A PORTION OF LOT 121, KELLY-PHARR SUBDIVISION, AS RECORDED IN VOLUME 3, PAGE 133, DEED RECORDS, HOUSTON COUNTY, TEXAS, ALSO BEING A PORTION OF THAT CERTAIN HERITAGE MANOR NO. 4 SUBDIVISION, AS RECORDED IN VOLUME 3, PAGE 133, DEED RECORDS, HOUSTON COUNTY, TEXAS, ALSO BEING PART OF CERTAIN TRACT DESCRIBED IN SPECIAL WARRANTY DEED RECORDED IN DOCUMENT NUMBER 377163, OFFICIAL RECORDS, HOUSTON COUNTY, TEXAS.

BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A SET ONE-HALF INCH IRON ROD WITH A CAP LABELED "TOLLS FOOT" ON THE SOUTH LINE OF RICAL PARK ESTATES AS RECORDED IN VOLUME 29, PAGE 658, MAP RECORDS, HOUSTON COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF SAID LOT 121;

THENCE S81°20'00"E 75.00' FEET ALONG SAID SOUTH LINE OF RICAL PARK ESTATES BEING PARALLEL TO THE NORTH LINE OF SAID LOT 121, TO A FOUND ONE-HALF INCH IRON ROD BEING THE NORTHWEST CORNER OF HERITAGE MANOR NO. 4 SUBDIVISION, BEING PARALLEL TO THE NORTH LINE OF SAID LOT 121;

THENCE S81°20'00"E 75.00' FEET ALONG THE WEST LINE OF SAID HERITAGE MANOR NO. 4 SUBDIVISION, BEING PARALLEL TO THE WEST LINE OF SAID LOT 121, TO A FOUND ONE-HALF INCH IRON ROD BEING THE NORTHWEST CORNER OF SAID HERITAGE MANOR NO. 4 SUBDIVISION, BEING PARALLEL TO THE NORTH LINE OF SAID LOT 121;

THENCE S81°20'00"E 75.00' FEET ALONG SAID NORTH NORTH-WEST CORNER OF SAID HERITAGE MANOR NO. 4 SUBDIVISION, BEING PARALLEL TO THE NORTH LINE OF SAID LOT 121, TO A FOUND ONE-HALF INCH IRON ROD BEING THE NORTHWEST CORNER OF SAID HERITAGE MANOR NO. 4 SUBDIVISION, BEING PARALLEL TO THE NORTH LINE OF SAID LOT 121;

THENCE S81°20'00"E 75.00' FEET ALONG SAID NORTH NORTH-WEST CORNER OF SAID HERITAGE MANOR NO. 4 SUBDIVISION, BEING PARALLEL TO THE NORTH LINE OF SAID LOT 121, TO A FOUND ONE-HALF INCH IRON ROD BEING THE NORTHWEST CORNER OF SAID HERITAGE MANOR NO. 4 SUBDIVISION, BEING PARALLEL TO THE NORTH LINE OF SAID LOT 121;

CONTAINING 0.28 OF AN ACRE (11,210 SQUARE FEET) OF LAND, MORE OR LESS.

LOCATION MAP

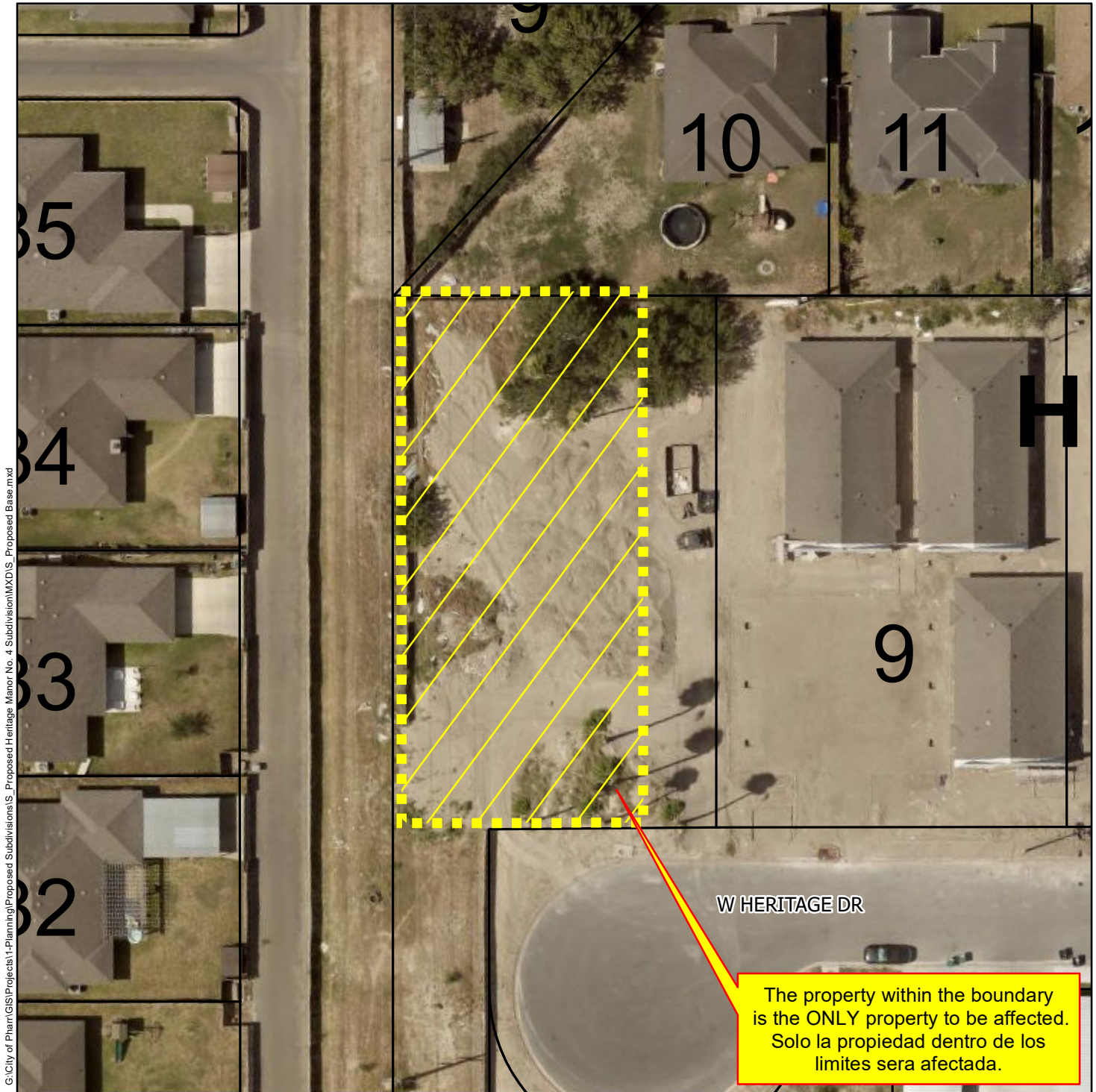
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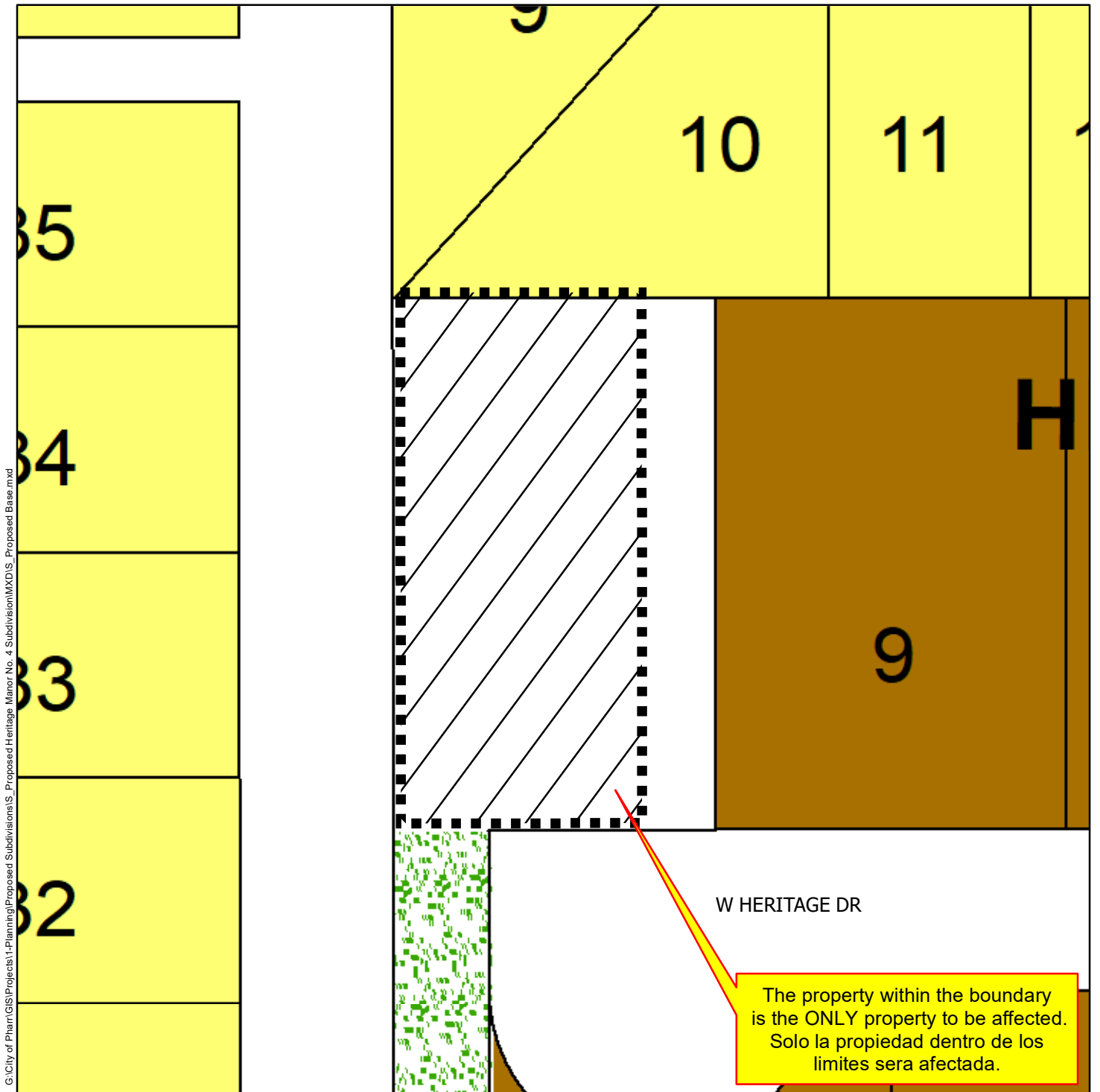
CONTACTS:
NAME: _____
ADDRESS: _____
CITY, STATE & ZIP: _____
PHONE: _____
FAX: _____

OWNER: _____
DEVELOPER: _____
SURVEYOR: _____

PLAT NO.: _____
DATE: _____



- | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | |
| Mobile Home | Business District | Office Professional | |



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|--|---|---|--|--|
|  Agricultural Open Space |  Townhouse |  Drainage Easement |  PSJA ISD |  Subject Property |
|  Single Family |  HUD Code |  Heavy Commercial |  Hidalgo ISD |  Pharr City Limit |
|  Single Family Small Lot |  Rail Road R.O.W |  Heavy Industrial |  Valley View ISD |  Pharr ETJ |
|  Residential Multi-Family |  Government Owned |  Limited Industrial |  Planned Unit Development | |
|  Residential Multi-Family High Density |  General Business |  Neighborhood Commercial | | |
|  Mobile Home |  Business District |  Office Professional | | |



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.3.

DATE SUBMITTED: December 21, 2022

MEETING DATE: December 27, 2022

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: R.E. Garcia and Associates, representing Jene Byrom and Jonathan Byrom, owners, are requesting preliminary plat approval of the proposed Rancho Blanco Estates Subdivision. The property is legally described as being a 1.83 acre tract of land being a portion of Lot 249, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 900 Block of West Javelina Dr. **SUB#221240**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: R.E. Garcia and Associates, representing Jene Byrom and Jonathan Byrom, owners, are requesting preliminary plat approval of the proposed Rancho Blanco Estates Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Rancho Blanco Estates Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Patricia Rigney
Kimberly Mendoza

Created/Initiated - 12/21/2022
Approved - 12/21/2022
Final Approval - 12/21/2022



MEMORANDUM

DATE: TUESDAY, DECEMBER 27, 2022

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: RANCHO BLANCO ESTATES SUBDIVISION FILE NO. SUB#221240

GENERAL INFORMATION:

APPLICANT: R.E., Garcia and Associates, representing Jene Byrom and Jonathon Byrom, owners, are requesting preliminary plat approval of the proposed Rancho Blanco Estates Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 1.83 acre tract of land being a portion of Lot 249, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 900 Block of West Javelina Dr.

ZONING: The property is currently zoned Agricultural Open Space District (A-O). The adjacent zones are Agricultural Open Space District (A-O) and City limits to the north, City limits to the south, Agricultural Open Space District (A-O) and City limits to the east and Agricultural Open Space District (A-O) to the west. The property is designated for Single family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: Residential lot.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Rancho Blanco Estates Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Obtain street cut permits from public works department.
2. Obtain excavation permit from public utility department.
3. Provide street lights layout, maximum spacing is 250'.
4. Developer shall escrow 1/3 of street R.O.W., along West Javelina Dr.

EASEMENTS:

1. Shall provide a 15' exclusive easement to City of Pharr, for sanitary sewer lines and water lines, if any.

**SIDEWALK:
ADA:**

1. In compliance.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual

DRAINAGE:

1. Drainage report to be reviewed and approved by H.C.D.D. No.1

OTHER:

1. Update location map to show City limits.
2. Provide signatures from engineer and surveyor.
3. Verify the flood zone area on the south side of the property, show on plat.

STAFF REVIEW MEETING FOR: *RANCHO BLANCO ESTATES SUBDIVISION*

COMMENTS: **Initials: J.R.** **DECEMBER 13, 2022**

WATER:

- Water line will need to be 8" PVC C-900.
- Water line will need to be loop.
- Will need to get drainage district permit for water line installation.
- Comments made change depending on circumstances.
- Follow City of Pharr Construction Standards Manual.

SEWER:

- Will need to extend sewer main line from existing sewer line and install manholes.
- Will need to install a 4" sewer service.
- Comments made change depending on circumstances.
- Follow City of Pharr Construction Standards Manual.

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: RANCHO BLANCO ESTATES

Reviewed by: J. GONZALEZ&J. NAVARRO

December 16, 2022

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. SHALL EXTEND PROPOSED WATER LINE WITH AN 8 IN WATER LINE.**
- 2. WATER LINE SHALL BE LOOPED.**
- 3. SHALL PROVIDE HYDRANT WITH STUB OUT FOR FUTURE DEVELOPMENT ON THE SOUTHEAST CORNER OF THE DRIVEWAY OR ENTRANCE.**
- 4. SHALL PROVIDE HYDRANT DETAIL.**
- 5. SHALL PROVIDE VALVE & VALVE BOX INSTALLATION DETAIL.**
- 6. SHALL PROVIDE A TURN AROUND FOR FIRE APPARATUS. PLEASE SEE APPENDIX D.**

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Rancho Blanco Estates
Subdivision

DATE: December 15, 2022

REVIEW: Preliminary (comments plans dated 11-22-2022)

PLAT

1. Note No. 7---Use the City of Pharr drainage directive: *"Storm Water detention is required for this property. The engineer of record for this subdivision plat has estimated that an area of approximately _____ acres and a volume of approximately _____ acre feet will be required for this use. This is an estimate only and detailed analysis may reveal different requirements. No Building permit shall be issued for this platted property until a storm water detention system design has been approved by the City of Pharr for this commercial development"*.
2. Add note ---"5.0'ft sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of building permit phase".
3. Add note ---Owners to maintain ROW and perimeter of subdivision.
4. Add note ---Owners to maintain detention / retention areas.
5. Add note ---Erosion and sediment control during construction shall be in accordance with current Texas pollution discharge elimination system (TPDES).
6. Add note ---Enforcements of all plat notes and dedications shall be the responsibility of the agency to whom the dedication is granted.
7. Signature and seal for P.E. & R.P.L.S. is required.

SITE PLAN

1. **DISCLAIMER:** All new developments within City limits shall require a sanitary sewer service.
2. Please provide detail of offsite drain field.
3. Include a street light layout. All streetlights along City ROW shall be 250 feet apart.

DRAINAGE

1. Drainage report shall be reviewed and approved by H.C.D.D. No. 1.
2. Drainage plan to be reviewed and approved at building permit phase.

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

- Trenching/excavations deeper than 5'-ft shall require a trench safety plan.
- 1/3 escrow along W. Javelina Dr. must include the following:
 - 3" HMAC
 - 10" Base
 - 10" Stabilized Subgrade
 - 24" Reinforced Curb & Gutter
 - 5' Sidewalk



Pharr Public Work



Staff Review Meeting
W. Javelin Drive Road
Pharr Tx, 78577

DATE: 12/12/2022

1.83 Acres

Plat Notes:

- **No comments**

General Notes:

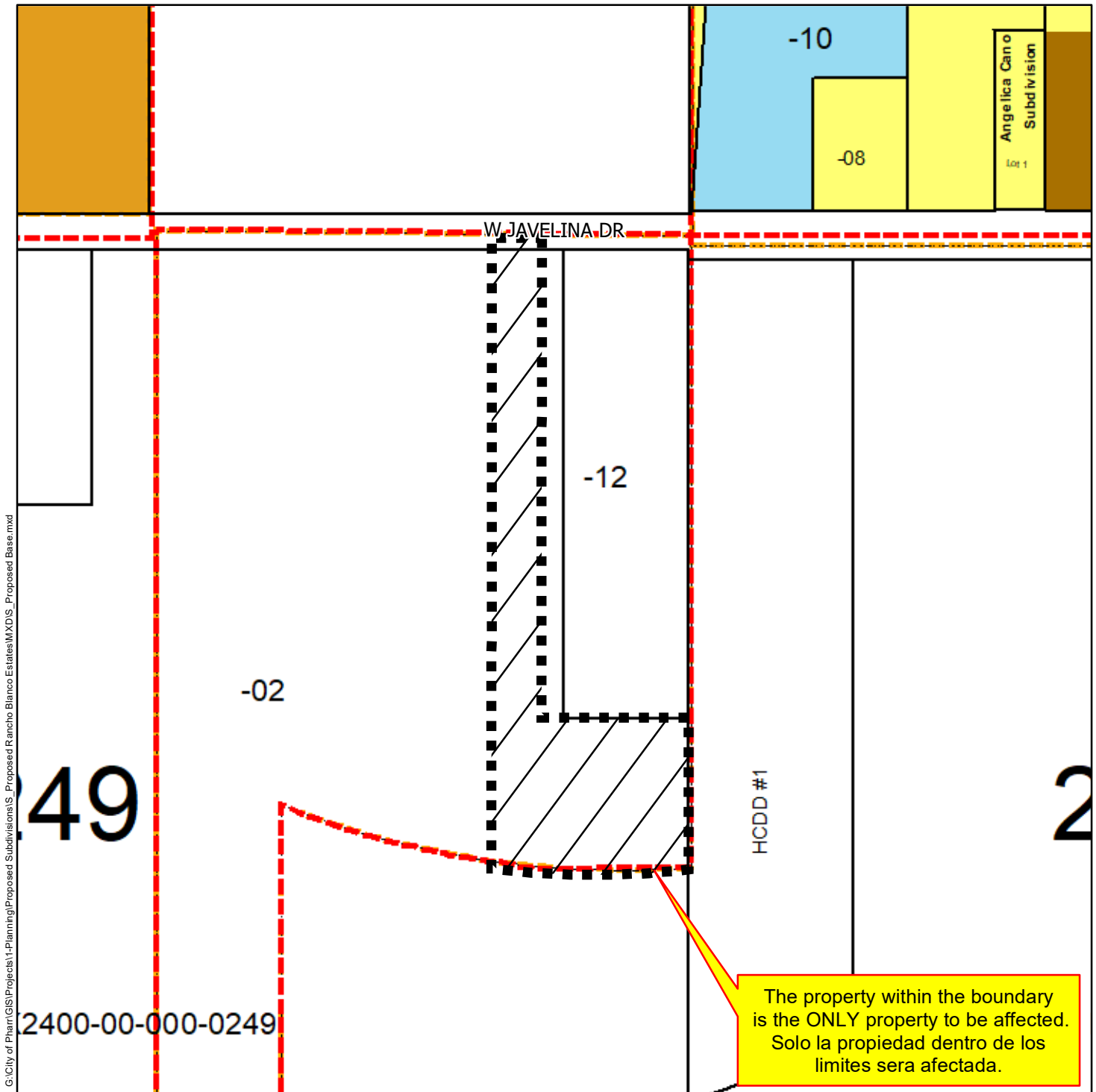
- **Show Drainage Details**
- **Open Cut / Bore permit**
- **Show all utility crossing and Elevation Details**
- **Show and Attach Approved (by City Engineering Department) Drainage Layout Plan with Details to S.W.P.P.P.**
- **Show and Attach Erosion & Sediment Control Layout with BMP Details to S.W.P.P.P.**
- **Must submit (1) digital copy in (USB) for review and one (1) hard copy for Finalization of the Erosion & Sediment control Plan at pre-construction meeting. Will be reviewed and must be approved Prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.**



G:\City of Pharr\GIS\Projects\1-Planning\Proposed Subdivisions\1-Proposed Rancho Blanco Estates\MXDS - Proposed Base.mxd

- | | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD | Subject Property |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD | Pharr City Limit |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD | Pharr ETJ |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development | |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | | |
| Mobile Home | Business District | Office Professional | | |





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- | | | | | |
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| Mobile Home | Business District | Office Professional | | |



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.4.

DATE SUBMITTED: December 21, 2022

MEETING DATE: December 27, 2022

FROM: Kimberly Mendoza, Development Services Director

DEPARTMENT: Development Services

DIRECTOR: Kimberly Mendoza

Agenda Item: R. Gutierrez Engineering Corporation, representing Gabriela A. Cavazos De Salazar, Manager for Texas Quality Construction is requesting preliminary plat approval of the proposed Angel S.C. Subdivision. The property is legally described as being a 0.54 acre tract of land, being a portion of the north half (1/2) of Lot 1, Block 1, and a portion of Lot 2, Block 1, The Van Williams Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 200 Block of West Sam Houston Avenue. **SUB#220932**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: R. Gutierrez Engineering Corporation, representing Gabriela A. Cavazos De Salazar, Manager for Texas Quality Construction is requesting preliminary plat approval of the proposed Angel S.C. Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Angel S.C. Subdivision subject to the listed conditions.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Kimberly Mendoza
Patricia Rigney
Kimberly Mendoza

Created/Initiated - 12/21/2022
Approved - 12/21/2022
Final Approval - 12/21/2022



MEMORANDUM

DATE: TUESDAY, DECEMBER 27, 2022
TO: PLANNING AND ZONING COMMISSION
FROM: DEVELOPMENT SERVICES

SUBJECT: ANGEL S.C. SUBDIVISION FILE NO. SUB#220932
--

GENERAL INFORMATION:

APPLICANT: R. Gutierrez Engineering Corporation, representing Gabriela A. Cavazos De Salazar, Manager for Texas Quality Construction, is requesting preliminary plat approval of the proposed Angel S.C. Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 0.54 acre tract of land, being a portion of the north half (1/2) of Lot 1, Block 1, and a portion of Lot 2, Block 1, The Van Williams Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 200 Block of West Sam Houston Ave.

ZONING: The property is currently zoned Residential Multi-Family District (R-MF). The adjacent zones are Single Family Residential District (R-1), Residential Multi-Family High Density (R-MFHD), and General Business District (C) to the north and Single Family Residential District (R-1) to the east, south and west. The property is designated for commercial use in the Land Use Plan.

PROPERTY PROPOSED USE: Apartments.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Angel S.C. Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:** 1. In compliance.

EASEMENTS: 1. Shall provide a exclusive easement to City of Pharr, for sanitary sewer line, if any.
2. Show all existing easements adjacent to property.

**SIDEWALK:
ADA:** 1. Follow City of Pharr Construction Standards Manual.

FIRE PROTECTION: 1. See attached comments.

WATER: 1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

SEWER: 1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

DRAINAGE: 1. Drainage report to be reviewed and approved by H.C.D.D. No.1

OTHER: 1. Provide signatures from engineer and surveyor.
2. Verify the gas line if any easements are within property, on rear.

STAFF CONSTRUCTION MEETING

FOR:

ANGEL S. C. SUBDIVISION

COMMENTS: **Initials: J.R.** **DECEMBER 13, 2022**

WATER:

- Will need to install one water service for each apartment and one for irrigation.
- Will need to show water services details.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

SEWER:

- Sewer services will need to be 6" with PVC gasket wye's
- Will need to show all sewer connections details.
- Manhole rim and lid will need to be composite base with City of Pharr logo.
- Comments made may change depending on the circumstances.
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: ANGEL S.C. SUBDIVISION

Reviewed by: J. GONZALEZ & J. NAVARRO

December 16, 2022

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **PAINTED SILVER** in Color with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MAY BE **YELLOW OR RED** FROM MANUFACTURE AND FINISHED WITH A COAT OF **ALUMINUM** AS-PER CITY OF PHARR STANDARD SECTION IV-3. A.11.
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
11. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2018; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2018; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. CALL OUT EXCITING FIRE HYDRANTS ON UTILITY LAY OUT.**
- 2. SHALL REQUIRE ONE ADDITIONAL FIRE HYDRANT ON SOUTHWEST SIDE OF SOUTH BLUEBONNET ST. ON THE EXISITING 10IN WATERLINE.**

SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Angel S.C. Subdivision

DATE: December 15, 2022

REVIEW: Preliminary (comments plans dated 11-30-2022)

PLAT

1. Note No. 14 ---Revise note to say... "5.0'ft sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of subdivision construction".
2. Note no. 5 ---Revise note to say... "Owners to maintain detention / retention areas".
3. Signature from P.E. & R.P.L.S. is required.
4. Show all proposed easements within the lot.

SITE PLAN

1. Include fiber optics layout for IT departments review.
2. Include a street light layout. All streetlights along City ROW shall be 250 feet apart.

DRAINAGE

1. Drainage plan to be reviewed and approved at building permit phase.
2. Ensure that correct storm sewer layout matches with what has been proposed on the approved drainage report.

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

- Trenching/excavations deeper than 5'-ft shall require a trench safety plan.



Pharr Public Work



Per - Construction Review Meeting
Angel S.C. Subdivision
W. Sam Houston / Bluebonnet
Pharr Tx, 78577

DATE: 12/13/2022
0.54 Acres

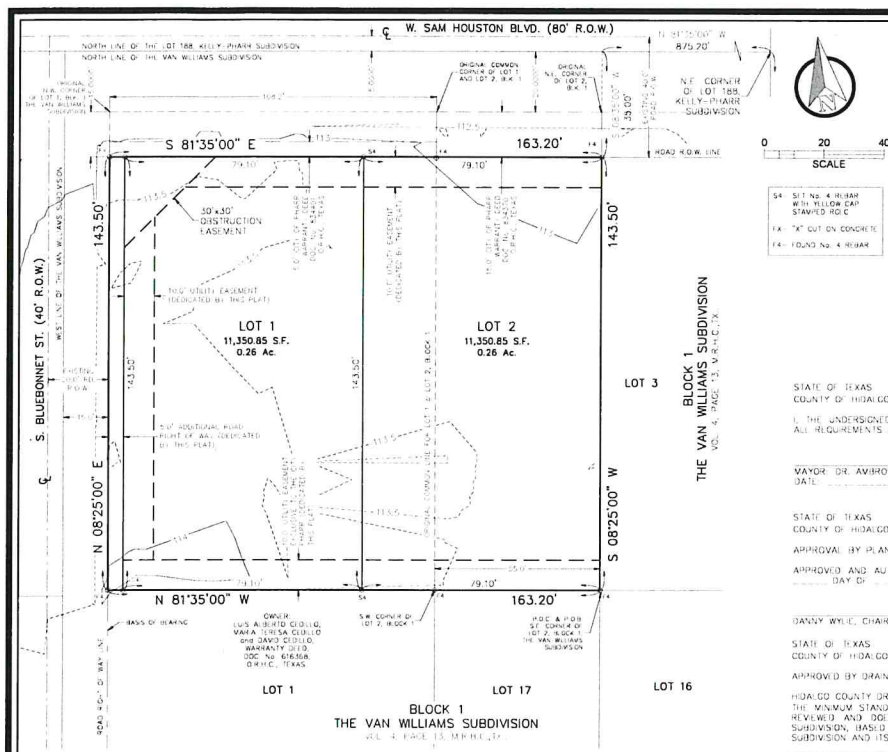
Plat Notes:

- No comments

General Notes:

-
- Must submit (1) digital copy in (USB) for review and one (3) hard copy for Finalization of the Erosion & Sediment control Plan at pre-construction meeting. Will be reviewed and must be approved Prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.

FILED IN 13022 UNCL008 - ANGEL S. C. SUBDIVISION (CENS. 55002) V.P. ANSVL027 DUB P.A. 4-8-23



- GENERAL NOTES:**
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENTS.
 - MINIMUM BUILDING SETBACK LINES AS PER THE CITY OF PHARR ORDINANCES.
 - A MAXIMUM FINISH FLOOR ELEVATION OF 18 INCHES ABOVE TOP OF CURB FOR SAM HOUSTON BOULEVARD AS CENTERED ON LOT.
 - STORM WATER RETENTION IS REQUIRED FOR THIS PROPERTY. THE ENGINEER OF RECORD FOR THE SUBDIVISION PLAT HAS DETERMINED THAT A TOTAL OF 0.120 ac-ft (5,218 cft) WILL BE REQUIRED. THIS IS AN ESTIMATE ONLY AND A DETAILED ANALYSIS MAY REVEAL DIFFERENT REQUIREMENTS. NO BUILDING PERMIT SHALL BE ISSUED FOR THIS PLATTED PROPERTY UNTIL A STORM WATER DETENTION SYSTEM DESIGN HAS BEEN APPROVED BY THE CITY OF PHARR FOR THIS MULTI-FAMILY DEVELOPMENT.
 - ALL DETENTION/RETENTION AREAS WILL BE MAINTAINED BY OWNER(S).
 - FLOOD ZONE: (B) - AREAS BETWEEN LIMITS OF 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASIN FLOOD COMMUNITY PANEL No. 480347-0000 C, MAP REVISED OCTOBER 19, 1997.
 - LANDSCAPING REQUIREMENTS AS PER CITY OF PHARR ORDINANCE.
 - NO CONSTRUCTION OF ANY STRUCTURE IS ALLOWED, UNLESS FIRE PROTECTION IS IN PLACE.
 - BENCH MARK: CITY OF PHARR MONUMENT NO. 40, LOCATED APPROXIMATELY 100 FEET SOUTH FROM THE CENTRAL INTERSECTION OF CADI BLVD. (U.S. HIGHWAY 281) AND SAM HOUSTON BOULEVARD AND APPROXIMATELY 45 FEET ON THE WEST SIDE OF CADI BLVD. (U.S. HIGHWAY 281), ELEVATION: 110.72, N. 1639.3943 187, E. 1087438.540.
 - EROSION & SEDIMENTATION CONTROL "DURING CONSTRUCTION" SHALL BE IN ACCORDANCE WITH CURRENT TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM.
 - ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE PLAN REVIEW PHASE IN ORDER TO PROVIDE ANY ADDITIONAL FIRE PROTECTION REQUIREMENTS.
 - OWNERS TO MAINTAIN RIGHT OF WAY AND PERIMETER OF SUBDIVISION.
 - ENFORCEMENT OF ALL PLAT NOTES AND DEDICATIONS SHALL BE THE RESPONSIBILITY OF THE AGENCY OR ENTITY TO WHOM THE DEDICATION IS GRANTED.
 - ADA COMPLIANT RAMPS AND LANDINGS WILL BE REQUIRED TO BE CONSTRUCTED WITHIN INTERNAL STREET AT THE TIME OF SUBDIVISION CONSTRUCTION PHASE.
- PRINCIPAL CONTACTS:**
- | NAME | ADDRESS | PHONE No. |
|--------------------------------|----------------------------------|----------------|
| GABRIELA A. CAVAZOS DE SALAZAR | 2401 S. JACKSON RD. PHARR, TEXAS | (956) 888-7944 |
| RAMIRO GUTIERREZ | 130 E. PARK AVE. PHARR, TX | (956) 782-2557 |
| SURVEYOR: PAUL D. SOTO, JR. | 130 E. PARK AVE. PHARR, TX | (956) 782-2557 |

ANGEL S. C. SUBDIVISION MEAS AND BOUNDS DESCRIPTION

A 0.54 OF AN ACRE TRACT OF LAND BEING A PORTION OF THE NORTH HALF (1/2) OF LOT 1, BLOCK 1 AND A PORTION OF LOT 2, BLOCK 1, THE VAN WILLIAMS SUBDIVISION, AN ADDITION TO THE CITY OF PHARR, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 4, PAGE 13, MAP RECORDS OF HIDALGO COUNTY, TEXAS, SAID 0.54 OF AN ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY MEAS AND BOUNDS AS FOLLOWS:

COMMENCING AT A NO. 4 REBAR FOUND AT THE SOUTHEAST CORNER OF LOT 2, BLOCK 1, THE VAN WILLIAMS SUBDIVISION FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING;

THENCE, NORTH 81 DEGREES 35 MINUTES 00 SECONDS WEST, WITH THE SOUTH LINE OF SAID LOT 2, BLOCK 1, AT A DISTANCE OF 35.00 FEET PAST A NO. 4 REBAR FOUND AT THE SOUTHWEST CORNER OF SAID LOT 2, BLOCK 1; ALSO BEING THE EAST LINE OF LOT 1, BLOCK 1, THE VAN WILLIAMS SUBDIVISION, CONTINUING FOR A TOTAL DISTANCE OF 163.20 FEET TO A NO. 4 REBAR FOUND AT THE WEST LINE OF LOT 1, BLOCK 1, THE VAN WILLIAMS SUBDIVISION, ALSO BEING THE EXISTING EAST RIGHT OF WAY LINE OF S. BLUEBONNET STREET FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

THENCE, NORTH 08 DEGREES 25 MINUTES 00 SECONDS WEST, WITH THE WEST LINE OF SAID LOT 1, BLOCK 1, THE VAN WILLIAMS SUBDIVISION, ALSO BEING THE EAST RIGHT OF WAY LINE OF SAID S. BLUEBONNET STREET, A DISTANCE OF 143.50 FEET TO AN "X"-CUT FOUND ON CONCRETE AT THE EXISTING SOUTH RIGHT OF WAY LINE OF W. SAM HOUSTON BOULEVARD FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 81 DEGREES 35 MINUTES 00 SECONDS EAST, WITH THE EXISTING SOUTH RIGHT OF WAY LINE OF SAID W. SAM HOUSTON BOULEVARD, AT A DISTANCE OF 108.20 FEET PAST A NO. 4 REBAR FOUND AT THE COMMON LINE OF SAID LOT 1, BLOCK 1 AND LOT 2, BLOCK 1, CONTINUING FOR A TOTAL DISTANCE OF 163.20 FEET TO A NO. 4 REBAR FOUND FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE, SOUTH 08 DEGREES 25 MINUTES 00 SECONDS WEST, WITH THE EAST LINE OF SAID LOT 2, BLOCK 1, THE VAN WILLIAMS SUBDIVISION, A DISTANCE OF 143.50 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.54 OF AN ACRE OF LAND, MORE OR LESS.

STATE OF TEXAS §
COUNTY OF HIDALGO §

I, THE UNDERSIGNED MAYOR OF THE CITY OF PHARR, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR: DR. AMBROSIO HERNANDEZ
DATE: _____
ATTEST: CLERK: HILDA FLORESA
DATE: _____

STATE OF TEXAS §
COUNTY OF HIDALGO §

APPROVAL BY PLANNING AND ZONING COMMISSION:

APPROVED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION, CITY OF PHARR, TEXAS, THIS THE _____ DAY OF _____, 20____, BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF PHARR, TEXAS.

DANNY WYLE, CHAIRMAN, PLANNING AND ZONING COMMISSION

STATE OF TEXAS §
COUNTY OF HIDALGO §

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, SECTION 49.01(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

PAUL E. SESIN, P.E., C.E.M.
GENERAL MANAGER

STATE OF TEXAS §
COUNTY OF HIDALGO §

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #2 RIGHTS OF WAYS OR EASEMENTS.

PRESIDENT

STATE OF TEXAS §
COUNTY OF HIDALGO §

I, PAUL D. SOTO, JR., A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY STATE THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF PHARR SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.



PRELIMINARY - SUBJECT TO REVISION

PAUL D. SOTO, JR., R.L.S. No. 4511
R. GUTIERREZ / ENGINEERING CORP.
130 E. PARK
PHARR, TEXAS 78577

DATE: _____



Professional Engineers & Land Surveyors

130 E. PARK AVENUE • PHARR, TEXAS 78577
(TEL) 956 782-2557 • (FAX) 956 782-2558

ENGINEERING FIRM No.: 486 • SURVEYING FIRM No.: 101650-00



FILED FOR RECORD IN
HIDALGO COUNTY
ARIBURO GUARDADO, JR.
HIDALGO COUNTY CLERK

ON _____ AT _____
BY _____
DEPUTY

SHEET 1



LOCATION MAP

PREPARED BY: **R. GUTIERREZ ENGINEERING CORP.**
130 E. PARK AVE.
PHARR, TEXAS 78577
DATE PREPARED: 05/10/2022
DATE SURVEYED: 02/23/2022

STATE OF TEXAS §
COUNTY OF HIDALGO §

I (WE) THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS ANGEL S. C. SUBDIVISION, TO THE CITY OF PHARR, COUNTY OF HIDALGO, TEXAS AND WHOME NAME IS SUBSCRIBED HERETO, DOES (DO) HEREBY SUBDIVIDE SUCH PROPERTY AND DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

NAME: TEXAS QUALITY CONSTRUCTION
GABRIELA A. CAVAZOS DE SALAZAR
ADDRESS: 2401 S. JACKSON ROAD, LOT 60
PHARR, TEXAS 78577

STATE OF TEXAS §
COUNTY OF HIDALGO §

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DATE PERSONALLY APPEARED, GABRIELA A. CAVAZOS DE SALAZAR TO ME TO BE THE PERSON(S) WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF HIDALGO §

I, RAMIRO GUTIERREZ, P.E., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

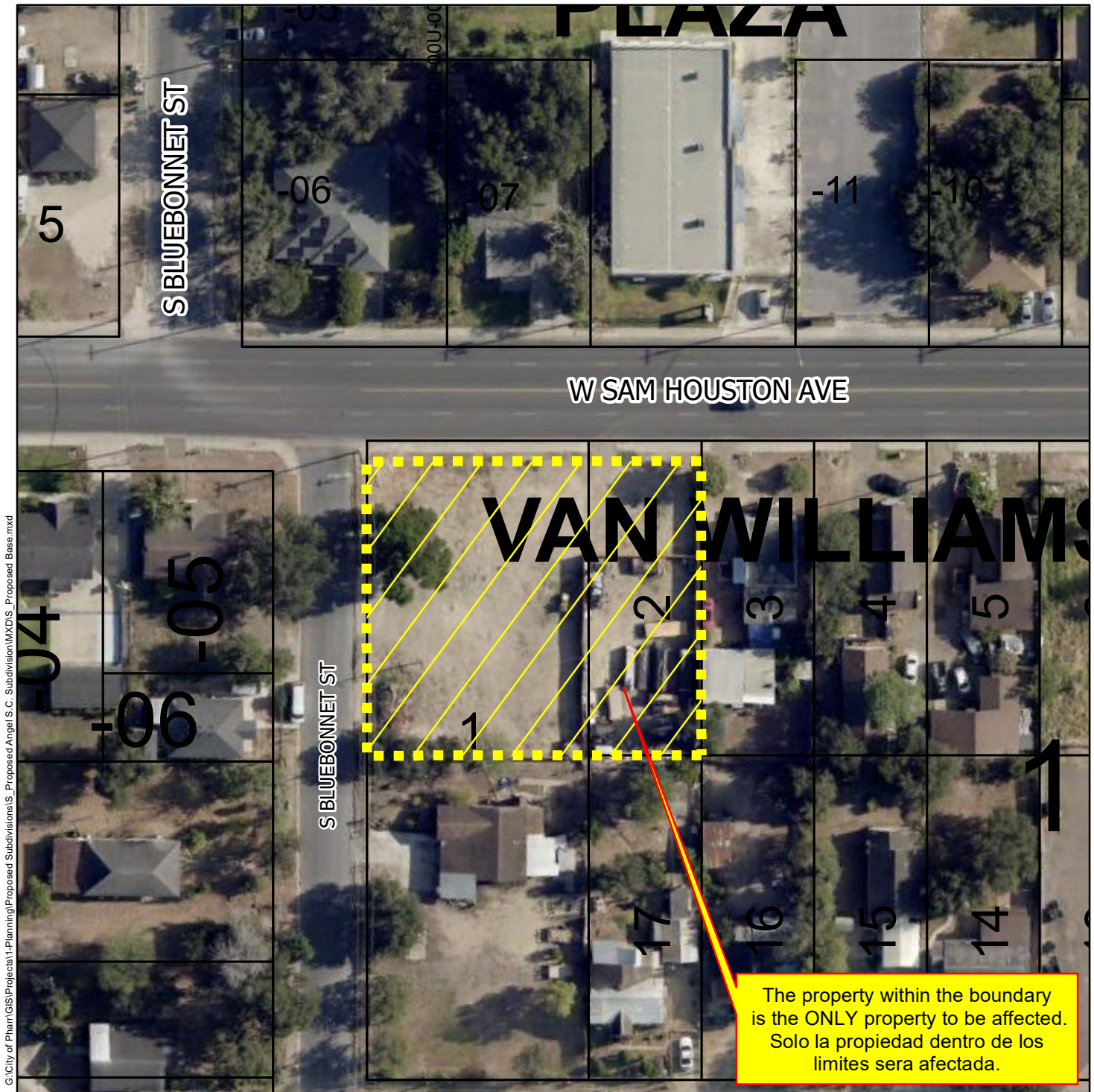


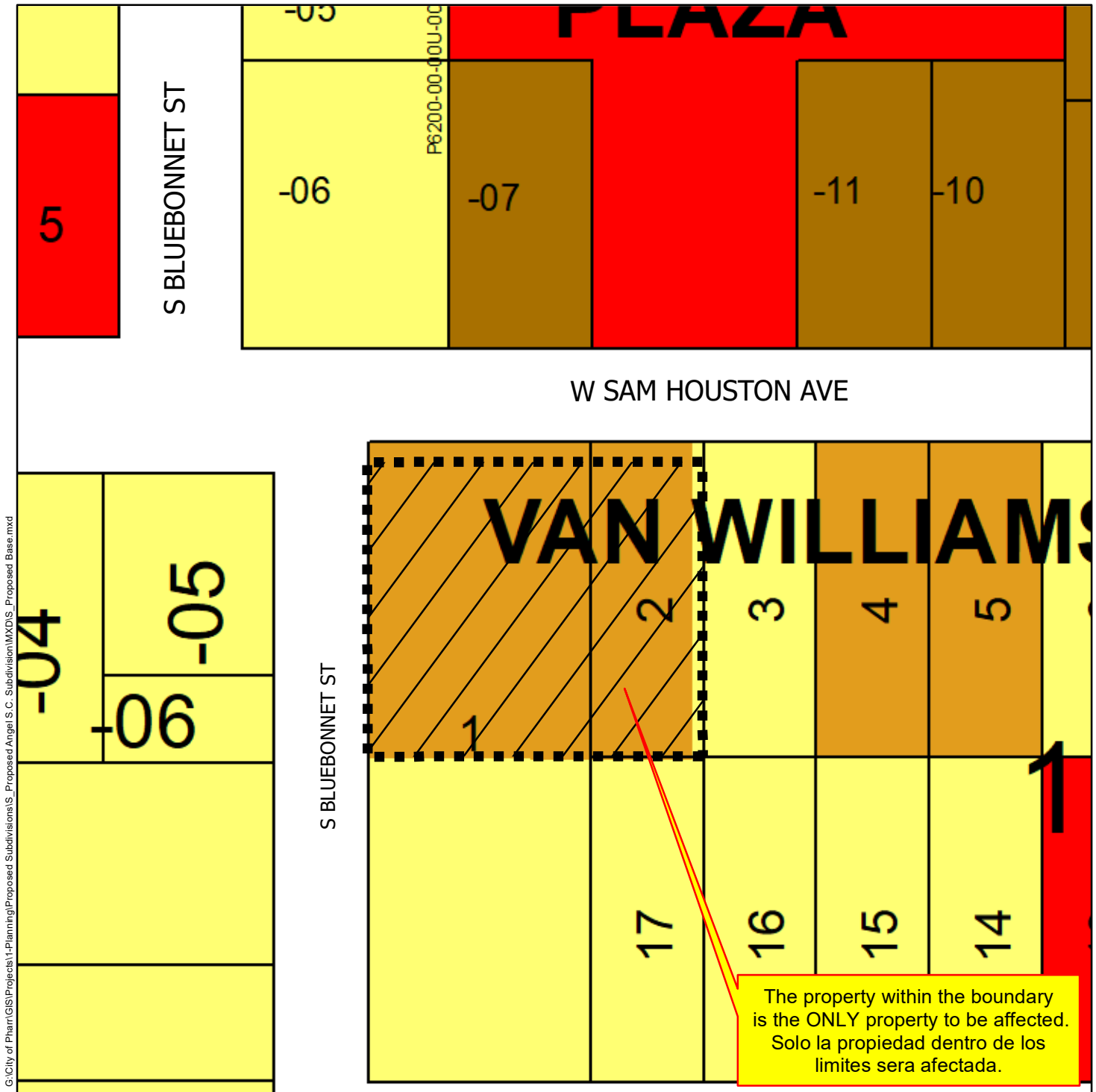
PRELIMINARY - SUBJECT TO REVISION

RAMIRO GUTIERREZ, P.E.
REGISTERED PROFESSIONAL ENGINEER No. 65948
R. GUTIERREZ / ENGINEERING CORP.
130 E. PARK
PHARR, TEXAS 78577

DATE: _____

**SUBDIVISION PLAT
OF
ANGEL S. C. SUBDIVISION**
A 0.54 ACRE TRACT OF LAND,
BEING A PORTION OF
THE NORTH HALF (1/2) OF LOT 1, BLOCK 1
AND A PORTION OF LOT 2, BLOCK 1,
THE VAN WILLIAMS SUBDIVISION,
AN ADDITION TO THE CITY OF PHARR,
HIDALGO COUNTY, TEXAS,
AS PER MAP RECORDED IN
VOLUME 4, PAGE 13, M.R.H.C., TEXAS.





The property within the boundary is the ONLY property to be affected.
 Solo la propiedad dentro de los limites sera afectada.

G:\City of Pharr\GIS\Projects\1-Planning\Proposed Subdivisions\Angel S.C. Subdivision\MXDS_Proposed Base.mxd