



**TAKE NOTICE THAT A REGULAR MEETING
OF THE BOARD OF COMMISSIONERS
OF THE CITY OF PHARR, TEXAS
WILL BE HELD AT CITY HALL, COMMISSIONERS' ROOM,
118 S. CAGE BLVD., 2ND FLOOR, PHARR, TEXAS
COMMENCING AT 4:00 PM ON
MONDAY, MARCH 7, 2022**

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law. All persons desiring to address the governing body must register with the presiding city clerk prior to the scheduled meeting.

1. CALL TO ORDER:

A) Roll call and possible action on the excusing of any absent member of the governing board.

B) Pledge of Allegiance/Invocation

2. PROCLAMATIONS:

A) Proclamation proclaiming March 2022 as Women's History Month.
(EMERGENCY MEDICAL SERVICES)

3. PUBLIC TESTIMONY: (Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.

4. PUBLIC HEARINGS: (Ordinance No. O-2019-31). A registered speaker during the public hearing may not exceed 1.5 minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the presiding clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.

A) Public hearing on Development Services Cases.

5. CITY MANAGER'S REPORTS: *(City Manager's Administrative Reports and discussion, if any, with governing body. The City Manager may also assign a designated spokesperson for any particular listed topic)*

A) City Engineer's Report.

6. CONSENT AGENDA: *(All items listed under consent Agenda are considered to be routine and non-controversial by the Governing Body and will be enacted by one motion. Any Commissioner may remove items from the consent agenda by making such request prior to a motion and vote on the Consent Agenda)*

A) Approval of Minutes for February 21, 2022 Regular Called Meeting. (ADMINISTRATION)

B) Consideration and action, if any, authorizing City Manager to advertise for Request for Proposals (RFPs) for Construction Manager at Risk (CMAR) for the EMS and Fire Department Headquarters. (ENGINEERING)

C) Consideration and action, if any, on Development Services Cases:

1. Spoor Engineering Consultants, representing Craig R. Funke, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C). The property is legally described as being 5.49-acres, more or less, out of Lot 260, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located within the 4500 Block of South Cage Boulevard. **COZ#220104** (DEVELOPMENT SERVICES)

2. Red Tape II, Inc., d/b/a Stilettos Gentlemen's Club is requesting renewal of the Sexually Oriented Business License in a General Business District (C). The property is legally described as all of Lot 2, Albrad Subdivision Unit #3, Pharr, Hidalgo County, Texas. The property's physical address is 1050 North Sugar Road. **SOB#001254** (DEVELOPMENT SERVICES)

D) PLATS:

1. M2 Engineering, PLLC., representing Irene Uribe Manrique, President of Star Trail Holdings, LLC, is requesting final plat approval of the proposed Star Trail Subdivision. The property is legally described as being a 3.879 acre tract of land comprising of all Lot 1, Fernandez Subdivision and a 2.00 acre tract out of Lot 113, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1100 Block of East Eldora Road. **SUB#190304** (DEVELOPMENT SERVICES)

REGULAR AGENDA - OPEN SESSION:

7. ADMINISTRATIVE:

A) Consideration and action, if any, on Pharr Municipal Court Amnesty Program beginning March 15, 2022 through April 30, 2022. (MUNICIPAL COURT)

8. CONTRACTS/AGREEMENTS:

A) Consideration and action, if any, on service agreement with Battalion 3 Technologies for a subscription to a web-based fire rostering system for use by the Fire Department at a cost of approximately \$4,500 annually. (FIRE)

9. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Pharr Board of Commissioners hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda in accordance with the following below:*

Pursuant to Section 551.071, the Board may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Board may convene in a closed, non-public meeting to discuss any matters related to **real property and deliberate the purchase, exchange, lease, or value of real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Board may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Board may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Board may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.087, the Board may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

10. RECONVENE: *into Regular Session and consider action, if necessary, on any items(s) discussed in closed session.*

11. ADJOURNMENT:

NOTICE OF ASSISTANCE AT THE PUBLIC MEETING

City Hall is wheelchair accessible and accessible parking spaces are available. Requests for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Clerk's Office at 956-402-4100 Ext. 1007 or FAX 956-702-5313 or E-mail hilda.pedraza@pharr-tx.gov or imelda.barrera@pharr-tx.gov for further information. Braille is not available.

I, the undersigned authority, do hereby certify that the above notice of said Regular Meeting of the City Commission of the City of Pharr was posted on the bulletin board at City Hall and on the City's web page at www.pharr-tx.gov. This Notice was posted on the 4th day of March 2022 at 3:30 p.m. and will remain posted continuously for at least 72 hours preceding the scheduled time of said Meeting, in compliance with Chapter 551 of the Government Code, Vernon's Texas Codes, Annotated (Open Meetings Act).



WITNESS MY HAND AND SEAL, this 4th day of March 2022.

Hilda Pedraza

HILDA PEDRAZA, TRMC|CMC
CITY CLERK

I certify that the attached notice and agenda of items to be considered by the City Commission was removed from the bulletin board of City Hall on the ____ day of _____, 20__ by,

Title: _____

Proclamation



WHEREAS, every March, Women's History Month provides an opportunity to honor the generations of trailblazing women and girls who have built our Nation, shaped our progress, and strengthened our character as a people; and

WHEREAS, throughout our history, despite hardship, exclusion, and discrimination, women have strived and sacrificed for equity and equality in communities across the country; and

WHEREAS, generations of Native American women were stewards of the land and continue to lead the fight for climate justice; and

WHEREAS, black women fought to end slavery, advocate for civil rights, and pass the Voting Rights Act; and

WHEREAS, standing on the shoulders of the heroines who came before them, today's women and girls continue to lead groundbreaking civil rights movements for social justice and freedom, so that everyone can realize the full promise of America; and

WHEREAS, This Women's History Month, as we reflect on the achievements of women and girls across the centuries and pay tribute to the pioneers who paved the way, let us recommit to the fight and help realize the deeply American vision of a more equal society where every person has a shot at pursuing the American dream. In doing so, we will advance economic growth, our health and safety, and the security of our Nation and the world.

NOW THEREFORE, I, Ambrosio Hernandez, Mayor of the City of Pharr, Texas by virtue of the authority vested in me and on behalf of the Mayor and the City Commission, do hereby proclaim the month of March 2022 as:

“Women’s History Month”

IN WITNESS WHEREOF, I have hereunto set my hand and caused the seal of the City of Pharr to be affixed on this 7th day of March 2022.

CITY OF PHARR

Ambrosio Hernandez, Mayor

ATTEST:

Hilda Pedraza, City Clerk



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 4.A.

DATE SUBMITTED:

MEETING DATE: March 7, 2022

FROM: Hilda Pedraza, City Clerk

DEPARTMENT: Administration

DIRECTOR: Roland Gomez

Agenda Item: Public hearing on Development Services Cases.

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: N/A

Fiscal Consideration: N/A

Staff Recommendation: N/A

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Hilda Pedraza
Karla Saavedra
Patricia Rigney
City Management Office

Created -



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 5.A.

DATE SUBMITTED: March 3, 2022

MEETING DATE: March 7, 2022

FROM: Maria Rangel, Engineer in Training

DEPARTMENT: Engineering

DIRECTOR: Edward Wylie

Agenda Item: City Engineer's Report

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: City Engineer's Report for March 2022

Fiscal Consideration: N/A

Staff Recommendation: The report is for informational purposes. Please direct any questions to Maria Rangel, Engineering Asst. Director.

Alternatives: Please direct any recommendations for improvements to the City Engineer's Report to contact listed above.

Exclude Material from Public Packet? No

Reason: No exclusion.

ROUTING:

Maria Rangel
Maria Rangel
City Management Office

Created/Initiated - 3/3/2022
Approved - 3/3/2022
Final Approval - 3/4/2022



***Report on Capital Improvement Project Activity
March 2022***

Engineering Asst. Director – Maria Rangel, PE
Monday, March 07, 2022

 **Pharr** Engineering  **CIP MEETING**

1



Construction

1. [Northside Community Center](#) (NTP 12/02/2020)
2. [Aquatic Facility](#) (NTP 11/01/2019)
3. [Bridge Northbound Lane Expansion and 2nd BSIF Exit](#) (NTP 09/08/2020)
4. [Lift Station No. 30](#) (NTP 07/06/21)
5. [WWTP Oxidation Ditch No. 2 and Electrical Improvements Project Phase I](#) (NTP 10/19/2020)
6. [Various Parking Lot Improvements](#) (NTP 05/04/2021)
7. [Javelina Drive Monument Signs](#) (NTP 07/26/2021)
8. [Single Machine Repaving Project Year 6](#) (NTP 12/21/2021)

 **Pharr** Engineering  **OVERVIEW**

2

Architect: The Warren Group Architects, Inc.
 Contractor: Davila Construction, Inc.
 CM: Brownstone Consultants, LLC

Notice to Proceed: Dec. 2, 2020
 Contract Time: 273 (ETC Aug. 31, 2021)

Time to Date: 460 (168.50%)

Contract Amount: \$7,500,000.00

Change Orders: \$0.00

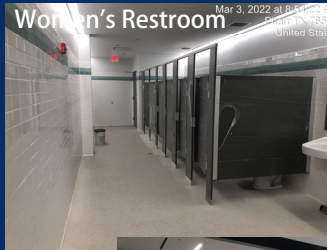
Current Contract: \$7,500,000.00

Placed to Date: \$7,232,554.62 (93.80%)

Description: The project generally consists of a new 12,990 sq. ft. community center that will house a lecture hall and computer lab, a French garden with reflective pool and walking trail, and an amphitheater. The location is at 1121 E. Nolana Lp.

Status: The contractor is continuing to work on the building envelope and amphitheater.

Next Step: The contractor is wrapping up the major items. As per his schedule, substantial completion is expected March 2022.



03-03-2022

Northside Community Center (1/2)



CONSTRUCTION

3



Northside Community Center (2/2)



CONSTRUCTION

4

Architect: The Warren Group Architects, Inc.
 Contractor: D. Wilson Const. Co.
 CM: Easton Acquisitions, Inc.
 Notice to Proceed: Nov. 1, 2019
 Contract Time: 550 + 60 + 101 (ETC
 October 2021)
 Time to Date: 857 (120.53%)
 Contract Amount: \$23,165,208.00
 Change Orders: \$231,226.59
 Current Contract: \$23,396,434.59
 Placed to Date: \$23,702,522.08 (101.31%)

Description: The project generally consists of approximately 72,796 sq. ft. of new aquatic facility with an alternate second level build out of 1,212 sq. ft. Features include a 50-meter competition pool, diving pool, and spectator seating. The project also includes site work, landscaping, and irrigation. The location is at 3001 N. Cage Blvd.

Status: Substantial Completion was achieved on January 04, 2022, and the contractor has been working through the punch list since then and the monument sign.

Next Step: The project is expected to be accepted at the CC Meeting on March 21, 2022.



02-28-2022

Aquatic Facility (1/1)



CONSTRUCTION

5

Engineer: TEDSI Infrastructure Group, Inc.
 Contractor: International Consulting Engineers
 CM: Brownstone Consultants, LLC
 Notice to Proceed: Sept. 8, 2020
 Contract Time: 545 + 26 (ETC April 02, 2022)
 Time to Date: 545 (95.45%)
 Contract Amount: \$7,463,934.37
 Change Orders: \$268,930.45
 Current Contract: \$7,732,864.83
 Placed to Date: \$ 5,648,681.10 (73.05%)

Description: The Northbound Lanes generally consists of constructing two (2) additional northbound lanes and super wide load north roadway. The 2nd BSIF Exit generally consists of constructing two (2) new exit truck lanes to the BSIF facility. Improvements also include primary and secondary inspection booths, canopies, and reshaping & regrading of a drain ditch.

Status: The contractor has completed cement treated base in the RPM area.

Next Step: The contractor will work on drainage and pavement in the RPM area.



02-28-2022

Bridge Northbound Lane Expansion and 2nd BSIF Exit (1/1)



CONSTRUCTION

6

Engineer: J&R Engineering, LLC
 Contractor: Saenz Brothers Construction, LLC
 CM: City of Pharr

Notice to Proceed: July 6, 2021 (new)
 Contract Time: 120 (ETC Nov. 03, 2021)

Time to Date: 244 (203.33%)

Contract Amount: \$1,494,704.00

Change Orders: \$0.00

Current Contract: \$1,494,704.00

Placed to Date: \$670,720.00 (44.87%)

Description: The project generally consists of replacing an existing dry pit-wet pit lift station with a new submersible pump station and constructing a new 10-in and 8-in pressure sewer force main piping systems from LS 30 to Thomas Rd. The project is located at 7409 S. Oro Lane.

Status: The contractor is working on 8-inch force main. The betterment was accepted, and work has been completed on the 10-inch sanitary sewer aerial line crossing.

Next Step: Contractor will install the 8-inch force main and work on the lift station.



02-25-2022

Lift Station No. 30 (1/1)



CONSTRUCTION

7

Engineer: Carollo Engineers, Inc.
 Contractor: Ferguson Service Systems, Inc.
 CM: Brownstone Consultants, LLC

Notice to Proceed: Oct. 19, 2020
 Contract Time: 300 + 50 (ETC Oct. 03, 2021)

Time to Date: 504 (144.00%)

Contract Amount: \$1,065,000.00

Change Orders: \$2,500.00

Current Contract: \$1,067,500.00

Placed to Date: \$1,051,028.55 (98.46%)

Description: The project generally consists of constructing a new WWTP digester area motor control center and replacement of the existing digester area MCC. The project is located at 2400 S. Veterans Blvd.

Status: Substantial completion was February 17, 2022. The contractor is working on punch list items. As-builts and O&Ms are under review by Engineer.

Next Step: The contractor will submit close-out documents.



01-19-2022

*WWTP Oxidation Ditch No. 2 and
 Electrical Improvements Phase I (1/1)*



CONSTRUCTION

8

Architect: City of Pharr
 Contractor: RDH Site & Concrete, LLC
 CM: City of Pharr
 Notice to Proceed: May 4, 2021
 Contract Time: 90 + 74 + 30 (ETC Nov. 14, 2021)
 Time to Date: 307 (158.25%)
 Contract Amount: \$616,150.50
 Change Orders: \$179,187.50
 Current Contract: \$795,338.00
 Placed to Date: \$663,015.00 (83.36%)
 Description: The project generally consists of constructing various new parking lot facilities at a) 202 S. Aster St., b) 1000 E. Eldora Rd., c) 106 N. Cage Blvd., d) 906 E. Sam Houston Ave., and e) 1900 S. Cage Blvd.
 Status: Work is ongoing at PD and W. Moore Rd.
 Next Step: Continue work at PD, W. Moore Rd., and W. Sam Houston Ave.



W. Moore Rd.

Mar 2, 2022 at 10:07:44 AM
 1900 S Cage Blvd
 Pharr TX 78577
 United States

03-2-2022

Various Parking Lot Improvements (1/2)



CONSTRUCTION

9

W. Moore Rd.



PD



02-24-2022

Various Parking Lot Improvements (2/2)



CONSTRUCTION

10

Architect: Alvarado Architects & Associates, Inc.
 Contractor: Facility Solutions Group
 CM: City of Pharr

Notice to Proceed: July 26, 2021
 Contract Time: 90 (ETC Oct. 24, 2021)
 Time to Date: 224 (248.89%)
 Contract Amount: \$124,330
 Change Orders: \$0.00
 Current Contract: \$124,330
 Placed to Date: \$0 (99%)

Description: The project generally consists of new monument signs at the two east corners of S. Cage Blvd. and E. Javelina Dr.
 Status: Project is complete. Sign for Casa del Oratorio is complete. Contractor is working on punch list items.
 Next Step: Close-out documents are pending, and power needs to be connected.



01-11-2022

Javelina Drive Monument Signs (1/1)



CONSTRUCTION

11

Engineer: City of Pharr
 Contractor: Cutler Repaving, Inc.
 CM: City of Pharr
 Notice to Proceed: Jan. 03, 2022 (new)
 Contract Time: 262 (ETC Oct. 24, 2021)
 Time to Date: 63 (24.05%)
 Contract Amount: \$1,489,022.84
 Change Orders: \$0.00
 Current Contract: \$1,489,022.84
 Placed to Date: \$641,347.60 (43.07%)
 Description: In Year 6, approximately 5.91 miles of street in north, central, and south Pharr will be repaved.
 Status: The contractor has completed S. Fir St. and is currently working at Las Arboledas Subdivision on E. Moore Rd.
 Next Step: The contractor will complete Las Arboledas and move on to Los Marineros on Cage Blvd. and Hall Acres.

S. Fir St.



03-02-2022

Single Machine Repaving Project Year 6 (1/2)



CONSTRUCTION

12



02-16-2022
Villa Del Rey

Single Machine Repaving Project Year 6 (2/2)

 **Pharr** Engineering  **CONSTRUCTION**

13



WE ARE TEAM PHARR

DEPARTMENT MISSION STATEMENT
 "To enhance health, safety and welfare in the City by providing economical, responsive and effective professional engineering and architectural services."

 **Pharr** Engineering  **END**

14



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 6.A.

DATE SUBMITTED: February 24, 2022

MEETING DATE: March 7, 2022

FROM: Hilda Pedraza, City Clerk

DEPARTMENT: Administration

DIRECTOR: Edward Wylie

Agenda Item: Approval of Minutes for February 21, 2022 Regular Called Meeting.

Classification: Consent

(* If closed session, City Attorney must review and approve.)

Issue: Minutes for meeting held on Monday, February 21, 2022

Fiscal Consideration: N/A

Staff Recommendation: Approval

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: N/A

ROUTING:

Hilda Pedraza
City Management Office

Created/Initiated - 2/24/2022
Final Approval - 3/4/2022

**MINUTES
BOARD OF COMMISSIONERS
REGULAR CALLED MEETING
MONDAY, FEBRUARY 21, 2022
118 SOUTH CAGE 2nd FLOOR**

The Board of Commissioners of the City of Pharr, Texas, met in a Regular Called Meeting on Monday, February 21, 2022 and following is the record of attendance.

BOARD OF COMMISSIONERS PRESENT: Mayor Ambrosio Hernandez
Mayor Pro Tem Daniel Chavez
Comm. Eleazar Guajardo
Comm. Roberto “Bobby” Carrillo
Comm. Ramiro Caballero
Comm. Ricardo Medina
Comm. Itza Flores

BOARD OF COMMISSIONERS ABSENT: None

STAFF PRESENT: Edward Wylie, Interim City Manager
Anali Alanis, Assistant City Manager
Annie Reeves, Assistant City Manager
Hilda Pedraza, City Clerk
Maria Rangel, Asst. City Engineer
Karla Saavedra, Finance Director
Juan Villescas, Municipal Judge
Andy Harvey, Police Chief
Pilar Rodriguez, Fire Chief
Roland Gomez, Interim Dev. Svcs. Director
Olga Garza, Public Works Director
Melanie Cano, O.S.E. Director
Oscar De Leon, Asst. Public Utilities Dir.
Sergio Alanis, Parks & Rec. Director
Cynthia Garza, CDBG/External Affairs
Adolfo Garcia, Library Director
Rogelio Martinez, Assistant I.T. Director
Luis Bazan, Bridge Director
Ignacio Amezcua, Purchasing Director
Danny Ramirez, E.M.S. Chief
Marcela Beas, Chamber President
Yuri Gonzalez, Communications Officer
Kenneth Ennis, Public Safety Comm. Dir.

CITY ATTORNEY

Patricia Rigney, City Attorney

ITEM 1. CALL TO ORDER

MINUTES: REGULAR CALLED MEETING
February 21, 2022

A) ROLL CALL AND POSSIBLE ACTION ON THE EXCUSING OF ANY ABSENT MEMBER OF THE GOVERNING BOARD

Mayor Hernandez called the meeting to order at 4:06 p.m. Roll call established a quorum.

B) PLEDGE OF ALLEGIANCE/INVOCATION

Luis Bazan, Bridge Director, led the pledge of allegiance and said the invocation.

ITEM 2. PROCLAMATIONS

A) PROCLAMATION PROCLAIMING FEBRUARY 2022 AS BLACK HISTORY MONTH (ADMINISTRATION)

Mayor Hernandez read proclamation proclaiming February 2022 as Black History Month. Alphonzo Gatling and Theresa Gatling from Village in the Valley received the proclamation and thanked the Commission for the recognition.

ITEM 3. PUBLIC TESTIMONY

There were no comments from the public.

ITEM 4. PUBLIC HEARINGS

A) PUBLIC HEARING ON DEVELOPMENT SERVICES CASES

Ed Wylie, Interim City Manager, opened the public hearing. There being no comments from the public, the public hearing was closed.

ITEM 5. CITY MANAGER'S REPORTS

A) SUBMISSION OF SALES TAX COLLECTION REPORT FOR FEBRUARY 2022

Ed Wylie, Interim City Manager, reported sales tax for the month of February were up 13.73% month to month compared to last year and an overall 17% true growth compared to last year's collections.

B) SUBMISSION OF PROPERTY TAX COLLECTION REPORT FOR JANUARY 2022

Ed Wylie, Interim City Manager, reported current tax collections were 78.14% collected out of this year's levy, which was a -2.65% less than last year's collection rate. Mr. Wylie further reported delinquent tax collections were 12.5% collected for the month of January 2022 and stated this was an increase of 1.54% compared to last year.

MINUTES: REGULAR CALLED MEETING
February 21, 2022

At this time, Ed Wylie, Interim City Manager, called upon Marcela Beas, President/CEO for the Greater Pharr Chamber of Commerce. Ms. Beas reported the Winter Texan Appreciation Golf Tournament held on February 18, 2022 at Tierra Del Sol Golf Course had been a great success and a video with highlights of the event was presented.

Anali Alanis, Assistant City Manager, stated the City of Pharr was promoting recruitment to stand out and attract potential employees and a video was presented highlighting recruitment efforts. Ms. Alanis further spoke about It's Time Texas Community Challenge and stated city of Pharr was currently ranked number 2.

ITEM 6. CONSENT AGENDA

- A) APPROVAL OF MINUTES FOR FEBRUARY 7, 2022 REGULAR CALLED MEETING (ADMINISTRATION)**
- B) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION AUTHORIZING THE PHARR POLICE DEPARTMENT TO SUBMIT A GRANT APPLICATION TO THE OFFICE OF THE GOVERNOR - CRIMINAL JUSTICE DIVISION FOR DOMESTIC VIOLENCE COORDINATOR PROJECT (POLICE)**
- C) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION AUTHORIZING THE PHARR POLICE DEPARTMENT TO SUBMIT A GRANT APPLICATION TO THE OFFICE OF THE GOVERNOR - CRIMINAL JUSTICE DIVISION FOR HUMAN TRAFFICKING LIAISON PROJECT (POLICE)**
- D) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION AUTHORIZING THE PHARR POLICE DEPARTMENT TO SUBMIT A GRANT APPLICATION TO THE OFFICE OF THE GOVERNOR - CRIMINAL JUSTICE DIVISION FOR CRIME VICTIMS LIAISON PROJECT (POLICE)**
- E) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION AUTHORIZING THE PHARR POLICE DEPARTMENT TO SUBMIT A GRANT APPLICATION TO THE OFFICE OF THE GOVERNOR, HOMELAND SECURITY GRANTS DIVISION FOR THE LOCAL BORDER SECURITY PROGRAM (LBSP) (POLICE)**
- F) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION AUTHORIZING PHARR POLICE DEPARTMENT TO APPLY FOR A BODY-WORN CAMERA GRANT PROGRAM THROUGH THE OFFICE OF THE GOVERNOR, PUBLIC SAFETY OFFICE - CRIMINAL JUSTICE DIVISION (POLICE)**
- G) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION AUTHORIZING THE PHARR EMERGENCY MEDICAL SERVICES DEPARTMENT TO SUBMIT A GRANT APPLICATION TO THE OFFICE OF THE GOVERNOR, HOMELAND SECURITY GRANTS DIVISION FOR THE LOCAL BORDER SECURITY PROGRAM (LBSP) (EMERGENCY MEDICAL SERVICES)**

H) CONSIDERATION AND ACTION, IF ANY, ON DEVELOPMENT SERVICES CASES:

1. R.G.V. & ASSOCIATES/LAURA L. GARZA, D/B/A GEORGE'S DANCE HALL, REQUESTED RENEWAL OF THE CONDITIONAL USE PERMIT AND LATE HOURS PERMIT TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISE CONSUMPTION IN A GENERAL BUSINESS DISTRICT (C). THE PROPERTY IS LEGALLY DESCRIBED AS BEING LOTS 197, 198, AND 199, VALLE DE LA PRIMAVERA SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 6801 SOUTH JACKSON ROAD. CUP#120529 (DEVELOPMENT SERVICES)

2. QUINTA REAL EVENTS, LLC REQUESTED RENEWAL OF THE CONDITIONAL USE PERMIT AND LATE HOURS PERMIT TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISE CONSUMPTION IN A GENERAL BUSINESS DISTRICT (C). THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 0.18 ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 1 AND 2, SAVE AND EXCEPT THE S32' OUT OF LOT 2, SING'S SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 2620 SOUTH GARDENIA STREET. CUP#201042 (DEVELOPMENT SERVICES)

3. REGENCY HALL REQUESTED RENEWAL OF THE CONDITIONAL USE PERMIT TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR ON-PREMISE CONSUMPTION IN A HEAVY COMMERCIAL DISTRICT (H-C). THE PROPERTY IS LEGALLY DESCRIBED AS BEING LOTS 10 AND 11, MACO BUSINESS CENTER SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 207 EAST FERGUSON AVENUE. CUP#161155 (DEVELOPMENT SERVICES)

4. CADENA AND SONS, L.L.C. D/B/A TEJAS RESTAURANT AND SPORTS BAR, REQUESTED RENEWAL OF THE CONDITIONAL USE PERMIT TO ALLOW THE SALE OF ALCOHOLIC BEVERAGES FOR ON PREMISE CONSUMPTION IN A GENERAL BUSINESS DISTRICT (C). THE PROPERTY IS LEGALLY DESCRIBED AS LOT 11, MACO INDUSTRIAL PARK SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 1308 MACO DRIVE. CUP#161261 (DEVELOPMENT SERVICES)

I) PLATS:

1. J&R ENGINEERING, LLC, REPRESENTING CIPRIANO GARZA BARAJAS, PRESIDENT OF WAREHOUSING LEASING OF TEXAS, LLC REQUESTED FINAL PLAT APPROVAL OF THE PROPOSED MAS LOGISTICS SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 12.560 ACRE TRACT OF LAND, BEING A PART OR PORTION OF THE MICHAEL TRACT OUT OF PORCION 69, A-691, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 1300 BLOCK OF WEST PRODUCE DRIVE. SUB#210616 (DEVELOPMENT SERVICES)

Ed Wylie, Interim City Manager, introduced the item and recommended approval of consent agenda.

Comm. Guajardo moved to approve as recommended. Comm. Carrillo seconded the motion and when put to a vote, it carried unanimously.

Resolution Nos. R-2022-07, R-2022-08, R-2022-09, R-2022-10, R-2022-11, and R-2022-12 are filed with the City Clerk's office.

REGULAR AGENDA - OPEN SESSION

ITEM 7. ORDINANCES AND RESOLUTIONS

A) CONSIDERATION AND ACTION, IF ANY, ON ORDINANCE AMENDING ORDINANCE NO. O-2021-52 FOR BUDGET AMENDMENT TO THE FISCAL YEAR 2021-2022 BUDGET (*ADOPTION ON 1ST READING*) (FINANCE)

Ed Wylie, Interim City Manager, introduced the item and recommended approval.

Comm. Guajardo **moved** to approve. Comm. Carrillo seconded the motion and when put to a vote, it carried unanimously.

Ordinance No. O-2022-04 is filed with the City Clerk's office.

B) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION AUTHORIZING PUBLICATION OF NOTICE OF INTENTION TO ISSUE CERTIFICATES OF OBLIGATION , SERIES 2022, FOR THE DESIGN , ACQUISITION, CONSTRUCTION AND IMPROVEMENT OF CERTAIN PUBLIC WORKS, AND AUTHORIZING CERTAIN OTHER MATTERS RELATING THERETO (FINANCE)

Ed Wylie, Interim City Manager, introduced the item. He briefly stated this was for the UTRGV Nursing School and recommended approval.

Comm. Carrillo **moved** to approve. Comm. Chavez seconded the motion and when put to a vote, it carried unanimously.

Resolution No. R-2022-13 is filed with the City Clerk's office.

C) CONSIDERATION AND ACTION, IF ANY, ON RESOLUTION DETERMINING A PUBLIC NECESSITY TO ACQUIRE CERTAIN REAL PROPERTY; GIVING NOTICE OF AN OFFICIAL DETERMINATION TO ACQUIRE REAL PROPERTY FOR A PUBLIC PURPOSE; ESTABLISHING PROCEDURES FOR THE ACQUISITION OF PROPERTY; DETERMINING THE ESTATE TO BE ACQUIRED; ESTABLISHING FAIR MARKET VALUE FOR THE PROPERTY TO BE ACQUIRED, AND DIRECTING THE CITY MANAGER OR DESIGNEE TO COMMUNICATE OFFERS TO OWNERS FOR PURCHASE OF PROPERTY, APPROPRIATING FUNDS, AND AUTHORIZING CONDEMNATION PROCEEDINGS BY CITY ATTORNEY; RATIFICATION OF PRIOR ACTS (DEVELOPMENT SERVICES)

Ed Wylie, Interim City Manager, introduced the item and recommended approval.

MINUTES: REGULAR CALLED MEETING
February 21, 2022

Comm. Medina **moved** to approve. Comm. Chavez seconded the motion and when put to a vote, it carried unanimously.

Resolution No. R-2022-14 is filed with the City Clerk's office.

8. ADMINISTRATIVE:

A) CONSIDERATION AND ACTION, IF ANY, AUTHORIZING THE DONATION OF POLICE SERVICE K9 GEMMA TO OFFICER DANIEL CALVILLO (POLICE)

Ed Wylie, Interim City Manager, introduced the item. He briefly stated K9 Gemma sustained an injury which resulted in a medical retirement and recommended approval.

Comm. Guajardo **moved** to approve as recommended. Comm. Flores seconded the motion and when put to a vote, it carried unanimously.

ITEM 9. CONTRACTS/AGREEMENTS:

A) CONSIDERATION AND ACTION, IF ANY, ON MEMORANDUM OF UNDERSTANDING BETWEEN THE DEPARTMENT OF VETERANS AFFAIRS AND THE PHARR POLICE DEPARTMENT FOR MUTUAL ASSISTANCE (POLICE)

Ed Wylie, Interim City Manager, introduced the item and recommended approval.

Comm. Medina **moved** to approve as recommended. Comm. Chavez seconded the motion and when put to a vote, it carried unanimously.

B) CONSIDERATION AND ACTION, IF ANY, ON PARTICIPATION AGREEMENT WITH THE CITY OF SAN ANTONIO AND CPS ENERGY FOR ACCESS TO TRAINING RESOURCES AND ACCESS TO THEIR ALAMO REGIONAL SECURITY OPERATIONS CENTER (IT)

Ed Wylie, Interim City Manager, introduced the item.

Jose Pena, IT Director, briefly explained the agreement would allow organizations for cross-training and information sharing. He further stated there was no cost to participate in the partnership and recommended approval.

Comm. Medina **moved** to approve as recommended. Comm. Guajardo seconded the motion and when put to a vote, it carried unanimously.

C) CONSIDERATION AND ACTION, IF ANY, ON PUBLIC INTEREST OCCUPANCY AGREEMENT WITH SUNSET TERRACE, LTD. FOR USE OF THE CALI CARRANZA SUNSET TERRACE GYM (PARKS)

MINUTES: REGULAR CALLED MEETING
February 21, 2022

Ed Wylie, Interim City Manager, introduced the item and recommended approval.

Comm. Guajardo **moved** to approve as recommended. Comm. Flores seconded the motion and when put to a vote, it carried unanimously

D) CONSIDERATION AND ACTION, IF ANY, AUTHORIZING CITY MANAGER TO AMEND AGREEMENT WITH MILLENNIUM ENGINEERS GROUP, INC. IN THE AMOUNT OF \$3,769.36 FOR ADDITIONAL CONSTRUCTION MATERIAL TESTING SERVICES FOR THE NORTHSIDE COMMUNITY CENTER (ENGINEERING)

Ed Wylie, Interim City Manager, introduced the item and recommended approval.

Comm. Flores **moved** to approve as recommended. Comm. Chavez seconded the motion and when put to a vote, it carried unanimously

ITEM 10. CLOSED SESSION: IN ACCORDANCE WITH CHAPTER 551 OF THE TEXAS GOV'T. CODE, THE PHARR BOARD OF COMMISSIONERS HEREBY GIVES NOTICE THAT IT MAY MEET IN A CLOSED (NON-PUBLIC) EXECUTIVE SESSION TO DISCUSS THE ITEMS LISTED ON THE PUBLIC PORTION OF THE MEETING AGENDA IN ACCORDANCE WITH THE FOLLOWING BELOW

None

ITEM 11. RECONVENE

None

ITEM 12. ADJOURNMENT

There being no other business to come before the board, Comm. Guajardo **moved** to adjourn. Comm. Medina seconded the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 4:29 p.m.

CITY OF PHARR

AMBROSIO HERNANDEZ
MAYOR

STATE OF TEXAS
COUNTY OF HIDALGO
CITY OF PHARR

MINUTES: REGULAR CALLED MEETING
February 21, 2022

ON THIS THE 21ST DAY OF FEBRUARY 2022 the Board of Commissioners of the City of Pharr, Texas convened in a **REGULAR CALLED MEETING** at the Commissioner's Room located at 118 S. Cage, 2nd Floor, Pharr, Texas. The meeting being open to the public and notice of said meeting, giving the date, place, subject, hereof, having been posted in accordance with Chapter 551, Texas Government Code (Open Meetings Act) and there being present a quorum, I, **HILDA PEDRAZA, CITY CLERK**, of the City of Pharr, Texas, certify that this is a true and correct copy of the minutes.

ATTEST:

HILDA PEDRAZA, CITY CLERK

APPROVED:



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 6.B.

DATE SUBMITTED: March 3, 2022

MEETING DATE: March 7, 2022

FROM: Maria Rangel, Engineer in Training

DEPARTMENT: Engineering

DIRECTOR: Edward Wylie

Agenda Item: Consideration and action, if any, authorizing City Manager to advertise for Request for Proposals (RFPs) for Construction Manager at Risk (CMAR) for the EMS and Fire Department Headquarters.

Classification: Consent

(* If closed session, City Attorney must review and approve.)

Issue: The Architect for the EMS and Fire Department Headquarters (HQ) is complete with the Master Plan and is now ready to begin the preliminary engineering phase. The City desires to bring in a Construction Manager at Risk (CMAR) at this stage to collaborate with the Architect in producing the best value design, as well as construct the project. The advantage of having a CMAR is their Guaranteed Maximum Price (GMP), which is the price they promise the City not to exceed for construction of the project. If the project price comes in over the GMP, the CMAR must make up the difference.

This agenda item is to advertise a Request for Proposals (RFPs) for CMAR. This item has no attachments.

Fiscal Consideration: There are no financial considerations at this time except the cost of advertising in the newspaper.

Staff Recommendation: Staff recommends approval to authorize the City Manager to advertise for RFPs for CMAR for the EMS & Fire Department Head Quarters.

Alternatives: Select a different project delivery method such as the traditional design-bid-build.

Exclude Material from Public Packet? No

Reason: No exclusion.

ROUTING:

Maria Rangel
Maria Rangel
Ignacio Amezcua
Karla Saavedra
Cynthia Garza

Created/Initiated - 3/3/2022
Approved - 3/3/2022
Approved - 3/3/2022
Approved - 3/4/2022
Approved - 3/4/2022

City Management Office

Final Approval - 3/4/2022



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 6.C.

DATE SUBMITTED:

MEETING DATE: March 7, 2022

FROM: Hilda Pedraza, City Clerk

DEPARTMENT: Administration

DIRECTOR:

Agenda Item: Consideration and action, if any, on Development Services Cases:

Classification: Public Hearing

(* If closed session, City Attorney must review and approve.)

Issue:

Fiscal Consideration:

Staff Recommendation:

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Hilda Pedraza

Karla Saavedra

Patricia Rigney

City Management Office

Created -



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 6.C.1.

DATE SUBMITTED: March 2, 2022

MEETING DATE: March 7, 2022

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: Spoor Engineering Consultants, representing Craig R. Funke, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C). The property is legally described as being 5.49-acres, more or less, out of Lot 260, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located within the 4500 Block of South Cage Boulevard. **COZ#220104**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Spoor Engineering Consultants, representing Craig R. Funke, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C).

COZ#220104

Fiscal Consideration: n/a

Staff Recommendation: Development Services is recommending approval of the request to re-zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C) as the property meets area requirements, has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

The Planning and Zoning Commission voted unanimously to approve the request for a change of zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C) subject to staff's recommendations.

Alternatives: n/a

Exclude Material from Public Packet? No

Reason: n/a

ROUTING:

Iris Mata
Roland Gomez
Patricia Rigney
City Management Office

Created/Initiated - 3/2/2022
Approved - 3/4/2022
Approved - 3/4/2022
Final Approval - 3/4/2022



Pharr

Development Services



STANDARDIZED RECOMMENDATION FORM

MEETING DATE: March 7, 2022

ROUTE TO BOARD:

☒ CITY COMMISSION

AGENDA ITEM: COZ:#220104

☐ PLANNING & ZONING COMMISSION

DATE SUBMITTED: January 14, 2022

1. **Applicant:** Spoor Engineering Consultants, representing Craig R. Funke, owner.
2. **Requested Action:** Re-zoning request from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C).
3. **Nature / Intent of Request:** In order to develop and construct a logistics company on subject property.

4. **Routing to Staff:**

A. Roland Gomez, Interim Director


Initials

3-2-22
Date

☒ Approval ☐ Denial

B. Planning Staff Recommendations


Initials

3-2-2022
Date

☒ Approval ☐ Denial

C. Planning and Zoning Commission

Initials

02/28/2022
Date

☒ Approval ☐ Denial

D. City Attorney

Initials

Date

☐ Approval ☐ Denial

E. City Manager

Initials

Date

☐ Approval ☐ Denial



MEMORANDUM

DATE: MONDAY, MARCH 7, 2022

TO: MAYOR AND CITY COMMISSION

FROM: DEVELOPMENT SERVICES

THROUGH: EDWARD WYLIE, INTERIM CITY MANAGER

SUBJECT: Re-zoning Request: From Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C). The property is legally described as being 5.49-acres, more or less, out of Lot 260, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located within the 4500 Block of South Cage Boulevard.
--

Comprehensive zoning and rezoning regulations and ordinances should be adopted and designed to facilitate, as much as possible, the following items:

1. To lessen congestion;
2. Secure safety from fire, panic and other dangers;
3. To promote health and general welfare;
4. To provide adequate light and air;
5. To protect the overcrowding of land and abutting traffic ways;
6. Avoid undue concentration of population, and;
7. To facilitate the adequate provisions of transportation, water, sewage, schools, parks, and other public requirements as per Local Government Code, Sect. 211.004.

DESCRIPTION OF PROPERTY:

Spoor Engineering Consultants, representing Craig R. Funke, owner, has filed with the Planning and Zoning Commission a request for a Change of Zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C) in order to develop and construct a trucking parking lot on subject property.

The subject site is located to the east side of South Cage Boulevard and is physically located within the 4500 Block of South Cage Boulevard. The property is legally described as being 5.49-acres, more or less, out of Lot 260, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

The property fronts South Cage Boulevard a 120'-150' principal arterial, that runs north and south with a posted speed limit of 40-50 miles per hour or less as identified in the City of Pharr's Thoroughfare Plan.

The property and the properties to the north, east, south, and west were annexed on April 19, 1983, as Agricultural and/ or Open Space District (A-O). The property to the north and the north portion of the properties to the west were rezoned to General Business District (C) on July 17, 2017, and November 1, 2007. The south portion of the properties to the west was rezoned to Heavy Commercial District (H-C) on January 15, 2008. There have been no zoning requests within the general vicinity of the subject property since then. The property is generally designated for commercial and public/semipublic use in the Land Use Plan.

The Heavy Commercial District (H-C) is established to provide adequate space and site diversification for commercial establishments which would involve influences that would be objectionable in the other commercial districts or adjacent to residential districts. Included in this district are commercial uses that involve large volumes of truck traffic, outside operations and storage of materials and equipment, either for sale or as part of the business, excessive noise from heavy service operations, or any other possibly blighting influences. This district is commercial in nature but has some aspects that are similar to industrial uses. The noise, traffic, litter, late-night hours, outside storage of materials and equipment, and other possibly blighting influences require adequate buffering.

Nine (9) letters were mailed out to the surrounding property owners and a legal notice was published in the Advance News Journal. Staff received one (1) phone call in opposition of the item to the letters or the legal notice.

Development Services is recommending approval of the request to re-zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C) as the property meets area requirements, has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

The Planning and Zoning Commission voted unanimously to approve the request for a change of zone from Agricultural and/ or Open Space District (A-O) to Heavy Commercial District (H-C) subject to staff's recommendations.

CITY COMMISSION OPTIONS:

- 1. Approve the rezoning request;**
- 2. Table the item for:**
 - a) consideration by the full board;**
 - b) additional information;**
 - c) additional time for applicant and adjacent property owners to meet;**
- 3. Disapprove the request.**



Pharr

Development Services



REQUEST FOR CHANGE OF ZONE & AMENDMENT TO LAND USE PLAN

Spoor Engineering Consultants, representing Craig R. Funke, owner.

Agricultural and/ or Open Space District (A-O)

APPLICANT

CURRENT ZONE

4500 Block of South Cage Boulevard

Heavy Commercial District (H-C)

ADDRESS

	YES	NO
1 Does the property meet the minimum area requirements for the proposed zone?	X	
2 Does the property have adequate ingress and egress?	X	
3 Will the change of zone be compatible with surrounding properties? (Zoning and Land Use)	X	
4 Is the property located along a major thoroughfare?	X	
5 Will the property have adequate parking for the proposed use?	X	
6 Will the property have adequate landscaping as per City Ordinance?	X	
7 Will the zone change increase the volume of traffic?	X	
8 Will a buffer be required?	X	
9 Is the proposed change in line with the Future Land Use Plan?		X

STAFF RECOMMENDATIONS:

Approval

Development Services is recommending approval of the request to re-zone from Agricultural and/or Open Space District (A-O) to Heavy Commercial District (H-C) as the property meets area requirements, has adequate ingress and egress. The property is not currently compatible with the future land use plan; however, the zoning will allow reasonable use of the property and granting the request results in equal treatment of similarly situated properties. If approved, the owner must comply with all City Ordinances and City Department requirements.

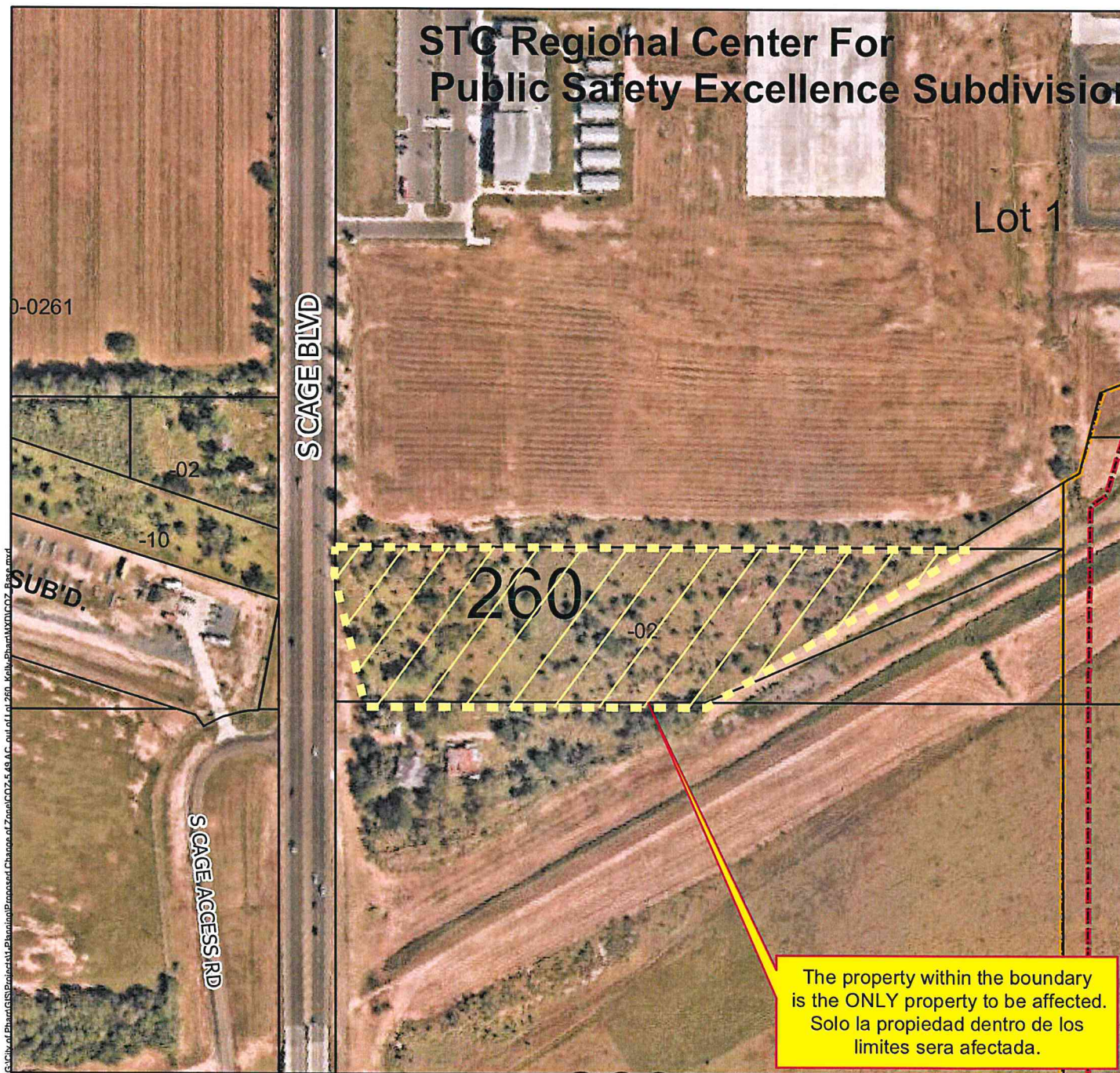
Nelly Terrazas Rojo

PREPARED BY

February 25, 2022

DATE

Proposed Change of Zone
 5.49 acres, more or less, out of Lot 260, Kelly-Pharr
 4501 S Cage Blvd
 Spoor Engineering Consultants / Craig R. Funke



Zoning

ZONE

- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial

- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

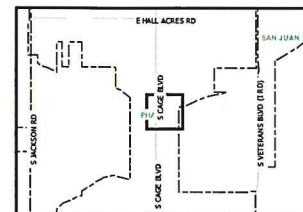
City of Pharr, Texas
 Engineering Department
 956.402.4242

Date: 2/9/2022

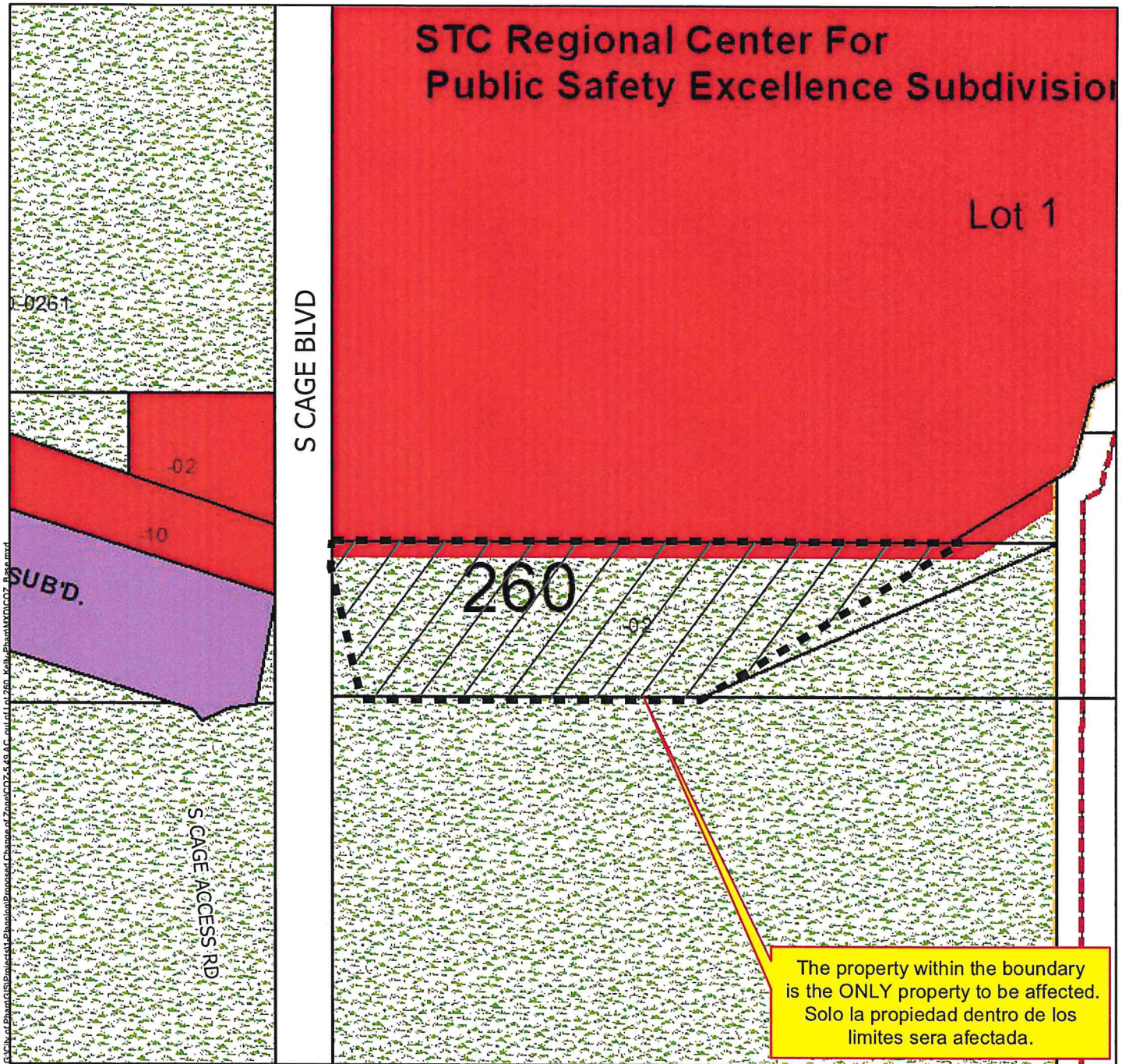
Scale: 1 inch = 250 feet



All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



Proposed Change of Zone
 5.49 acres, more or less, out of Lot 260, Kelly-Pharr
 4501 S Cage Blvd
 Spoor Engineering Consultants / Craig R. Funke



Zoning

ZONE

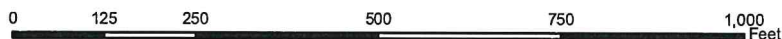
- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional
- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development

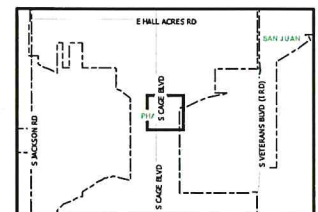
City of Pharr, Texas
 Engineering Department
 956.402.4242

Date: 2/9/2022

Scale: 1 inch = 250 feet



All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.





SITE PLAN FOR

4301 S. Cage Boulevard

A 5.49 ACRE TRACT OF LAND OUT OF LOT 260, KELLY-PHARR
SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO
PLAT RECORDED IN VOLUME 3, PAGE 133, MAP RECORDS

LOT 1
SOUTH TEXAS COLLEGE REGIONAL CENTER FOR
PUBLIC SAFETY EXCELLENCE SUBDIVISION
INSTRUMENT NO. 2926806 M/R

S. CAGE BLVD
U.S. HIGHWAY 281

15' ADDITIONAL
R.O.W.

20' L.S.

45' DRIVE

20' L.S.

25' DRIVE

20' L.S.

70' DRIVE

35' L.S.

25' DRIVE

FUTURE EXPANSION

40' DEDICATED
OPEN ROAD
(NOT
VOL. 3 PG. 133 D/R

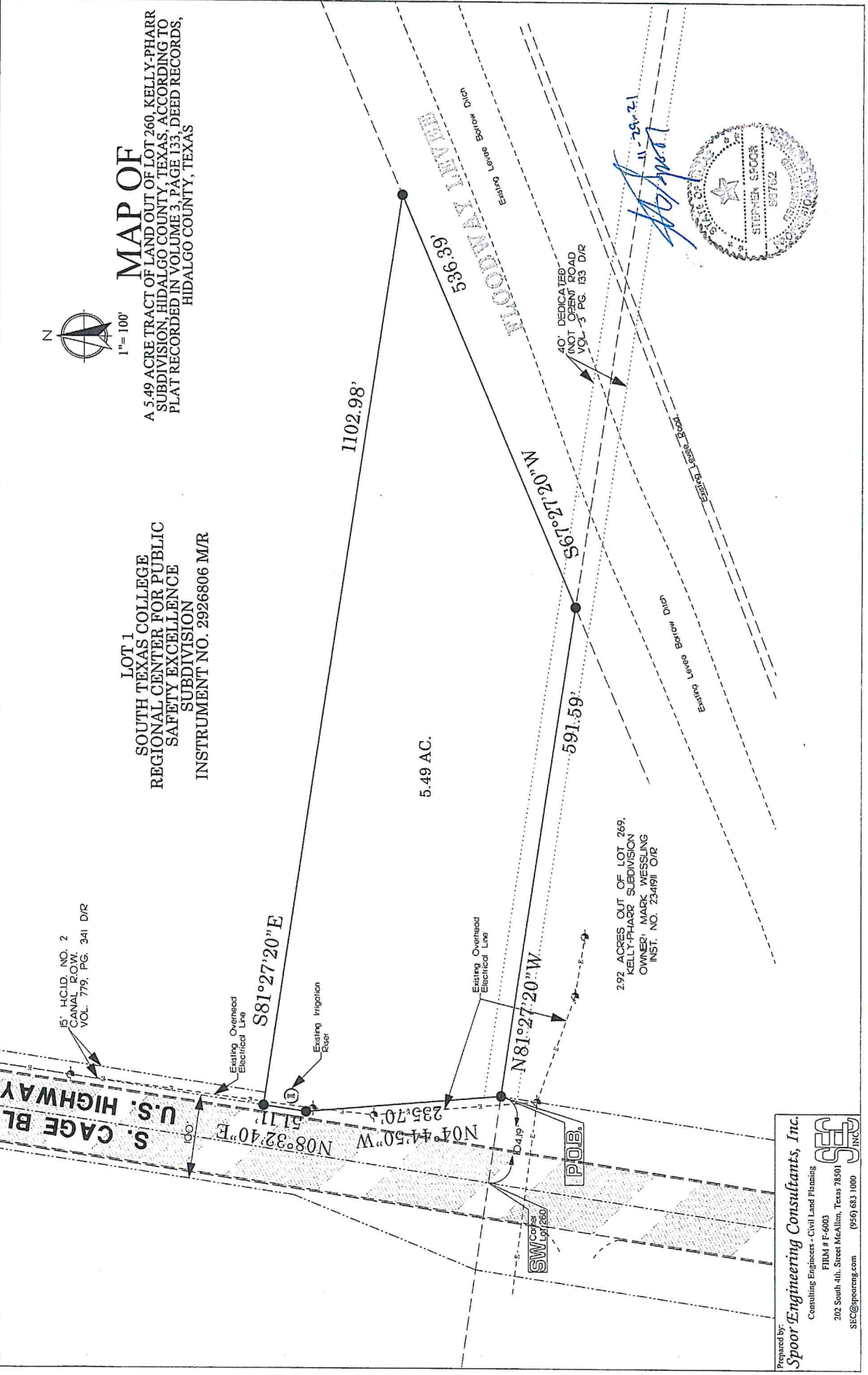
2.92 ACRES OUT OF LOT 269,
KELLY-PHARR SUBDIVISION
OWNER: MARK WESSLING
INST. NO. 234191 O/R

Existing Levee Border Drive

Existing Levee Border Drive

Prepared by:
Spoor Engineering Consultants, Inc.
Consulting Engineers - Civil Land Planning
FIRM # F-6003
202 South 4th, Street McAllen, Texas 78501
SEC@spooreng.com (956) 683 1000







AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 6.C.2.

DATE SUBMITTED: March 2, 2022

MEETING DATE: March 7, 2022

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: Red Tape II, Inc., d/b/a Stiletto's Gentlemen's Club is requesting renewal of the Sexually Oriented Business License in a General Business District (C). The property is legally described as all of Lot 2, Albrad Subdivision Unit #3, Pharr, Hidalgo County, Texas. The property's physical address is 1050 North Sugar Road. **SOB#001254**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Red Tape II, Inc., d/b/a Stiletto's Gentlemen's Club is requesting renewal of the Sexually Oriented Business License in a General Business District (C). . **SOB#001254**

Fiscal Consideration: n/a

Staff Recommendation: Development Services is recommending **approval** of the renewal request for the Sexually Oriented Business License subject to the listed conditions.

Alternatives: n/a

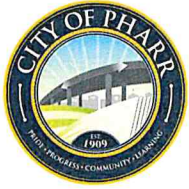
Exclude Material from Public Packet? No

Reason: n/a

ROUTING:

Iris Mata
Roland Gomez
Patricia Rigney
City Management Office

Created/Initiated - 3/2/2022
Approved - 3/4/2022
Approved - 3/4/2022
Final Approval - 3/4/2022



Pharr



MAYOR Ambrosio Hernandez, MD

COMMISSIONERS Eleazar Guajardo | Roberto "Bobby" Carrillo | Ramiro Caballero, MD | Daniel Chavez | Ricardo Medina | Itza Flores

Executive Summary Letter

March 7, 2022

Sexually Oriented Business License **Renewal** –

Stiletto's Gentlemen's Club

Background:

Red Tape II, Inc., d/b/a Stiletto's Gentlemen's Club, is requesting renewal of the Sexually Oriented Business License. This request constitutes the 22nd renewal for Stiletto's Gentlemen's Club.

The property is located at 1050 North Sugar Road. It is zoned General Business District (C) and is in conformance with the Future Land Use Plan. All required inspections have been conducted.

Recommendations:

Staff recommends **approval** of the renewal of the Sexually Oriented Business License subject to site and applicants being in compliance with all City Ordinances and City Department requirements.

P:\Admin\SOBs\Stiletto's Gentlemen's Club_2000

Telephone (956) 402-4100 | Fax (956) 702-5313 | P.O. Box 1729 | 118 S. Cage | Pharr, Texas 78577

www.pharr-tx.gov



Pharr

Development Services



MEMORANDUM

DATE: MONDAY, MARCH 7, 2022

TO: MAYOR AND CITY COMMISSION

FROM: DEVELOPMENT SERVICES

THROUGH: EDWARD WYLIE, INTERIM CITY MANAGER

SUBJECT: SEXUALLY ORIENTED BUSINESS LICENSE RENEWAL – FILE NO. SOB#001254 (STILETTOS GENTLEMEN'S CLUB)

GENERAL INFORMATION:

APPLICANT: Red Tape II, Inc., d/b/a Stilettos Gentlemen's Club is requesting renewal of the Sexually Oriented Business License in a General Business District (C).

LEGAL DESCRIPTION: The property is legally described as all of Lot 2, Albrad Subdivision Unit #3, Pharr, Hidalgo County, Texas.

LOCATION: The property's physical address is 1050 North Sugar Road.

ZONING: The property is currently zoned General Business District (C). The surrounding area to the North, South, East and West is zoned General Business District (C). The area is generally designated for commercial use in the Land Use Plan.

COMMENTS:	POLICE CHIEF:	Recommends approval of the Conditional Use Permit.
	FIRE DEPARTMENT:	Recommends approval of the Conditional Use Permit.
	CODE COMPLIANCE DIVISION:	Recommends approval of the Conditional Use Permit.
	HEALTH DIVISION:	Recommends approval of the Conditional Use Permit.

PLANNING DIVISION:

Recommends approval of
the Conditional Use Permit.

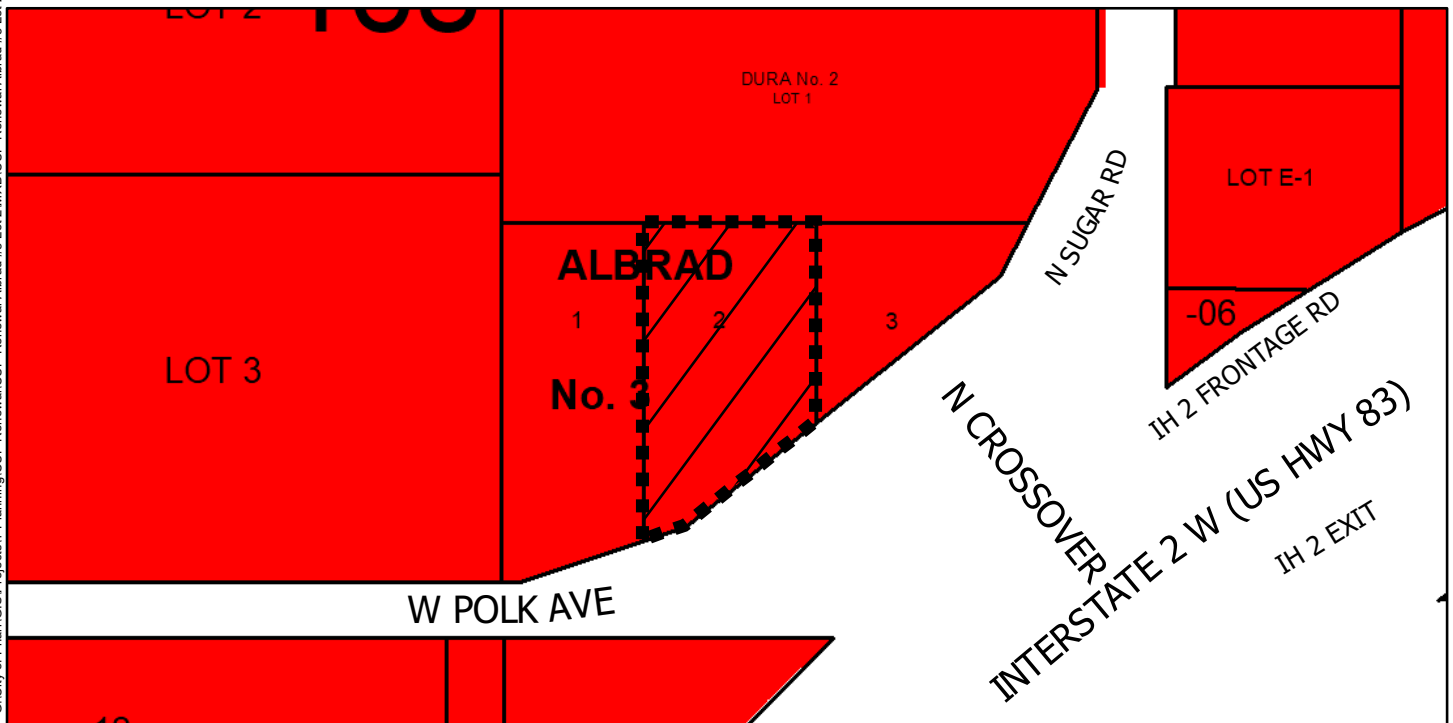
**DEVELOPMENT
SERVICES**

RECOMMENDATIONS:

Development Services is recommending **approval** of the renewal request for the Sexually Oriented Business License subject to the following conditions:

- 1) Applicant shall comply with all Sexually Oriented Business License requirements; any violation will terminate the Sexually Oriented Business License;
- 2) Applicant shall comply with all City of Pharr Ordinance requirements;
- 3) Any request to revise, alter or amend the conditions or requirements shall require the applicant to apply for a new Sexually Oriented Business License;
- 4) Any change in location, change in ownership or business entity owning or carrying out its operation on the property shall terminate the Sexually Oriented Business License;
- 5) This Sexually Oriented Business License shall be issued for a period of one (1) year. It shall be the owner's responsibility to apply for renewal ninety (90) days before its expiration date;
- 6) An opaque buffer will be required;
- 7) The premise should not have any public display of any sign, banner, flag, pennant, balloon, photograph, symbol, neon light, fluorescent color indicating that the nature of the use may be a Sexually Oriented Business; and
- 8) All employees must wear name tags or uniforms identifying them as employees of the establishment
- 9) The following shall be considered as grounds for the revocation of the Sexually Oriented Business License:
 - Any change in use or change in extent of use, area or location of the building being used.
 - Failure to allow periodic inspections by representatives of the City of Pharr at any reasonable time.
 - Failure to pay the annual renewal fee shall result in the assessment of an additional five dollars (\$5.00) per business day late fee up to thirty (30) days after the date of expiration of the Sexually Oriented Business License; or revocation of the permit if not paid by the 31st day.
 - Sexually Oriented Business License that has been revoked may not be applied for again until a period of one year has lapsed from the date of revocation.

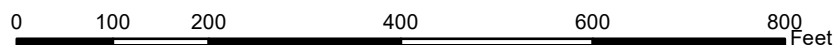
Conditional Use Permit Renewal
Albrad #3 Lot 2
Stilletos Cabaret



- | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | |
| Mobile Home | Business District | Office Professional | |

City of Pharr, Texas
Engineering Department
956.702.5355

Scale: 1 inch = 200 feet



Date: 4/15/2021



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 6.D.

DATE SUBMITTED:

MEETING DATE: March 7, 2022

FROM: Hilda Pedraza, City Clerk

DEPARTMENT: Administration

DIRECTOR:

Agenda Item: PLATS:

Classification: Consent

(* If closed session, City Attorney must review and approve.)

Issue:

Fiscal Consideration:

Staff Recommendation:

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Hilda Pedraza

Karla Saavedra

Patricia Rigney

City Management Office

Created -



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 6.D.1.

DATE SUBMITTED: March 2, 2022

MEETING DATE: March 7, 2022

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: M2 Engineering, PLLC., representing Irene Uribe Manrique, President of Star Trail Holdings, LLC, is requesting final plat approval of the proposed Star Trail Subdivision. The property is legally described as being a 3.879 acre tract of land comprising of all Lot 1, Fernandez Subdivision and a 2.00 acre tract out of Lot 113, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1100 Block of East Eldora Road. **SUB#190304**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: M2 Engineering, PLLC., representing Irene Uribe Manrique, President of Star Trail Holdings, LLC, is requesting final plat approval of the proposed Star Trail Subdivision. **SUB#190304**

Fiscal Consideration: n/a

Staff Recommendation: Development Services recommends final plat approval of the proposed Star Trail Subdivision subject to the listed conditions.

The Planning and Zoning Commission voted unanimously to approve the final plat of the proposed Star Trail Subdivision.

Alternatives: n/a

Exclude Material from Public Packet? No

Reason: n/a

ROUTING:

Iris Mata
Roland Gomez
Patricia Rigney
City Management Office

Created/Initiated - 3/2/2022
Approved - 3/4/2022
Approved - 3/4/2022
Final Approval - 3/4/2022



MEMORANDUM

DATE: MONDAY, MARCH 07, 2022
TO: MAYOR AND CITY COMMISSION
FROM: ROLAND GOMEZ, INTERIM DIRECTOR DEVELOPMENT SERVICES
THROUGH: EDWARD WYLIE, INTERIM CITY MANAGER

SUBJECT: STAR TRAIL SUBDIVISION FILE NO. SUB#190304
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GENERAL INFORMATION:

APPLICANT: M2 Engineering, PLLC., representing Irene Uribe Manrique, President of Star Trail Holdings, LLC, is requesting final plat approval of the proposed Star Trail Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 3.879 acre tract of land comprising of all Lot 1, Fernandez Subdivision and a 2.00 acre tract out of Lot 113, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 1100 Block of East Eldora Road.

ZONING: The property is located within the City of Pharr Extraterritorial Jurisdiction (ETJ). The adjacent zones are Single Family Residential District (R-1) to the south and the surrounding properties are within the Extraterritorial Jurisdiction (ETJ) to the north, east and west. The property is designated for single family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: Apartments.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends final plat approval of the proposed Star trail Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:** 1. In compliance.

EASEMENTS: 1. In compliance.

**SIDEWALK:
ADA:** 1. In compliance.

FIRE PROTECTION: 1. In compliance.

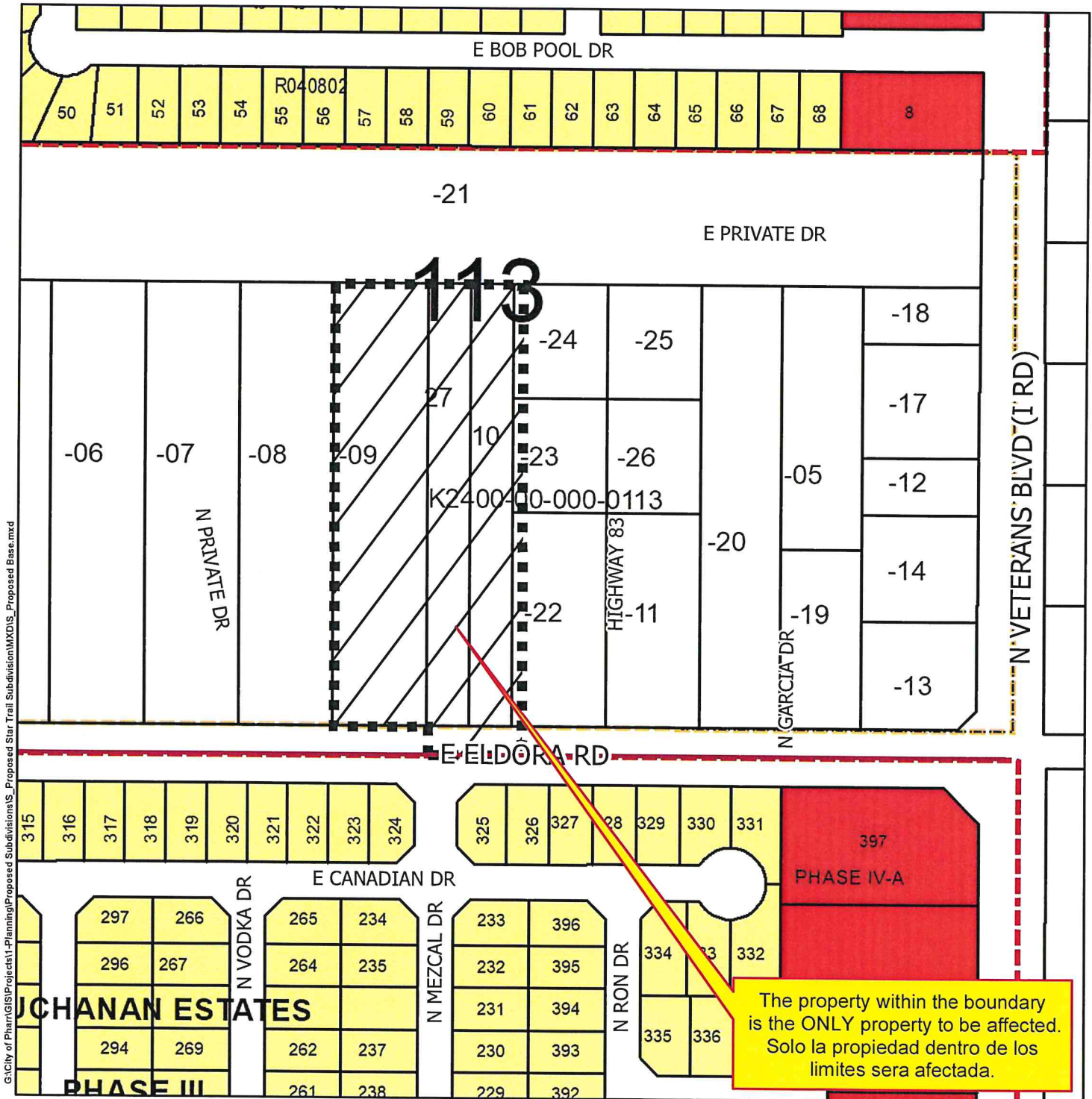
WATER: 1. North Alamo Water Supply Cor. (N.A.W.S.C.) area.

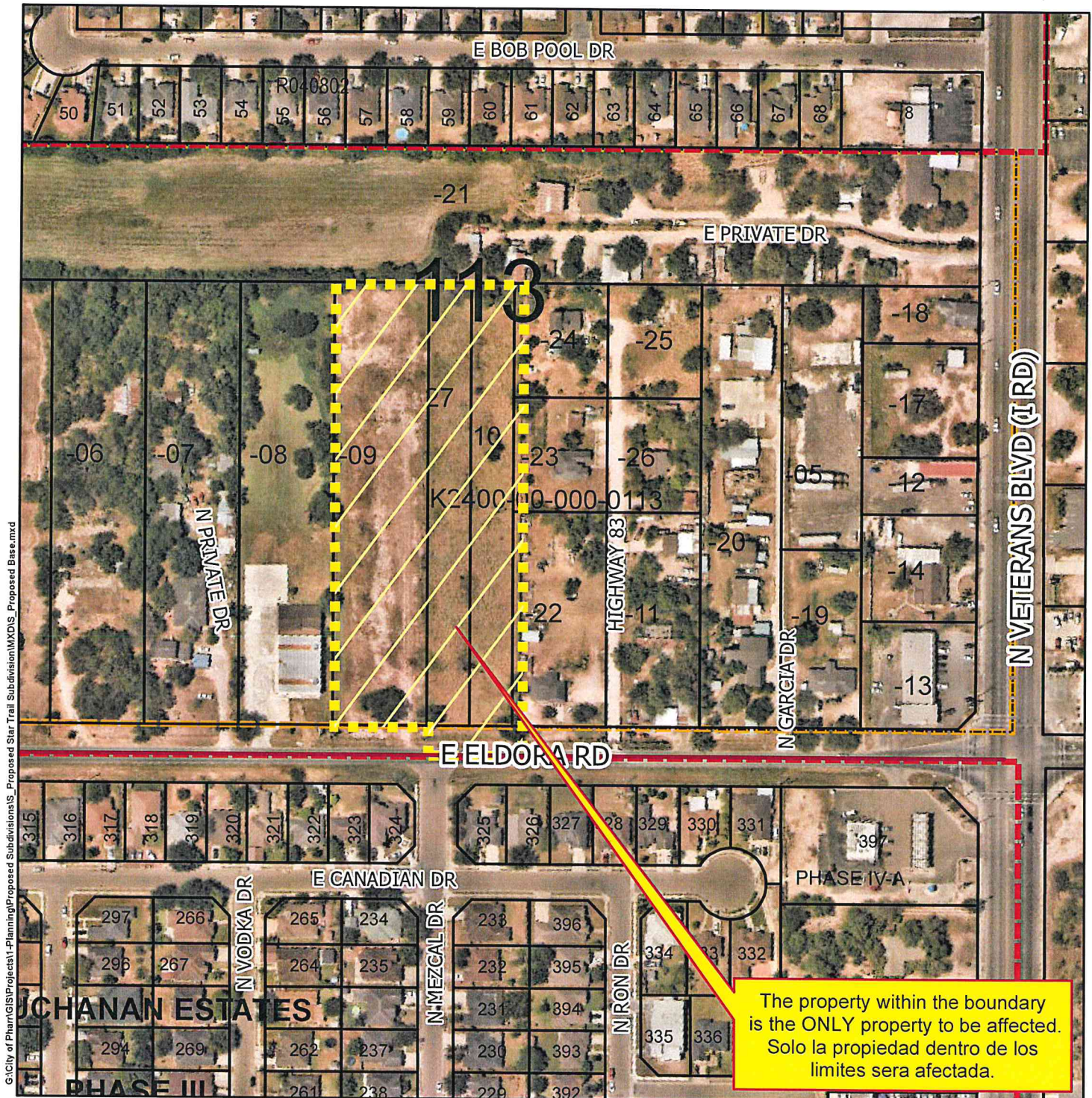
SEWER: 1. In compliance.

DRAINAGE: 1. In compliance.

OTHER: 1. Staff has recommended owner to voluntary annex into City of Pharr limits, property is abutting city limits.

**PLANNING AND
ZONING
COMMISSION:** The Planning and Zoning Commission voted unanimously to approve the final plat of the proposed Star trail Subdivision.







AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 7.A.

DATE SUBMITTED: February 28, 2022

MEETING DATE: March 7, 2022

FROM: Juan Villescás, Municipal Judge

DEPARTMENT: Municipal Court

DIRECTOR: Juan Villescás

Agenda Item: Consideration and action, if any, on Pharr Municipal Court Amnesty Program beginning March 15, 2022 through April 30, 2022.

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Consideration and possible action to authorize the Municipal Court of the City of Pharr to hold an amnesty period from March 15, 2022 through April 30, 2022, during which time any failure to appear and warrant charges will be waived for any adjudicated fines paid in full.

Fiscal Consideration: N/A

Staff Recommendation: Approval of amnesty period.

Alternatives: N/A

Exclude Material from Public Packet? No

Reason: No

ROUTING:

Juan Villescás
Juan Villescás
Karla Saavedra
Patricia Rigney
City Management Office

Created/Initiated - 2/28/2022
Approved - 2/28/2022
Approved - 3/4/2022
Approved - 3/4/2022
Final Approval - 3/4/2022



AGENDA MEMORANDUM



BOARD: City Commission

AGENDA ITEM #: 8.A.

DATE SUBMITTED: March 2, 2022

MEETING DATE: March 7, 2022

FROM: Pilar Rodriguez, Fire Chief

DEPARTMENT: Fire

DIRECTOR: Pilar Rodriguez

Agenda Item: Consideration and action, if any, on service agreement with Battalion 3 Technologies for a subscription to a web-based fire rostering system for use by the Fire Department at a cost of approximately \$4,500 annually.

Classification: Consent

(* If closed session, City Attorney must review and approve.)

Issue: The fire department currently utilizes a manual process to schedule firefighters to work in the event an employee is out on sick, annual, bereavement, deployment or other applicable leave. The process requires a status board to be kept up to date and notification of firefighters via a physical phone call. With an ever growing and expanding operation, the department seeks to automate the ability to roster work shifts in order to maintain minimum manning at each fire station at an acceptable level. Battalion 3 Technologies offers a web-based rostering system that is subscription based and the cost scales up or down with the number of firefighters in the system. The Fire Roster system will notify firefighters via a phone application and/or by text/email of the need for a vacancy on a work shift to be filled. The firefighter can acknowledge acceptance of the offer to work via the same phone application, thus eliminating the need to utilize a call down phone roster to fill a vacancy. The fire roster system can also generate daily time sheets that can be imported into the current time and attendance system utilized by the City for payroll submittals. The cost to subscribe to this system is approximately \$4,500 annually.
(Project# 2122-01-515-IPQ037-001)

Fiscal Consideration: Subscription to this system has minimal impact on the FD budget.

Staff Recommendation: Based on review by this office, staff recommend approval of the service agreement with Battalion 3 Technologies for the web-based fire rostering system as presented.

Alternatives: Do not approve the request.

Exclude Material from Public Packet? No

Reason: Not applicable

ROUTING:

Pilar Rodriguez
Maritza Magallan
Ignacio Amezcua
Patricia Rigney
Karla Saavedra
Anali Alanis
City Management Office

Created/Initiated - 3/2/2022
Approved - 3/2/2022
Approved - 3/2/2022
Approved - 3/2/2022
Approved - 3/4/2022
Approved - 3/4/2022
Final Approval - 3/4/2022

PO Box 908
Coeur d'Alene, ID 83814
www.Batt3.com



Estimate

ADDRESS

Chief Pilar Rodriguez
Pharr Fire Department
118 S. CAGE BLVD
3RD FLOOR
Pharr, TX 78577 US

SHIP TO

Chief Pilar Rodriguez
Pharr Fire Department
118 S. CAGE BLVD
3RD FLOOR
Pharr, TX 78577 US

ESTIMATE #	DATE	EXPIRATION DATE
1100	01/28/2022	03/31/2022

SALES REP

BR

DATE	ACTIVITY	QTY	RATE	AMOUNT
	FR-Annual Fireroster Annual Member	90	42.00	3,780.00
	Implementation Fee One time implementation fee includes setup, training and account optimization	1	500.00	500.00

SUBTOTAL	4,280.00
TAX	0.00
TOTAL	\$4,280.00

Accepted By

Accepted Date

BATTALION TECHNOLOGIES



BATT3.COM

PO Box 908, Coeur d'Alene, Idaho 83816, U.S.A.

Phone: (855) 302-2883, www.batt3.com

This service agreement is entered into by and between **BATTALION 3 TECHNOLOGIES, LLC**, hereinafter referred to as the "Battalion 3", and Pharr Fire Department, hereinafter referred to as the "Pharr Fire".

1. Scope of Services

Battalion 3 shall provide the following to the Pharr Fire:

- Fireroster annual member (90 members)
- Annual subscription based on 90 members
- If the base members increase/decrease during the term of this agreement, the base will be adjusted accordingly at time of annual renewal
- Onboarding and Initial Training
- Maintenance and support

2. Compensation; Time of Payment

Refer to the current invoice.

All annual invoices will be sent via email to the email addresses indicated by Pharr Fire. All remittances may be sent by check to Battalion 3 Technologies, LLC, PO Box 908, Coeur d'Alene, Idaho 83816. If a PO number is required on the invoice, the Pharr Fire will provide the PO number and Battalion 3 Technologies will add the PO number to the invoice.

3. Workmanship and Quality of Services

All services delivered under this agreement shall be performed in a workmanlike and professional manner, to the reasonable satisfaction of the Pharr Fire, and shall conform to all prevailing industry and professional standards.

4. Notices

Any necessary correspondence and be sent via email to:

Support@batt3.com

Or by mail to:

Battalion 3 Technologies, LLC
P.O. Box 908
Coeur d'Alene, ID 83816
Attn: Lee Holbrook, 855-30-BATT3

To City of Pharr:
Pilar Rodriguez, PE
Fire Chief
118 S. Cage Blvd – 3rd Floor
Pharr, TX 78577

5. Assignment

This Agreement may not be assigned without the express written consent of Battalion 3 Technologies, LLC.

6. Applicable Law

All matters relating to this Agreement shall be governed by the laws of the State of Texas. Further the parties agree that venue and jurisdiction for any and all claims arising out of this agreement shall be brought exclusively in the state and district courts in Hidalgo County, Texas.

7. Insurance

Battalion 3 agrees to maintain insurance, on a primary basis and at its sole expense, at all times during the life of this Agreement.

Pharr Fire may request the Certificate of Insurance at any time. A copy of said insurance shall be provided at the time of execution of this agreement.

8. Term/Cancellation

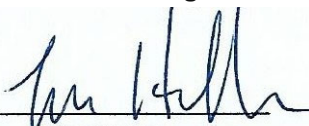
The term of this agreement shall be for a term of one (1) year beginning on the ____ of March 2022. Pharr Fire may terminate this agreement at any time without the return of any monies previously paid.

9. Privacy Policy and Terms of Use

<https://www.batt3.com/support/>

IN WITNESS WHEREOF, the parties have executed this Agreement as of the 16th day of February 2022.

Battalion 3 Technologies lie

By: 
Signature

Lee Holbrook
Printed Name

President
Title

Pharr Fire Department

By: _____
Signature

Printed Name

Title

Approved as to Form:

Patricia Rigney, City Attorney