

AGENDA
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. May 23, 2022 – 6:00 PM

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

PRESIDING:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes of May 9, 2022.

D. PUBLIC HEARING: *(Ordinance No. O-2019-31). A registered speaker during the public hearing may not exceed 1.5 minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the presiding clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.*

- 1) Melden & Hunt, Inc., representing Adelante Holdings, Ltd., owner, has filed with the Planning and Zoning Commission a request for a Life of the Use Conditional Use Permit to allow a Self-Storage facility in a General Business District (C). The property is legally described as being 2.30-acres, more or less, out of Lot 151, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located at 2605 North Sugar Road.
CUP#220429

E. PLATS:

- 1) Melden & Hunt Inc., representing Jose Alberto Vela, is requesting preliminary plat approval of the proposed T.L.C. Pharr Subdivision. The property is legally described as being a 3.317 acres out of Lots 15 and 17, Pharr Citrus Orchards Co., Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1300 Block of West Sam Houston Ave.
SUB#201238
- 2) CLH Engineering, Inc., representing Gerardo Rocha, is requesting preliminary plat approval of the proposed Platinum Commercial Subdivision. The property is legally described as being a 3.670 acre tract of land out of and forming a part or portion of Lot 244, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 3000 Block of South Cage Boulevard. **SUB#191024**

F. ANNOUNCEMENTS/OTHER BUSINESS:

G. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Commission may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.



Pursuant to Section 551.072, the Commission may convene in a closed, non-public meeting to discuss any matters related to real property and deliberate the purchase, exchange, lease, or value **of real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Commission may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Commission may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Commission may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

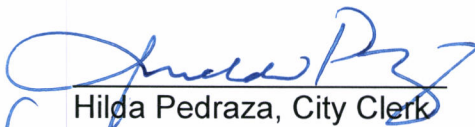
Pursuant to Section 551.087, the Commission may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

H. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

I. ADJOURNMENT:

I, certify that the above notice of public hearing was posted on the bulletin board at City Hall on this the 20th day of May 2022 at 5:00 p.m., and on the City of Pharr web site (www.pharr-tx.gov)



for 
Hilda Pedraza, City Clerk

MINUTES
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. May 9, 2022 - 6:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, May 9, 2022 and following is the record of attendance.

MEMBERS PRESENT: Danny Wylie Charlie Ramirez
Romeo Robles Luis Madrigal

ABSENT: Andy Castro Jonathan Larraga
Rafael Munguia

OTHERS PRESENT: See attached list

STAFF PRESENT: Roland Gomez, Interim Director
Roy Rodriguez, Assistant Director/Building Official
Eddie Martinez, Planner II
Anaisa Licerio, Planner II
Iris Mata, Administrative Assistant

ITEM A. CALL TO ORDER

Chairman, Danny Wylie, called the meeting to order at 6:00 p.m. Roll call established a quorum.

Luis Madrigal moved to **excuse** the absent members. Charlie Ramirez seconded the motion and when put to a vote it carried unanimously.

ITEM B. PUBLIC TESTIMONY

None.

ITEM C. APPROVAL OF MINUTES

1) MINUTES OF APRIL 25, 2022

Chairman, Danny Wylie, introduced the item.

There being no discussion Luis Madrigal moved to approve the minutes of April 25, 2022. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING

- 1) **OMAR RIOS, REPRESENTING VILLA DEL CARMEN, LLC., OWNER, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO RESIDENTIAL MULTI-FAMILY DISTRICT (R-MF). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 9.7-ACRES, MORE OR LESS, OUT OF LOTS 2 AND 3, TRI-CITY ACRES SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED AT 5501 AND 5601 NORTH SUGAR ROAD. COZ#220425**

Anaisa Licerio, Planner II, introduced the item and stated the property is currently zoned Agricultural and or Open Space District (A-O). The subject property and surrounding properties were annexed on March 6, 1984, as Agricultural and or Open Space District (A-O). The properties to the east were rezoned to Single Family Residential District (R-1) on March 20, 2017, and the properties to the west were rezoned to Single Family Residential District (R-1) on September 20, 2020. There have been no other zoning requests within the general vicinity of the subject property since that time. The property is generally designated for single family residential use in the Land Use Plan. She further reported twenty-four (24) letters were mailed out to the surrounding property owners and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice.

Anaisa Licerio, Planner II, further stated staff recommended approval of the request to re-zone from Agricultural and/or Open Space District (A-O) to Residential Multi-Family District (R-MF) as the property meets area requirements, has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements. She continued to state that the application was submitted and accepted April 4, 2022, prior to the multi-family moratorium effective date.

Chairman, Danny Wylie, opened the public hearing and asked if anyone signed up to speak. There being no one in the affected area who signed up, the public hearing was closed. Mr. Wylie opened the items for discussion.

There being no discussion Luis Madrigal moved to approve the request to re-zone from Agricultural and/or Open Space District (A-O) to Residential Multi-Family District (R-MF). Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

- 2) **SAMES, INC., REPRESENTING EFRAIN AGUSTIN AND MARTHA Y. MALDONADO, OWNER, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO RESIDENTIAL MULTI-FAMILY DISTRICT (R-MF). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 20-ACRES, MORE OR LESS, OUT OF LOT 95, KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED WITHIN THE 1000-1200 BLOCK OF EAST MINNESOTA ROAD. COZ#220428**

Anaisa Licerio, Planner II, introduced the item and stated the property and the properties to the north, east, and west were annexed on July 23, 1991, and the south properties on May 15, 1990, as Agricultural and/ or Open Space District (A-O). The properties to the west and a portion of the properties to the north were rezoned to Single Family Residential District (R-1) on April 1, 2005, and July 2, 2018. A portion of the properties to the south was rezoned to General Business District (C) on September 20, 2011. There have been no other rezoning requests within the general vicinity of the subject property since that time. The property is generally designated for single-family residential use in the Land Use Plan. She further reported forty-eight (48) letters were mailed out to the surrounding property owners and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice.

Anaisa Licerio, Planner II, further stated staff recommended approval of the request to re-zone from Agricultural and/or Open Space District (A-O) to Residential Multi-Family District (R-MF) as the property meets area requirements, has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements. She continued to state that the application was submitted and accepted April 6, 2022, prior to the multi-family moratorium effective date.

Chairman, Danny Wylie, opened the public hearing and asked if anyone signed up to speak. There being no one in the affected area who signed up, the public hearing was closed. Mr. Wylie opened the items for discussion.

There being no discussion Luis Madrigal moved to **approve** the request to re-zone from Agricultural and/or Open Space District (A-O) to Residential Multi-Family District (R-MF). Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

- 3) PHARR CENTRAL INDUSTRIAL, LLC., REPRESENTING EXCLUSIVE COVERING, INC., OWNER, HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO HEAVY COMMERCIAL DISTRICT (H-C). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 8.33-ACRES, MORE OR LESS, OUT OF LOT 154, KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED AT 1600 NORTH HIBISCUS STREET. COZ#220324**

Anaisa Licerio, Planner II, stated the item had been withdrawn and no further action needed.

ITEM E. PLAT APPROVAL

- 1) **MELDEN & HUNT INC., REPRESENTING JAIME GALPERN AND SANDRA G. GALPERN, OWNERS, ARE REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED MASTER PLAN GO CARWASH PHARR SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 18.314 ACRES BEING A PART OF PORTION OUT OF LOTS 7 AND 8, BLOCK 12, A.J. MCCOLL SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 7500 BLK. OF SOUTH JACKSON RD. SUB#220102**

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned General Business District (C) and Agricultural and/or Open Space District (A-O). The adjacent zones are General Business District (C) to the north, Single Family Residential District (R-1) to the east, Limited Industrial District (L-I) to the south and City limits to the west. The property is designated for commercial and single family residential use in the Land Use Plan. He added no variances were being requested and staff recommended preliminary plat approval of the proposed Master Plan Go Carwash Pharr Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

Chairman, Danny Wylie, questioned staff about traffic of customers in queuing.

Eddie Martinez, Planner II, stated per the submitted plans, there were three (3) queuing lanes.

There being no further discussion Luis Madrigal moved to **approve** the request for preliminary plat approval of the proposed Master Plan Go Carwash Pharr Subdivision. Romeo Robles seconded the motion and when put to a vote, it carried unanimously.

- 2) **SPOOR ENGINEERING CONSULTANTS, INC., REPRESENTING CRAIG R. FUNKE, OWNER IS REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED CAGE CROSSING SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 5.51 ACRE TRACT OF LAND OUT OF LOT 260, KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 4500 BLOCK OF SOUTH CAGE BLVD. SUB#220101**

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned Heavy Commercial District (H-C). The adjacent zones are General Business District (C) to the north, Agricultural Open space District (A-O) to the east and south and General Business District (C) and Heavy Commercial District (H-C) to the west. The property is designated for commercial and public/semi public use in the Land Use Plan. He added no variances were being requested and staff recommended preliminary plat approval of the proposed Cage Crossing Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

Chairman, Danny Wylie, questioned asked staff for clarification of a logistic business.

Eddie Martinez, Planner II, stated logistic referred to a trucking business.

Chairman, Danny Wylie, stated his concern with traffic flow over the bridge as trailers would be coming out of the property at a slower speed.

Eddie Martinez, Planner II, stated trailers would need to utilize the middle turning lane.

Charlie Ramirez questioned an ordinance regarding trailers on Cage.

Eddie Martinez confirmed an ordinance that prohibited trailers traveling on Cage south of Ridge Road. He stated trailers are permitted on Cage from Ridge Road to Military.

There being no further discussion Luis Madrigal moved to **approve** the request for preliminary plat approval of the proposed Cage Crossing Subdivision. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

- 3) AEC ENGINEER, LLC., REPRESENTING JAIME GALPERN AND WIFE, SANDRA G. GALPERN, OWNERS, ARE REQUESTING FINAL PLAT APPROVAL OF THE PROPOSED MCDONALD'S 42-3146 PHARR SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 1.798 ACRE TRACT OF LAND MORE OR LESS OUT OF LOT 8, BLOCK 12, A.J. MCCOLL SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 7500 BLOCK OF SOUTH JACKSON RD. SUB#210410**

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned General Business District (C). The adjacent zones are General Business District (C) to the north, Agricultural and/or Open Space District (A-O) and General Business District (C) to the east and south and City limits to the west. The property is designated for commercial and single family residential use in the Land Use Plan. He added no variances were being requested and staff recommended final plat approval of the proposed McDonald's 42-3146 Pharr Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Luis Madrigal moved to **approve** the request for final plat approval of the proposed McDonald's 42-3146 Pharr Subdivision. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM H. ANNOUNCEMENTS/OTHER BUSINESS:

None.

ITEM I. ADJOURNMENT

There being no further business Romeo Robles moved to **adjourn**. Charlie Ramirez second the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 6:18 p.m.

Chairman, Danny Wylie

ATTEST:

Andy Castro, Secretary

APPROVED:_____



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.1.

DATE SUBMITTED: May 18, 2022

MEETING DATE: May 23, 2022

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: Melden & Hunt, Inc., representing Adelante Holdings, Ltd., owner, has filed with the Planning and Zoning Commission a request for a Life of the Use Conditional Use Permit to allow a Self-Storage facility in a General Business District (C). The property is legally described as being 2.30-acres, more or less, out of Lot 151, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located at 2605 North Sugar Road. **CUP#220429**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Melden & Hunt, Inc., representing Adelante Holdings, Ltd., owner, has filed with the Planning and Zoning Commission a request for a Life of the Use Conditional Use Permit to allow a Self-Storage facility in a General Business District (C).

Fiscal Consideration:

Staff Recommendation: Development Services recommends

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Iris Mata
Patricia Rigney
Roland Gomez

Created/Initiated - 5/18/2022
Approved - 5/19/2022
Final Approval - 5/20/2022



MEMORANDUM

DATE: MONDAY, MAY 23, 2022

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: LIFE OF THE USE CONDITIONAL USE PERMIT FILE NO. CUP#220429 (SELF STORAGE)

GENERAL INFORMATION:

APPLICANT: Melden & Hunt, Inc., representing Adelante Holdings, Ltd., owner, has filed with the Planning and Zoning Commission a request for a Life of the Use Conditional Use Permit to allow a Self-Storage facility in a General Business District (C).

LEGAL DESCRIPTION: The property is legally described as being 2.30 acres, more or less, out of Lot 151, Kelly Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is physically located at 2605 North Sugar Road.

ZONING: The property is currently zoned General Business District (C). The surrounding area is zoned Residential Mobile Home District (R-MH) to the north, Agricultural and or Open Space District (A-O) to the east, Residential Multi-Family High Density (R-MFHD) to the south, and Residential Single Family District (R-1) to the west. This area is generally designated for Industrial use in the Land Use Plan.

COMMENTS:	POLICE CHIEF:	Pending inspection of the Conditional Use Permit.
	FIRE DEPARTMENT:	Pending inspection of the Conditional Use Permit
	CODE COMPLIANCE DIVISION:	Pending inspection of the Conditional Use Permit.

PLANNING DIVISION:

Recommends denial of
the Conditional Use Permit.

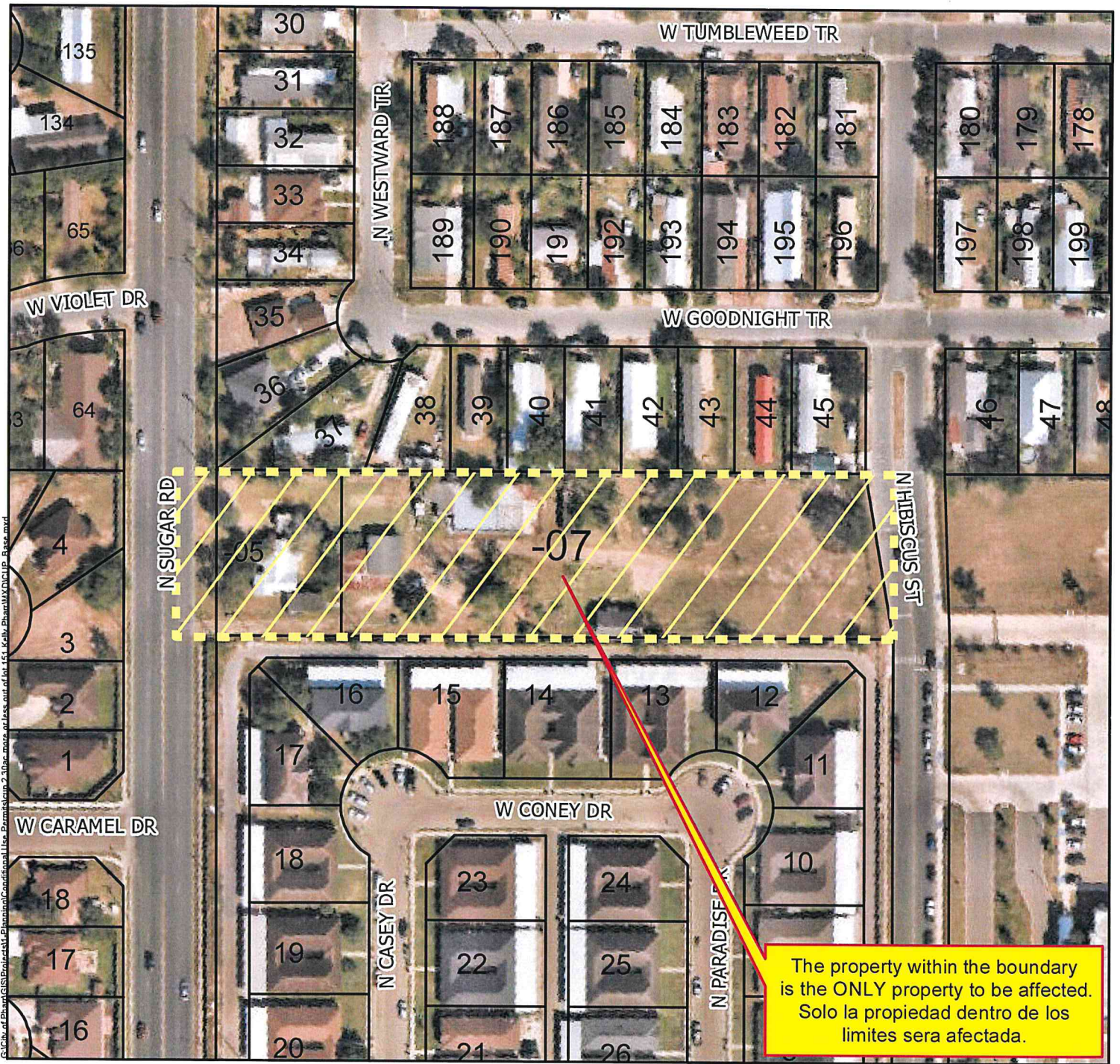
**NOTIFICATION
OF PUBLIC:**

Eighty-one (81) surrounding property owners were notified of the request by letter and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice.

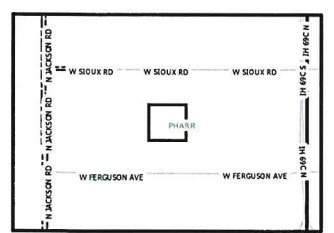
**DEVELOPMENT
SERVICES
RECOMMENDATIONS:**

Development Services is recommending denial of the Life of the Use Conditional Use Permit to allow a Self-Storage facility in a General Business District (C) subject to applicant and site not being in compliance with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of **June 6, 2022 at 4:00 p.m.**

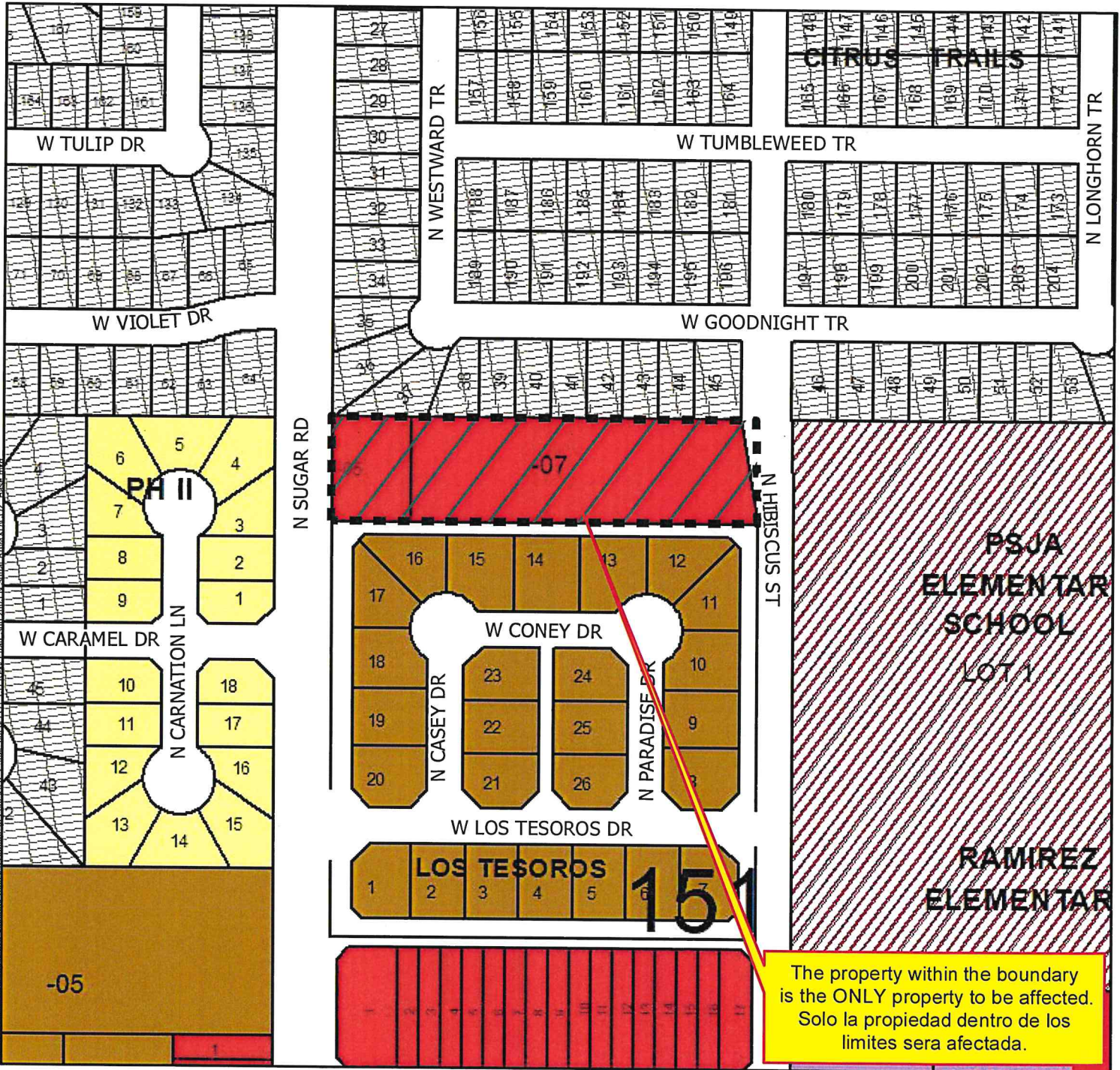


- | | | |
|---------------------------------------|--------------------|--------------------------|
| Agricultural Open Space | Rail Road R.O.W | Neighborhood Commercial |
| Single Family | Government Owned | Office Professional |
| Single Family Small Lot | General Business | PSJA ISD |
| Residential Multi-Family | Business District | Hidalgo ISD |
| Residential Multi-Family High Density | Drainage Easement | Valley View ISD |
| Mobile Home | Heavy Commercial | Planned Unit Development |
| Townhouse | Heavy Industrial | |
| HUD Code | Limited Industrial | |



Change of Zone

2.30ac out of Lot 151 Kelly Pharr Subdivision, 2605 N Sugar Rd
Melden & Hunt, Inc./ Adelante Holdings, LTD



The property within the boundary is the ONLY property to be affected.
Solo la propiedad dentro de los limites sera afectada.

Zoning

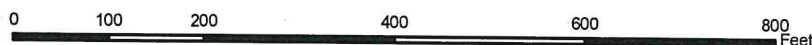
ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

City of Pharr, Texas
Engineering Department
956.402.4242

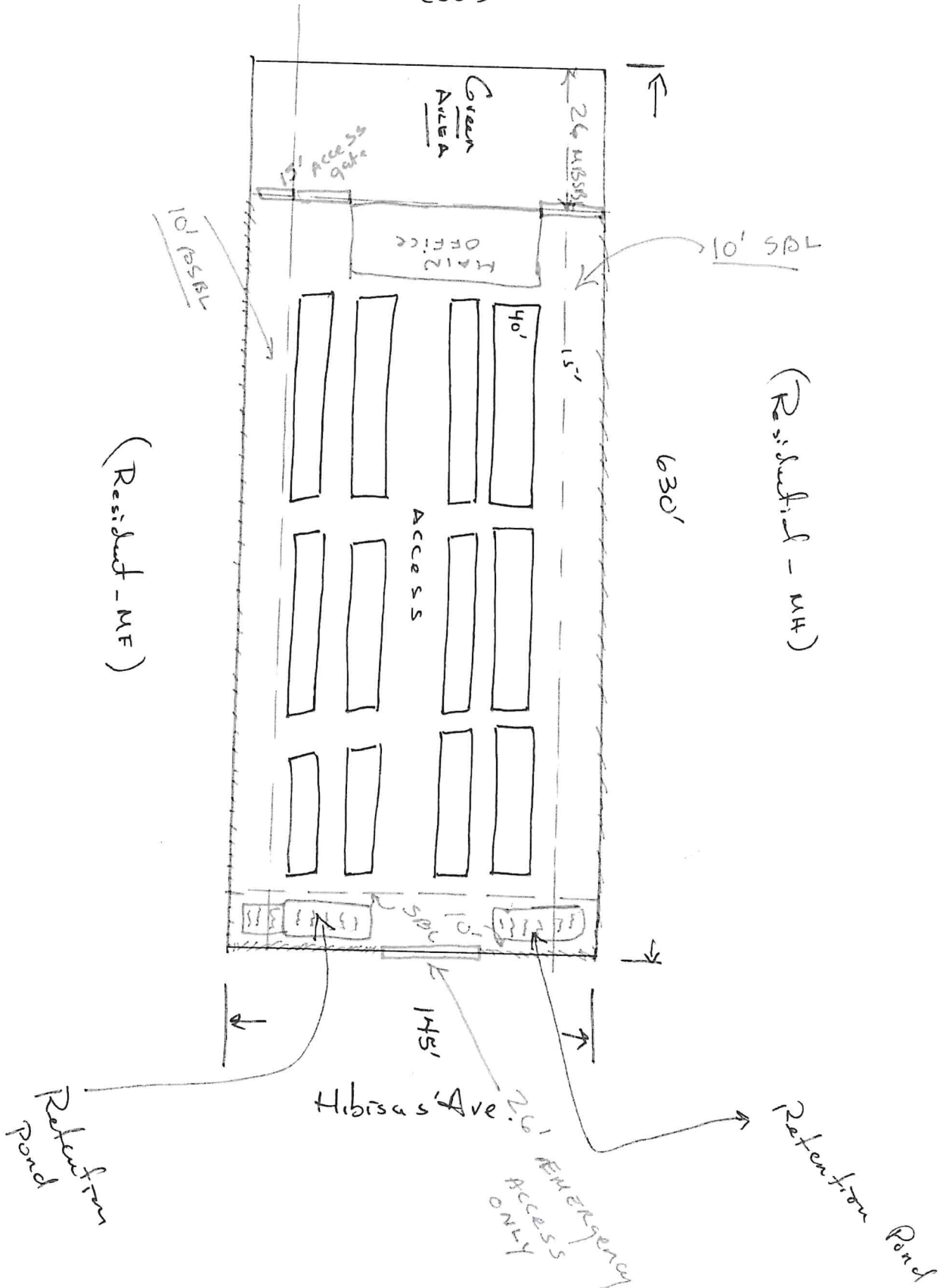
Scale: 1 inch = 200 feet



All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



Sugar Rd.
(60')





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.1.

DATE SUBMITTED: May 18, 2022

MEETING DATE: May 23, 2022

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: Melden & Hunt Inc., representing Jose Alberto Vela, is requesting preliminary plat approval of the proposed T.L.C. Pharr Subdivision. The property is legally described as being a 3.317 acres out of Lots 15 and 17, Pharr Citrus Orchards Co., Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1300 Block of West Sam Houston Ave. **SUB#201238**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Melden & Hunt Inc., representing, Jose Alberto Vela, is requesting preliminary plat approval of the proposed T.L.C. Pharr Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed T.L.C. Pharr Subdivision subject to the listed conditions.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Iris Mata
Patricia Rigney
Roland Gomez

Created/Initiated - 5/18/2022
Approved - 5/19/2022
Final Approval - 5/20/2022



MEMORANDUM

DATE: MONDAY, MAY 23, 2022

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: T.L.C. PHARR SUBDIVISION
FILE NO. **SUB#201238**

GENERAL INFORMATION:

APPLICANT: Melden & Hunt Inc., representing, Jose Alberto Vela, is requesting preliminary plat approval of the proposed T.L.C. Pharr Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 3.317 acres out of Lots 15 and 17, Pharr Citrus Orchards Co., Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 1300 Block of West Sam Houston Ave.

ZONING: The property is currently zoned General Business District (C). The adjacent zones General Business District (C) to the north, east and west and Residential Townhouse District (R-TH) to the south. The property is designated for commercial use in the Land Use Plan.

PROPERTY PROPOSED USE: Retail space.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed T.L.C. Pharr Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Verify R.O.W., on W. Sam Houston Blvd.
2. Provide street light layout.
3. Add "W" for W. Sam Houston Blvd.

EASEMENTS:

1. On easements to be dedicated, remove the word proposed.
2. Public water or sewer lines dedicated to City of Pharr easements shall read "15 ft. Exclusive easement to City of Pharr" if any and "Dedicated by plat".
3. Show all existing easements adjacent to property.
4. Identify company or type of easements that are released and provide documents.
5. Verify with gas company if, proposed 40' common access and utility easement may overlap.

**SIDEWALK:
ADA:**

1. Plat note, revise note to say: 5 ft. sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of subdivision construction phase.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Follow detention directive.

OTHER:

1. Need to provide engineer and surveyor signature.
2. Irrigation line will it be left on same location or removed.
3. Remove the proposed setbacks, they do not comply, leave As per City of Pharr setback Ordinance.
4. See staff comments attached.

PLAT REVIEW MEETING FOR: *T.L.C. PHARR SUBDIVISION*

COMMENTS:

Initials: J.R. / R. B.

MAY 12, 2022

WATER:

- Easement will need to be 15' exclusive to the City of Pharr
- In lot #1, will need to extend 15' exclusive to the City of Pharr easement to align with lot #2
- Will need to show water valves
- Will need casing for gas crossing and or any entrances
- Will need to show all water crossings details
- Will need to install a 12" tapping tee on W. Sam Houston
- Follow City of Pharr Construction Standards Manual

SEWER:

- Will need to correct directional flow on the sewer main line to run north
- Will need to verify correct location of the all-sewer utilities in the area
- Will need to show all sewer crossing details
- Manhole rim and lid will need to be composite base with City of Pharr logo
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



Pharr

Fire Department



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: **T.L.C. PHARR SUBDIVISION**

Reviewed by: Manuel Renta/ Dago Soto

May 17, 2022

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **FACTORY YELLOW** from the manufacture with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2018. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. **FIRE HYDRANT COLOR MUST BE FACTORY YELLOW FROM MANUFACTURE PRIOR TO INSTALLATION.**
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (**FIRE LANE – TOW AWAY ZONE**).
11. Any new subdivision with **GATED COMMUNITY SECURITY SYSTEMS** must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2012; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2012; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

1. **Site plan would be required to best determine the adequate placement of fire hydrants to best serve the fire safety needs for subdivision.**
2. **Label all existing fire hydrants within 300' of subdivision boundary.**



Pharr Public Work



SUBDIVISION: Staff Review Meeting
T.L.C. Pharr Subdivision
W. Sam Houston
Pharr Tx, 78577

DATE: 05/10/2022
3.317 Acres

Plat Notes:

- No Comments

General Notes:

- Show Utility & Gas Profile Line Crossings, Elevation and Separation Details
- 8" bleeder is required for outfall from detention pond of property.
- Street open cut / Bore Permit is required from Public Works.
- Call Out Existing Inlets and show Protection details (Must Be Legible)
- Show and Attach Erosion & Sediment Control Plan Layout to S.W.P.P.P.
- Erosion & Sediment Plan Layout Must Be In Place Prior to Any Earth Disturbance
- Erosion & Sediment Control during construction shall be in accordance with the current Texas Pollution Discharge Elimination System (T.P.D.E.S.), Texas Commission of Environmental Quality (T.C.E.Q.), and City of Pharr B.M.P. requirements
- Show and Attach an Approved (by City Engineering Department) Drainage Plan Layout with Details, to S.W.P.P.P. (Must Be Legible)
- Must submit (1) digital copy in (USB) to review and must be approved prior to any earthwork disturbance or Notice to Proceed (N.T.P.) is issued. Must submit (3) three hard copies of the Finalized Stormwater Pollution Prevention Plan (S.W.P.P.P.) at Pre-Construction Stage.

SUBDIVISION: T.L.C. Pharr Subdivision**DATE:** May 12, 2022**REVIEW:** Preliminary (comments plans dated 4-29-2022)**PLAT**

1. Signature from P.E.
2. Signature from R.P.L.S.
3. Note No. 5---Use correct City of Pharr Drainage directive... *"Storm Water detention is required for this property. The engineer of record for this subdivision plat has estimated that an area of approximately _____ acres and a volume of approximately _____ acre feet will be required for this use. This is an estimate only and detailed analysis may reveal different requirements. No Building permit shall be issued for this platted property until a storm water detention system design has been approved by the City of Pharr for this commercial development."*
4. Note No. 6--- Revie note to say... "5.0'ft sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of subdivision construction.
5. Add Note---" All entrances that cross over waterlines shall require casing at time of building permit phase. The length of the casing shall be the width of the drive plus 10'-ft. Steel casing will be required for all commercial and industrial drives."
6. Add Note---"All subdivision waterlines shall be looped as per City standards."
7. Refer to major thoroughfare as **W. Sam Houston Ave.**, and verify ROW width.

SITE PLAN

1. Include all profile details of all utility crossings.
2. Provide all pertinent City of Pharr details. (Waterline bedding, gate valves, fire hydrants, services, sanitary sewer bedding, fiberglass manhole with composite manhole lids with updated logo, 6"-in sanitary sewer services, storm sewer manhole, storm inlet tie-in, storm line bedding, curb and gutter with 3 #3 continuous rebar on City ROW, and utility crossings, site plan).
3. Provide trench safety plan for excavations over 5'-ft in depth.

4. Inlet tie-in requires discharge permit from Public Works. Bleeder line shall not exceed diameter of 8"-in.
5. Future development may require casing on waterline and curb cut permit from Public Works.
6. Provide comments from gas company and notify them of construction activity.

DRAINAGE

1. Drainage report to be reviewed and approved by HCDD No. 1.
2. Drainage plan to be reviewed and approved at building permit phase.

CLOSEOUT DOCUMENTS

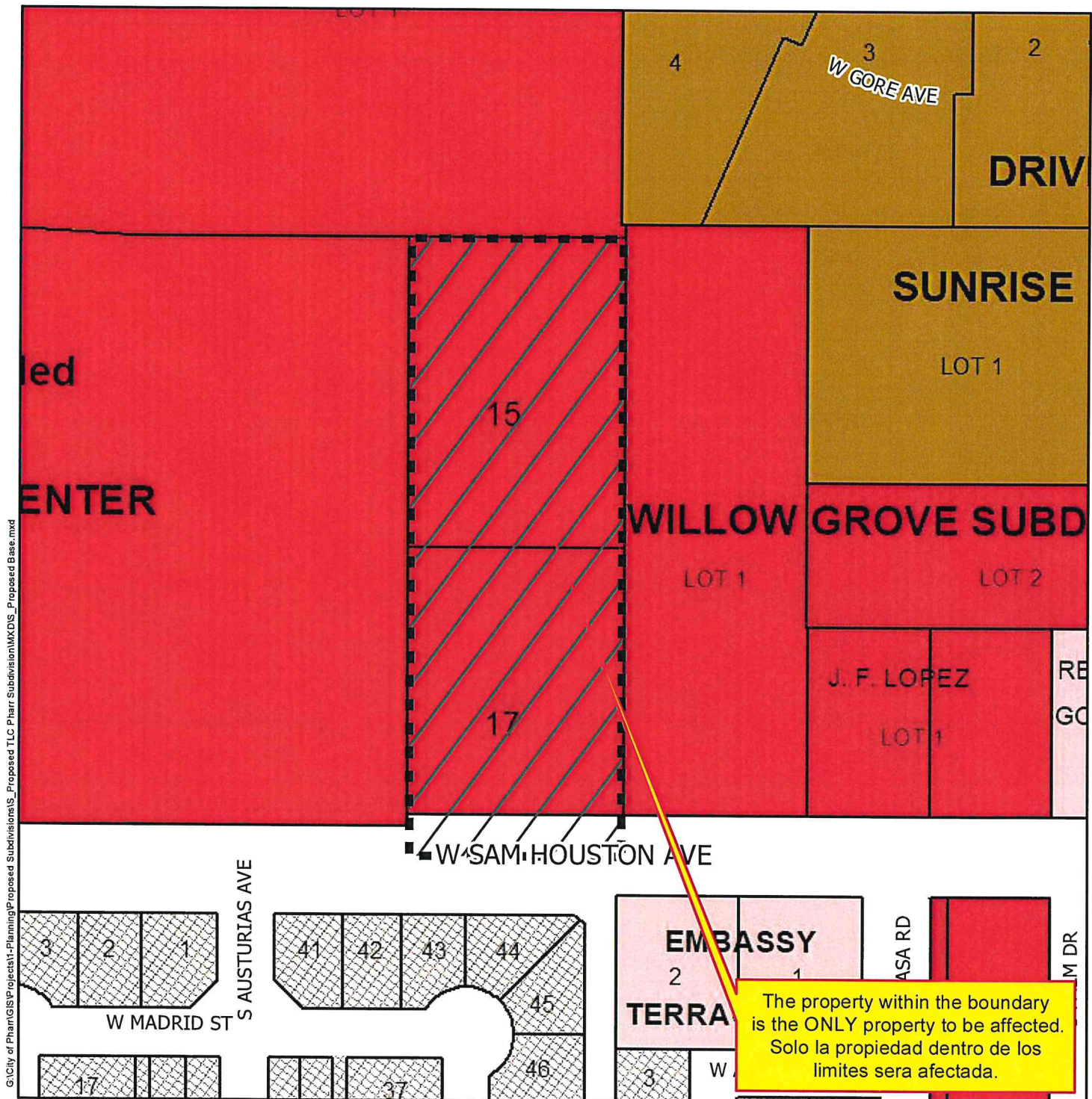
- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

ADDITIONAL COMMENTS

- Lab shall be required to test the following:
 - Backfill material
 - Paving items
 - Concrete items
- Waterline testing requires:
 - Bacteriological test
 - Hydrostatic test
- Sanitary sewer testing
 - Mandrel test 30 days after installation
 - Low air pressure test



- | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | |
| Mobile Home | Business District | Office Professional | |





- | | | | |
|--|---|---|--|
|  Agricultural Open Space |  Townhouse |  Drainage Easement |  PSJA ISD |
|  Single Family |  HUD Code |  Heavy Commercial |  Hidalgo ISD |
|  Single Family Small Lot |  Rail Road R.O.W |  Heavy Industrial |  Valley View ISD |
|  Residential Multi-Family |  Government Owned |  Limited Industrial |  Planned Unit Development |
|  Residential Multi-Family High Density |  General Business |  Neighborhood Commercial | |
|  Mobile Home |  Business District |  Office Professional | |



Date: 5/4/2022

Eddie Martinez

From: John Salinas <jbs_hcid2@att.net>
Sent: Wednesday, May 11, 2022 4:46 PM
To: Eddie Martinez
Cc: Javier Lopez
Subject: Proposed T.L.C. Pharr Subdivision & Platinum Commercial Subdivision

***** This is an email from an EXTERNAL source. DO NOT click links or open attachments without positive sender verification of purpose. Never enter USERNAME, PASSWORD or sensitive information on linked pages from this email. *****

Hello Eddie,

A few comments on the proposals:

1. T.L.C. PHARR SUBDIVISION – The only claim the District has is the general blanket row V 19 P 297 covering all the lot. We need a tie down with the Lot/Block/Subdivision(7/7 A.J. McColl) out of HCID2 map with coordinates and bearings leading to the P.O.B. In the signature block area, remove the # symbol and spell out as No.
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Thank you.

John Salinas
Hidalgo County Irrigation District No. Two
P.O. Box 6
San Juan, TX 78589
Phone: 956-787-1422
Email: jbs_hcid2@att.net



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.2.

DATE SUBMITTED: May 18, 2022

MEETING DATE: May 23, 2022

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: CLH Engineering, Inc., representing Gerardo Rocha, is requesting preliminary plat approval of the proposed Platinum Commercial Subdivision. The property is legally described as being a 3.670 acre tract of land out of and forming a part or portion of Lot 244, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 3000 Block of South Cage Boulevard. **SUB#191024**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: CLH Engineering, Inc., representing Gerardo Rocha, is requesting preliminary plat approval of the proposed Platinum Commercial Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Platinum Commercial Subdivision subject to the listed conditions.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Iris Mata
Patricia Rigney
Roland Gomez

Created/Initiated - 5/18/2022
Approved - 5/19/2022
Final Approval - 5/20/2022



MEMORANDUM

DATE: MONDAY, MAY 23, 2022
TO: PLANNING AND ZONING COMMISSION
FROM: DEVELOPMENT SERVICES

SUBJECT: PLATINUM COMMERCIAL SUBDIVISION FILE NO. SUB#191024

GENERAL INFORMATION:

APPLICANT: CLH Engineering, Inc., representing Gerardo Rocha, is requesting preliminary plat approval of the proposed Platinum Commercial Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 3.670 acre tract of land out of and forming a part or portion of Lot 244, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 3000 Block of South Cage Boulevard.

ZONING: The property is currently zoned Planned Unit Development District (PUD). The adjacent zones are Planned Unit Development District (PUD) to the north, east and south, Agricultural Open Space District (A-O) and General Business District (C) to the west. The property is designated for commercial use in the Land Use Plan.

PROPERTY PROPOSED USE: Retail and apartments.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Platinum Commercial Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Lot 3, need to show property lines from new R.O.W.
2. Show street lighting layout along S. Cage Blvd., 250' max. spacing.

EASEMENTS:

1. Need to clear easements or move for better reading.
2. On corner clip the easement shall follow the corner clip.
3. Show existing gas line easements on plat layout, front of property.

**SIDEWALK:
ADA:**

1. Follow City of Pharr Construction Standards Manual.

FIRE PROTECTION:

1. See attach comments.

WATER:

1. See attach comments.
2. Follow City of Pharr Construction Standards Manual.

SEWER:

1. See attach comments.
2. Follow City of Pharr Construction Standards Manual.

DRAINAGE:

1. Drainage plan to be reviewed and approved at building permit stage.
2. Drainage report to be reviewed and approved by H.C.D.D. 1.

OTHER:

1. Provide recorded subdivisions on location map.
2. Need to reference nearest B.M. to site and show Northing & Easting.
3. Show true north on plat layout.
4. Verify the call out on metes & bounds "P.O.B." and label correctly on plat layout.
5. Plat note # 11, need to provide numbers for drainage.
6. Verify if the Plantation monument is within property show location on utility map, if inside will need to be relocated outside the easements.
7. Need engineer and surveyor signature on plat.
8. See staff comments attached.

PLAT REVIEW MEETING FOR: PLATINUM COMMERCIAL SUBDIVISION

COMMENTS: **Initials:** J.R. / R. B. **MAY 10, 2022**

WATER:

- Easement will need to be 15' exclusive to the City of Pharr
- Will need to show water valves
- Will need to upgrade 6" water line to 8" PVC on the southside of property
- Water line will need to be loop on the northeast side of the property
- Will need to leave proposed water line for future connection on the northeast corner of property
- Will need to show all water crossing details
- Follow City of Pharr Construction Standards Manual

SEWER:

- Easement will need to be 15' exclusive to the City of Pharr
- Ok, as proposed
- All manhole rim and lid will need to be composite base with City of Pharr logo
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



Pharr

Fire Department



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577
Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision:

Reviewed by: Manuel Renta / Dago Soto

May 18, 2022

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9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
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14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

1. PLAT NOTE: Additional fire protection may be required during the ***BUILDING*** plan review phase in order to provide any additional fire protection requirements.
2. Call out existing hydrants within 300' of subdivision boundary
3. Upgrade 6" existing waterline to 8" on South boundary line alongside Plantation Drive.

DRAINAGE

1. Drainage report to be reviewed and approved by H.C.D.D. No. 1
2. Drainage plan to be reviewed and approved at building permit stage.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

CONSTRUCTION SCHEDULE

- The contractor shall provide a construction schedule for the above-mentioned subdivision.

ADDITIONAL COMMENTS

- Lab shall be required to test the following:
 - Backfill material
 - Paving items
 - Concrete items
- Waterline testing requires:
 - Bacteriological test
 - Hydrostatic test
- Sanitary sewer testing
 - Mandrel test 30 days after installation
 - Low air pressure test



Pharr Public Work



SUBDIVISION: Staff Review Meeting
Platinum Commercial Subdivision
S. Cage Blvd
Pharr Tx, 78577

DATE: 05/10/2022
3.670 Acres

Plat Notes:

- No Comments

General Notes:

- Show Utility & Gas Profile Line Crossings, Elevation and Separation Details
- Utility Installation Request (U.I.R.) from TxDot is required
- Street open cut / Bore Permit is required from Public Works if need be.
- Call Out Existing Inlets and show Protection details (Must Be Legible)
- Show and Attach Erosion & Sediment Control Plan Layout to S.W.P.P.P.
- Erosion & Sediment Plan Layout Must Be In Place Prior to Any Earth Disturbance
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SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Platinum Commercial
Subdivision

DATE: May 12, 2022

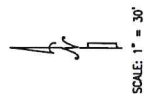
REVIEW: Preliminary (revised comments plans dated April 29, 2022)

PLAT

1. Note No. 1---Please verify community panel number and map revised date as they don't match with what is on drainage report.
2. Note No. 4---Please include City of Pharr benchmark northing, and easting.
3. Note No. 11---Please include approximate area and approximate volume.
4. Note No. 14---Revise note to say... "5'-ft sidewalk with ADA compliant ramps and landing will be required to be constructed along all streets at time of building permit phase.
5. R.P.L.S. signature required.
6. Show all existing subdivisions on location map.

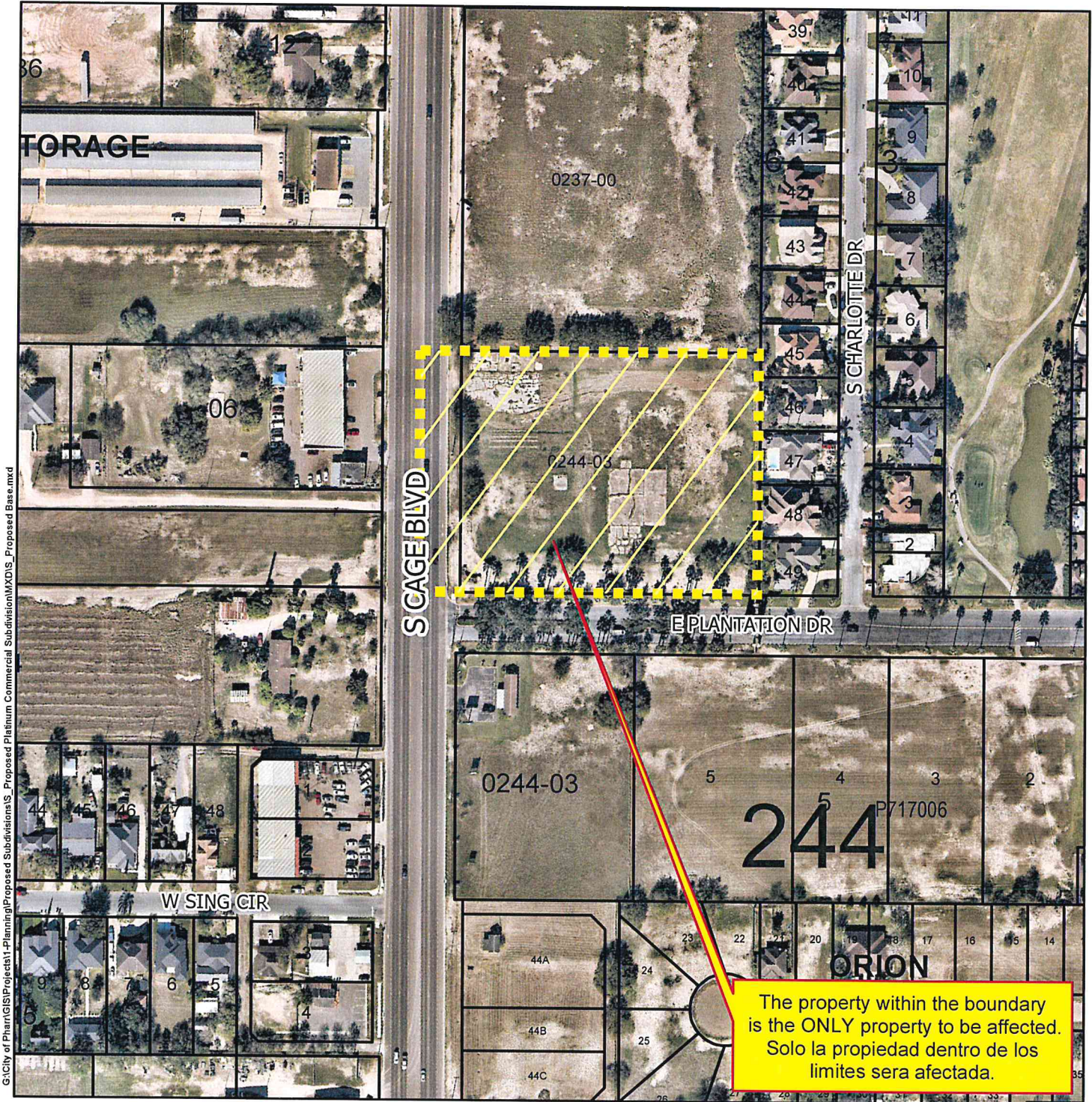
SITE PLAN

1. Please provide both TOP and FL for all proposed sanitary sewer manholes.
2. Permit from TX-Dot shall be required for sidewalk along S. Cage Blvd.
3. Sanitary sewer manhole lid detail requires correct City of Pharr logo and must be made of composite material.
4. Use City of Pharr fire hydrant detail. (Note: connection from hydrant to valve box is mechanical joint to mechanical joint and from valve box to watermain is flange to flange. Hydrant must be 6'-ft from back of curb.
5. Revise general note no. 6 to say City of Pharr.
6. Verify monument sign location for Plantation subdivision and show as an existing structure on site plan.



PRELIMINARY
SUBDIVISION PLAT OF
PLATINUM COMMERCIAL SUBDIVISION
BEING A 3.670 ACRES TRACT OF LAND OUT OF AND FORMING A PART OR
PORTION OF LOT 244, KELLY-PHARR SUBDIVISION, RECORDED IN VOLUME
3, PAGES 133-134, MAP RECORDS OF HIDALGO COUNTY, TEXAS





- | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|
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| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
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Sent: Wednesday, May 11, 2022 4:46 PM
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P.O. Box 6
San Juan, TX 78589
Phone: 956-787-1422
Email: jbs_hcid2@att.net