

AGENDA
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. October 11, 2021 – 6:00 PM

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

PRESIDING:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes of September 13, 2021.

D. PUBLIC HEARING: *(Ordinance No. O-2019-31). A registered speaker during the public hearing may not exceed 1.5 minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the presiding clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.*

E. PLATS:

1) Rio Delta Engineering, representing Juan Aurelio Cadena, is requesting final plat approval of the proposed Cadena Auto Sales Subdivision. The property is legally described as being a 0.88 of an acre tract of land being all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 23, 24, 25, 26, 27, 28, 29, 30, 31 and 32 and a 20 foot strip of land, formerly an alley, lying between Lots 1 thru 8 and lots 25 thru 32, Block A, Original Townsite of Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 200 Block of East Business Hwy 83. **SUB#200210**

2) Spoor Engineering Consultants, Inc., representing Marwan Kalefa and Mohamed Hamdi, Members of Zezenya, L.L.C., a Texas Limited Liability company, are requesting preliminary plat approval of the proposed Minnesota Place Subdivision. The property is legally described as being a 2.62 acres of land out of Lot 93, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 100 Block of East Minnesota Road. **SUB#210515**

3) R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No.3 Subdivision. The property is legally described as being a 2.68 of an acre tract of land being a portion of Lot 1, Posadas Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1300 Block of West Heritage Dr. **SUB#210828**

4) MAS Engineering, LLC., representing Armando Gonzalez, owner, is requesting preliminary plat approval of the proposed Rojas Subdivision. The property is legally described as being a 0.25 acre tract of land out of the north 99.00 feet of the south 198.00 of the north 448 feet of the east 220.00 feet of the west 297.00 feet of Lot 233, Kelly-Pharr Subdivision. Pharr, Hidalgo County, Texas. The property is located within the 1200 Block of West Hall Acres Rd. **SUB#210720**

F. ANNOUNCEMENTS/OTHER BUSINESS:

G. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Commission may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Commission may convene in a closed, non-public meeting to discuss any matters related to real property and deliberate the purchase, exchange, lease, or value of **real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Commission may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Commission may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Commission may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

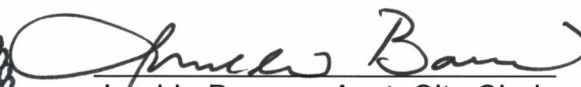
Pursuant to Section 551.087, the Commission may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

H. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

I. ADJOURNMENT:

I, certify that the above notice of public hearing was posted on the bulletin board at City Hall on this the 8th day of October 2021 at 2:00 p.m., and on the City of Pharr web site (www.pharr-tx.gov)




Imelda Barrera, Asst. City Clerk

MINUTES PLANNING & ZONING COMMISSION

City Commissioner's Room

118 S. Cage Blvd. September 13, 2021 - 6:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, September 13, 2021 and following is the record of attendance.

MEMBERS PRESENT: Danny Wylie Charlie Ramirez
Romeo Robles Andy Castro

ABSENT: Jonathan Larraga Rafael Munguia
Luis Madrigal

OTHERS PRESENT: See attached list

STAFF PRESENT: Roland Gomez, Development Services Interim Director
Roy Rodriguez, Assistant Director/Building Official
Eddie Martinez, Planner II
Anaisa Licerio, Planner I
Nelly Terrazas, Planner I
Carolina Herrera, Secretary
Daniel Gonzalez, Assistant City Attorney

ITEM A. CALL TO ORDER

Chairman, Danny Wylie, called the meeting to order at 6:00 p.m. Roll call established a quorum.

Andy Castro moved to excuse the absent members. Charlie Ramirez seconded the motion and when put to a vote it carried unanimously.

ITEM B. PUBLIC TESTIMONY

None.

ITEM C. APPROVAL OF MINUTES

1) MINUTES OF AUGUST 23, 2021

Chairman, Danny Wylie, introduced the item.

There being no further discussion Romeo Robles moved to approve the minutes of August 23, 2021. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING

None.

ITEM E. PLAT APPROVAL

- 1) ROBLES ENGINEERING, LLC., REPRESENTING JUAN JOSE PALACIOS AND LAURA E. PALACIOS, OWNERS, ARE REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED BURGOS SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 1.00 ACRE OUT OF LOT 5 BLOCK 11, A.J. MCCOLL SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 1200 BLOCK OF WEST GREG DRIVE. SUB#210723**

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned Single Family Residential District (R-1). The adjacent zones are Single Family Residential District (R-1) to the north, south, east and west. The property is designated for single family residential use in the Land Use Plan. He added no variances were being requested and staff recommended preliminary plat approval of the proposed Burgos Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Charlie Ramirez moved to approve the request for preliminary plat approval of the proposed Burgos Subdivision. Andy Castro seconded the motion and when put to a vote, it carried unanimously.

- 2) TREVIÑO ENGINEERING, REPRESENTING ELIAS J. GUTIERREZ, OWNER, IS REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED CASA GUTIERREZ SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 0.279 OF AN ACRE TRACT OF LAND CONSISTING OF THE SOUTHERN PORTION OF LOTS 6 AND 7, BLOCK 3, SECOND AMENDED MAP OF HELMER SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 1300 BLOCK OF WEST CHEROKEE AVE. SUB#210719**

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned Single Family Residential District (R-1). The adjacent zones are Single Family Residential District (R-1) to the north, south, east and west. The property is designated for Multi-family residential use in the Land Use Plan. He added no variances were being requested and staff recommended preliminary plat approval of the proposed Casa Gutierrez Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

Chairman, Danny Wylie, asked staff if home on the north end was on one or both lots.

Eddie Martinez, Planner II, stated that the north and south end of properties were by meets and bounds.

There being no discussion Charlie Ramirez moved to **approve** the request for preliminary plat approval of the proposed Casa Gutierrez Subdivision. Andy Castro seconded the motion and when put to a vote, it carried unanimously.

- 3) SALINAS ENGINEERING & ASSOCIATES, REPRESENTING AGUSTIN AND MARIA LUISA R. CARRILLO, OWNERS, ARE REQUESTING FINAL PLAT APPROVAL OF THE PROPOSED THE GIFT SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 0.52 ACRE TRACT OF LAND, MORE OR LESS, OUT OF THE W150.0' OF THE E640.8' OF THE S150.0' OF THE N358.67' OF LOT 348, KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY'S PHYSICAL ADDRESS IS 152 WEST SIESTA STREET. SUB#200619**

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned Single-Family Residential District (R-1). The adjacent zones are Single-Family Residential District (R-1) to the north, south, east and west. The property is designated for commercial and ROW use in the Land Use Plan. He added no variances were being requested and staff recommended final plat approval of the proposed The Gift Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Charlie Ramirez moved to **approve** the request for final plat approval of the proposed The Gift Subdivision. Romeo Robles seconded the motion and when put to a vote, it carried unanimously.

- 4) RIO DELTA ENGINEERING, REPRESENTING JOSEPH WILLIAM HOLAND, OWNER, IS REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED JUST A CLOSET #7 SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 22.88 ACRES TRACT OF LAND, MORE OR LESS, SAME BEING OUT OF THE SOUTH 24.19 ACRES OF LOT 5, BLOCK 4, A. J. MCCOLL SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 3800 BLOCK OF NORTH JACKSON ROAD. SUB#210722**

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned General Business District (C). The adjacent zones are General Business District (C) and Residential Multi-Family High Density District (R-MFHD) to the north, Agricultural Open Space District (A-O) to the east, General Business District (C) and Single Family

Residential District (R-1) to the south and City limits to the west. The property is designated for commercial and single family residential use in the Land Use Plan. He added no variances were being requested and staff recommended preliminary plat approval of the proposed Just a Closet #7 Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Charlie Ramirez moved to **approve** the request for preliminary plat approval of the proposed Just a Closet #7 Subdivision. Andy Castro seconded the motion and when put to a vote, it carried unanimously.

5) PEREZ CONSULTING ENGINEERS, REPRESENTING THE CITY OF PHARR, IS REQUESTING FINAL PLAT APPROVAL OF THE PROPOSED CITY OF PHARR NORTH SIDE AQUATIC CENTER SUBDIVISION PHASE I. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A TRACT OF LAND CONTAINING 9.49 ACRES OF LAND AND ALSO BEING A PART OF LOT 133, KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 3000 BLOCK OF NORTH IH 69 C. SUB#190616

Eddie Martinez, Planner II, introduced the item. He stated the property is currently zoned General Business District (C). The adjacent zones are Limited industrial District (L-I) to the north, General Business District (C) to the south and west and Limited industrial District (L-I) and General Business District (C) to the east. The property is designated for commercial use in the Land Use Plan. He added no variances were being requested and staff recommended final plat approval of the proposed City of Pharr North Side Aquatic Center Subdivision Phase I subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Andy Castro moved to **approve** the request for final plat approval of the proposed City of Pharr North Side Aquatic Center Subdivision Phase I. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM H. ANNOUNCEMENTS/OTHER BUSINESS:

Roland Gomez, Development Services Director, announced the last Planning & Zoning Commission meeting for alternate member, Porfirio Rodriguez, and Secretary, Carolina Herrera. He continued to thank Mr. Rodriguez on behalf of the staff and commission for his term. Mr. Gomez stated that Ms. Herrera would be transferring to the City's CDBG Department as an Accountant.

ITEM I. ADJOURNMENT

There being no further business Romeo Robles moved to **adjourn**. Charlie Ramirez second the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 6:19 p.m.

Chairman, Danny Wylie

ATTEST:

Andy Castro, Secretary

APPROVED:_____



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.1.

DATE SUBMITTED: October 8, 2021

MEETING DATE: October 11, 2021

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: Rio Delta Engineering, representing Juan Aurelio Cadena, is requesting final plat approval of the proposed Cadena Auto Sales Subdivision. The property is legally described as being a 0.88 of an acre tract of land being all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 23, 24, 25, 26, 27, 28, 29, 30, 31 and 32 and a 20 foot strip of land, formerly an alley, lying between Lots 1 thru 8 and lots 25 thru 32, Block A, Original Townsite of Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 200 Block of East Business Hwy 83. **SUB#200210**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Rio Delta Engineering, representing Juan Aurelio Cadena, is requesting final plat approval of the proposed Cadena Auto Sales Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends final plat approval of the proposed Cadena Auto Sales Subdivision subject to the listed conditions.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Iris Mata
Roland Gomez
Patricia Rigney

Created/Initiated - 10/8/2021
Approved - 10/8/2021
Final Approval - 10/8/2021



Pharr

Development Services



MEMORANDUM

DATE: MONDAY, OCTOBER 11, 2021

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: CADENA AUTO SALES SUBDIVISION
FILE NO. **SUB#200210**

GENERAL INFORMATION:

APPLICANT: Rio Delta Engineering, representing Juan Aurelio Cadena, is requesting final plat approval of the proposed Cadena Auto Sales Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 0.88 of an acre tract of land being all of Lots 1, 2, 3, 4, 5, 6, 7, 8, 23, 24, 25, 26, 27, 28, 29, 30, 31 and 32 and a 20 foot strip of land, formerly an alley, lying between Lots 1 thru 8 and lots 25 thru 32, Block A, Original Townsite of Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 200 Block of East Business Hwy 83.

ZONING: The property is currently zoned General Business District (C) and Business District (C-2). The adjacent zones are Heavy Commercial District (HC) to the north, General Business District (C) to the east and south and Business District (C-2) to the west. The property is designated for commercial use in the Land Use Plan.

PROPERTY PROPOSED USE: Car lot.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends final plat approval of the proposed Cadena Auto Sales Subdivision subject to the following conditions set before you.

**STREETS, PAVING
AND R.O.W.:** 1. In conformance.

EASEMENTS: 1. In conformance.

**SIDEWALK:
ADA:** 1. In conformance.

FIRE PROTECTION: 1. In conformance.

WATER: 1. In conformance.

SEWER: 1. In conformance.

DRAINAGE: 1. In conformance.

OTHER: 1. In conformance.

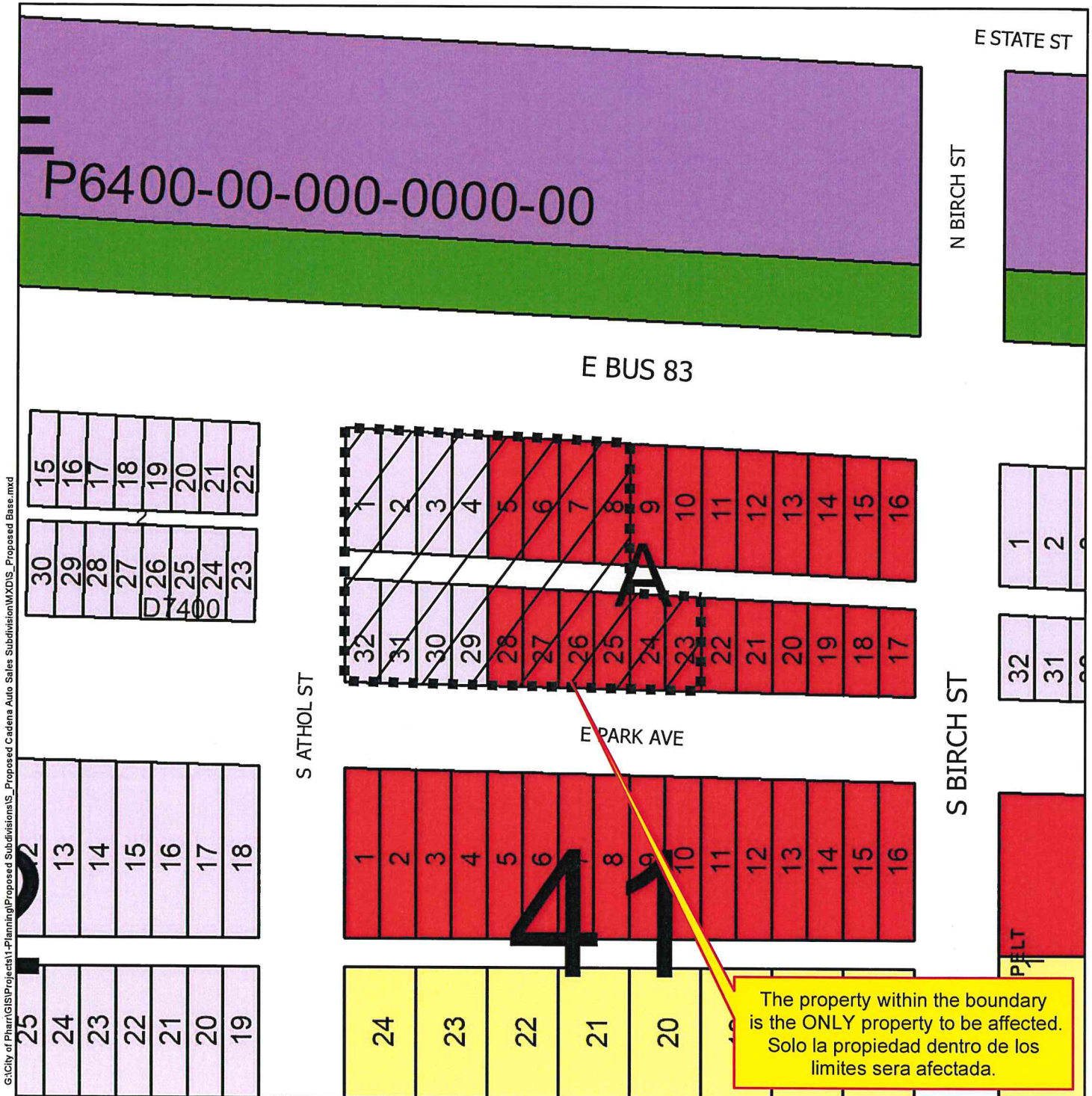
This meeting will go before the City Commission meeting of October 18, 2021 at 4:00 p.m.



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|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | |
| Mobile Home | Business District | Office Professional | |





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|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | |
| Mobile Home | Business District | Office Professional | |





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.2.

DATE SUBMITTED: October 8, 2021

MEETING DATE: October 11, 2021

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: Spoor Engineering Consultants, Inc., representing Marwan Kalefa and Mohamed Hamdi, Members of Zezenya, L.L.C., a Texas Limited Liability company, are requesting preliminary plat approval of the proposed Minnesota Place Subdivision. The property is legally described as being a 2.62 acres of land out of Lot 93, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 100 Block of East Minnesota Road. **SUB#210515**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Spoor Engineering Consultants, Inc., representing Marwan Kalefa and Mohamed Hamdi, Members of Zezenya, L.L.C., a Texas Limited Liability company, are requesting preliminary plat approval of the proposed Minnesota Place Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Minnesota Place Subdivision subject to the listed conditions.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Iris Mata
Roland Gomez
Patricia Rigney

Created/Initiated - 10/8/2021
Approved - 10/8/2021
Final Approval - 10/8/2021



Pharr

Development Services



MEMORANDUM

DATE: MONDAY, OCTOBER 11, 2021

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: MINNESOTA PLACE SUBDIVISION FILE NO. SUB#210515

GENERAL INFORMATION:

APPLICANT: Spoor Engineering Consultants, Inc., representing Marwan Kalefa and Mohamed Hamdi, Members of Zezenya, L.L.C., a Texas Limited Liability company, are requesting preliminary plat approval of the proposed Minnesota Place Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 2.62 acres of land out of Lot 93, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 100 Block of East Minnesota Road.

ZONING: The property is currently zoned Limited Industrial District (L-I). The adjacent zones are General Business District (C) and limited Industrial District (L-I) to the north and Limited Industrial District (L-I) to the east, south and west. The property is designated for industrial use in the Land Use Plan.

PROPERTY PROPOSED USE: Industrial use.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Minnesota Place Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Provide street light layout 250' max. separation.

EASEMENTS:

1. Provide dimensions for transmission power line easement within property.
2. Easements dedicated to City of Pharr shall be 15' Exclusive easement to City of Pharr.
3. Show all existing easements within property and adjacent.
4. Verify with H.C.I.D. #2 for any blanket easements.

**SIDEWALK:
ADA:**

1. Drainage plan to be reviewed and approved by H.C.D.D. No. 1.
2. See attached comments.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.

DRAINAGE:

1. See attached comments.

OTHER:

1. Need surveyor signature and seal on plat.
2. Update location map.
3. Provide articles of incorporation for company.
4. See attached comments.

PLAT REVIEW MEETING FOR: *MINNESOTA PLACE SUBDIVISION*

COMMENTS: Initials: O.D.L./ J.R. / R.B. **SEPTEMBER 28, 2021**

WATER:

- Easements will need to be 15' exclusive for City of Pharr
- Will need to instal a 2" flush valve on the northeast corner of property
- Will need to install 8x8x8 MJ tee on N 281
- Will need to show water valves
- Follow City of Pharr Construction Standards Manual

SEWER:

- Will need to provide sewer connection details
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



Pharr

Fire Department



118 S. Cage Blvd. 3rd Floor

Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: MINNESOTA PLACE SUBDIVISION PRELIMINARY

Reviewed by: DAGO SOTO October 6, 2021

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **FACTORY YELLOW** from the manufacture with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2012. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. **FIRE HYDRANT COLOR MUST BE FACTORY YELLOW FROM MANUFACTURE PRIOR TO INSTALLATION.**
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (**FIRE LANE – TOW AWAY ZONE**).
11. Any new subdivision with **GATED COMMUNITY SECURITY SYSTEMS** must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2012; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2012; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. MAY REQUIRED AN ADDITIONAL FIRE HYDRANT TOWARDS THE REAR OF PROPOSED SUBDIVISION.**
 - 2. MAY REQUIRED TO LOOP THE WATER MAIN TO AN APPROVED WATER MAIN.**
-



SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Minnesota Place
Subdivision

DATE: September 28, 2021

REVIEW: Preliminary (comments plans dated 9-8-2021)

PLAT

1. Signature from P.E.
2. Signature from R.P.L.S.
3. Note No. 8---Check value for easting.
4. Note No. 13---Revise note to say... "5.0'-ft sidewalk with ADA wheelchair ramps and landings shall be required along all streets, at the time of building permit phase.
5. Add note--- Erosion and sediment control shall be in accordance with Texas pollution discharge elimination system (T.P.D.E.S.).

SITE PLAN

1. Provide all pertinent City of Pharr details. (water bedding, fire hydrant, sanitary sewer service)
2. Proposed fire hydrant shall be 6'-ft from back of curb, connection from watermain to valve box shall be flange to flange.
3. Include a concrete cradle for sanitary sewer "wyes".
4. Include cross section of E. Minnesota Rd. with 1/3 widening and include chevrons for taper.

DRAINAGE

1. Drainage plan to be reviewed and approved by H.C.D.D. No. 1.
2. Drainage plan to be reviewed and approved at building permit stage.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

1. 1/3 escrow ROW along E. Minnesota Rd. must include the following:
 - 3" HMAC
 - 10" Base
 - 10" Stabilized Subgrade
 - 24" Reinforced Curb & Gutter (3 #3 continuous rebar)
 - 5' Sidewalk



Pharr Public Work



SUBDIVISION: Staff Review Meeting
Minnesota Subdivision
E. Minnesota
Pharr Tx, 78577

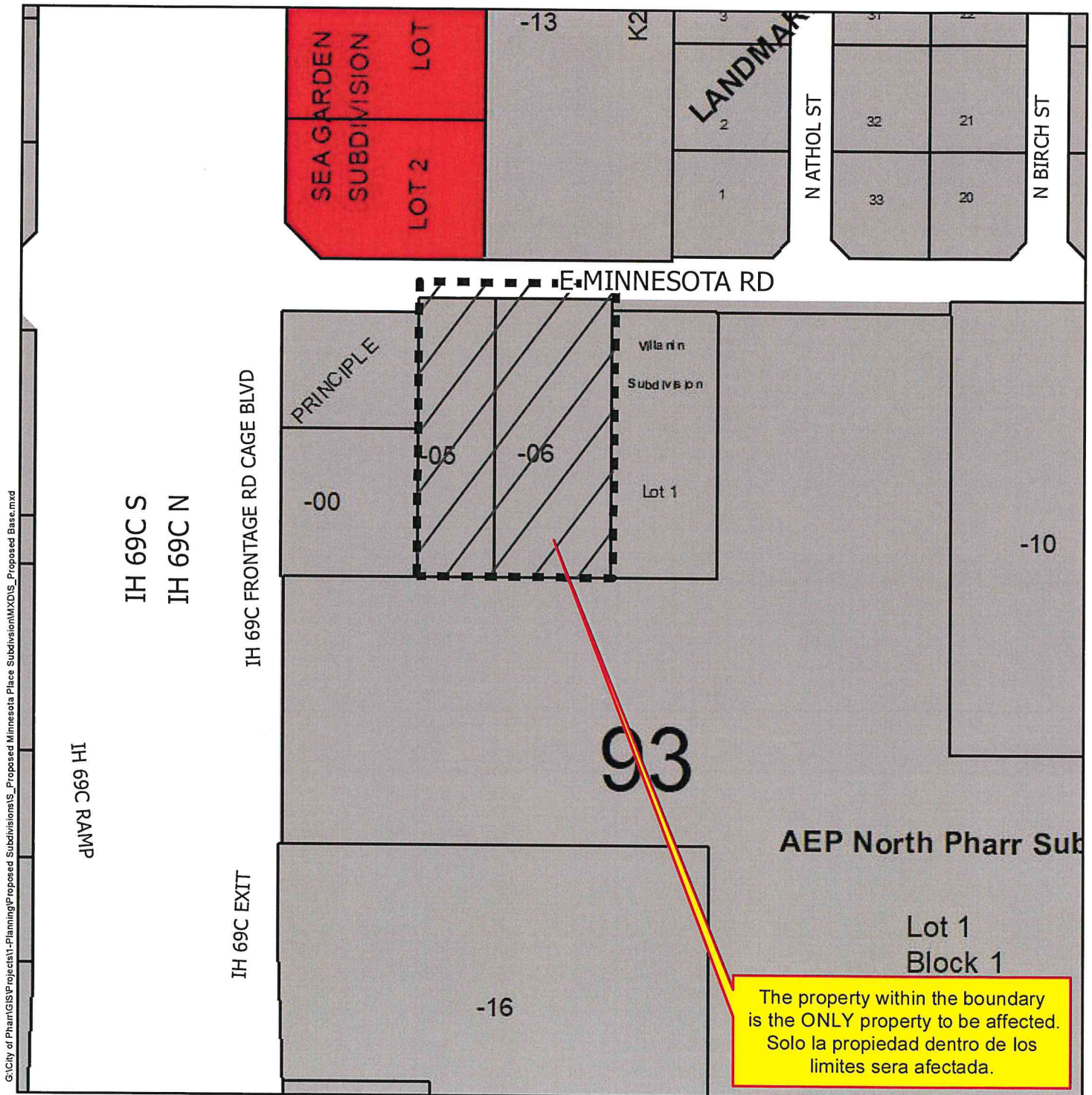
DATE: 09/23/2021
2.62 Acres

Plat Notes:

- No comments

General Notes:

- 18' RCP culvert pipe
- Show Culvert/Driveway details
- Must submit a digital copy (in USB) for review and one (1) hard copy for finalization of the Stormwater Pollution Prevention Plan at pre-construction meeting. Will be reviewed and must be approved prior to any earthwork disturbance

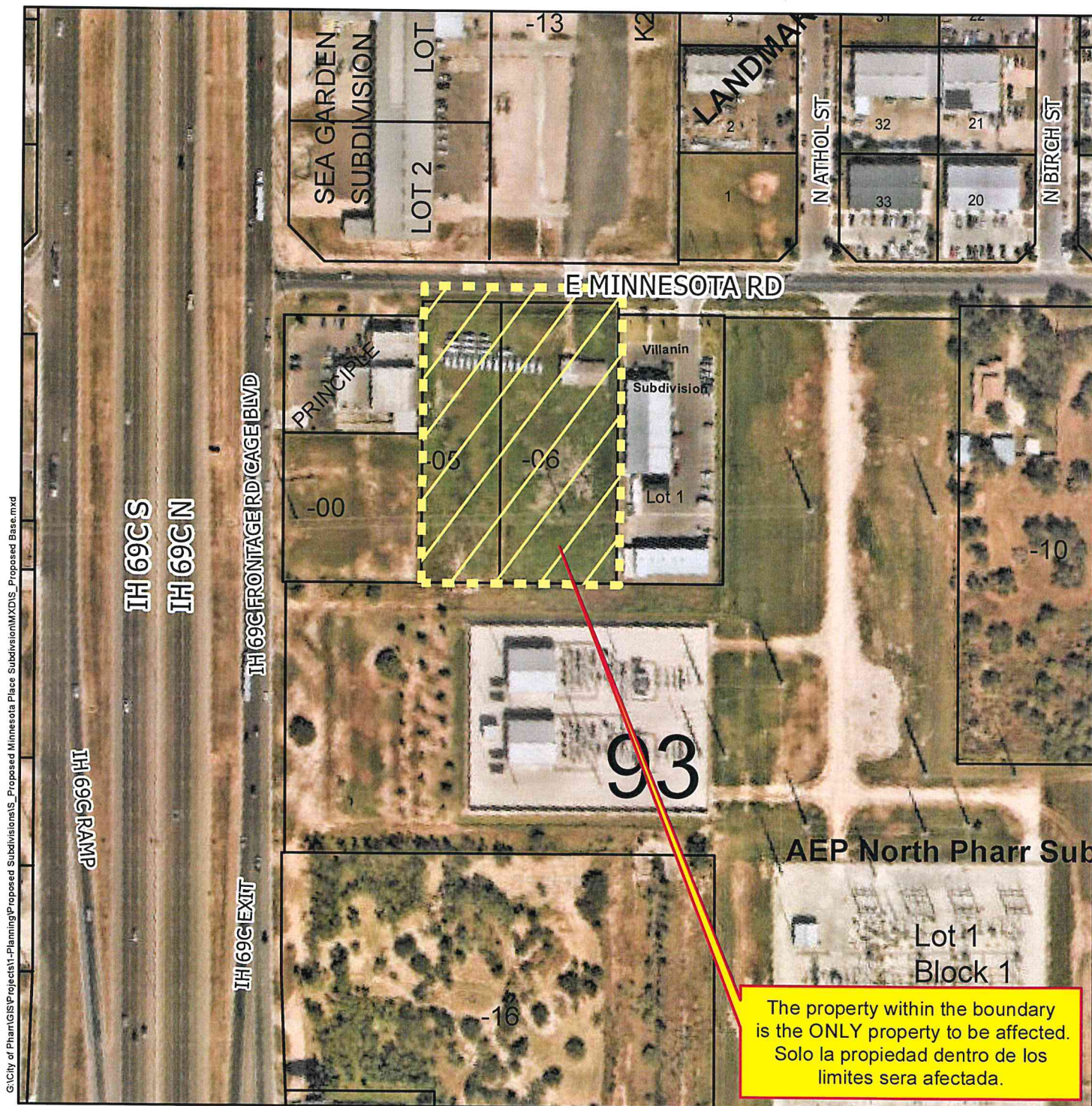


- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional

- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development





- Agricultural Open Space
- Single Family
- Single Family Small Lot
- Residential Multi-Family
- Residential Multi-Family High Density
- Mobile Home

- Townhouse
- HUD Code
- Rail Road R.O.W
- Government Owned
- General Business
- Business District
- Drainage Easement
- Heavy Commercial
- Heavy Industrial
- Limited Industrial
- Neighborhood Commercial
- Office Professional

- PSJA ISD
- Hidalgo ISD
- Valley View ISD
- Planned Unit Development





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.3.

DATE SUBMITTED: October 8, 2021

MEETING DATE: October 11, 2021

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR:

Agenda Item: R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No.3 Subdivision. The property is legally described as being a 2.68 of an acre tract of land being a portion of Lot 1, Posadas Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 1300 Block of West Heritage Dr. **SUB#210828**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No.3 Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Heritage Manor No. 3 Subdivision subject to the listed conditions.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Iris Mata
Roland Gomez
Patricia Rigney

Created/Initiated - 10/8/2021
Approved - 10/8/2021
Final Approval - 10/8/2021



MEMORANDUM

DATE: MONDAY, OCTOBER 11, 2021

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: HERITAGE MANOR NO. 3 SUBDIVISION FILE NO. SUB#210828
--

GENERAL INFORMATION:

APPLICANT: R. E. Garcia & Associates, representing Rosana Riojas, President for Rich Heritage Construction, Inc., is requesting preliminary plat approval of the proposed Heritage Manor No.3 Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 2.68 of an acre tract of land being a portion of Lot 1, Posadas Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 1300 Block of West Heritage Dr.

ZONING: The property is currently zoned Residential Multifamily High Density District (R-MFHD). The adjacent zones are Single Family Residential District (R-1) to the north and west, Heavy Industrial District (H-I) to the east and Residential Multifamily High Density District (R-MFHD) to the south. The property is designated for single family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: Apartments.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Heritage Manor No. 3 Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Show existing street lights.

EASEMENTS:

1. Easements dedicated to City of Pharr shall be 15' Exclusive easement to City of Pharr.
2. Show all existing easements within property and adjacent.
3. Verify with H.C.I.D. #2 for any blanket easements.

**SIDEWALK:
ADA:**

1. Drainage plan to be reviewed and approved by H.C.D.D. No. 1.
2. See attached comments.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr construction standards manual.

SEWER:

1. See attached comments.

DRAINAGE:

1. Drainage report to be approved.
2. See attached comments.

OTHER:

1. Need engineer and surveyor signature on plat.
2. Need to provide documents for abandonment of 20' access road and utility easement.
3. Update location map.
4. Provide articles of incorporation for company.
5. See attached comments.

PLAT REVIEW MEETING FOR: *HERITAGE MANOR No 3 SUBDIVISION*

COMMENTS: **Initials:** O.D.L./ J.R. / R.B. **SEPTEMBER 28, 2021**

WATER:

- Ok as proposed
- Will need to show details on water services
- Easements will need to be 10' exclusive for City of Pharr
- Follow City of Pharr Construction Standards Manual

SEWER:

- Ok as proposed
- Will need to install 6"x 6"x 6" PVC wyes gasket to gasket (saddles not be allowed)
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



Pharr Public Work



SUBDIVISION: Plat Review Meeting
Heritage Manor Subdivision
N. Sugar Rd
Pharr Tx, 78577

DATE: 09/28/2021
2.68 acres

Plat Notes:
No Comments

General Notes:

- Show details of Drainage/Outfall
- Must submit a digital copy (in USB) for review and one (1) hard copy for finalization of the Stormwater Pollution Prevention Plan w/Notice of Intent at pre-construction meeting. Will be reviewed and must be approved prior to any earthwork disturbance and Notice of Proceed (NTP) is issued.



Pharr

Fire Department



118 S. Cage Blvd. 3rd Floor

Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: HERITAGE MANOR # 3 SUBDIVISION PRELIMANRY

Reviewed by: DAGO SOTO

October 7, 2021

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **FACTORY YELLOW** from the manufacture with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2012. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. **FIRE HYDRANT COLOR MUST BE FACTORY YELLOW FROM MANUFACTURE PRIOR TO INSTALLATION.**
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (**FIRE LANE – TOW AWAY ZONE**).
11. Any new subdivision with **GATED COMMUNITY SECURITY SYSTEMS** must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2012; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2012; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. PLAT NOTE: ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE PLAN REVIEW PHASE IN ORDER TO PROVIDE ANY ADDITIONAL FIRE PROTECTION REQUIREMENT.**
- 2. SHALL CALL ALL EXISTING FIRE HYDRANTS**
- 3. SHALL RE- PAINT IF NECESSARY FIRE LANE NO PARKING TOW-AWAY ZONE.**



SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Heritage Manor No. 3
Subdivision

DATE: September 28, 2021

REVIEW: Preliminary (comments plans dated 9-8-2021)

PLAT

1. Signature from P.E.
2. Signature from R.P.L.S.
3. Note No. 5---Use City of Pharr drainage directive: *Storm Water detention is required for this property. The engineer of record for this subdivision plat has estimated that an area of approximately _____ acres and a volume of approximately _____ acre feet will be required for this use. This is an estimate only and detailed analysis may reveal different requirements. No Building permit shall be issued for this platted property until a storm water detention system design has been approved by the City of Pharr for this commercial development.*
4. Remove note No. 9.
5. Note No. 13---Revise note to say... "5.0'-ft sidewalk with ADA wheelchair ramps and landings shall be required along all streets, at the time of building permit phase.
6. Add note---Erosion and sediment control shall be in accordance with Texas pollution discharge elimination system. (T.P.D.E.S.)

SITE PLAN

1. Include a concrete cradle for sanitary sewer "wyes".

DRAINAGE

1. Drainage plan to be reviewed and approved by H.C.D.D. No. 1.
2. Drainage plan to be reviewed and approved at building permit stage.

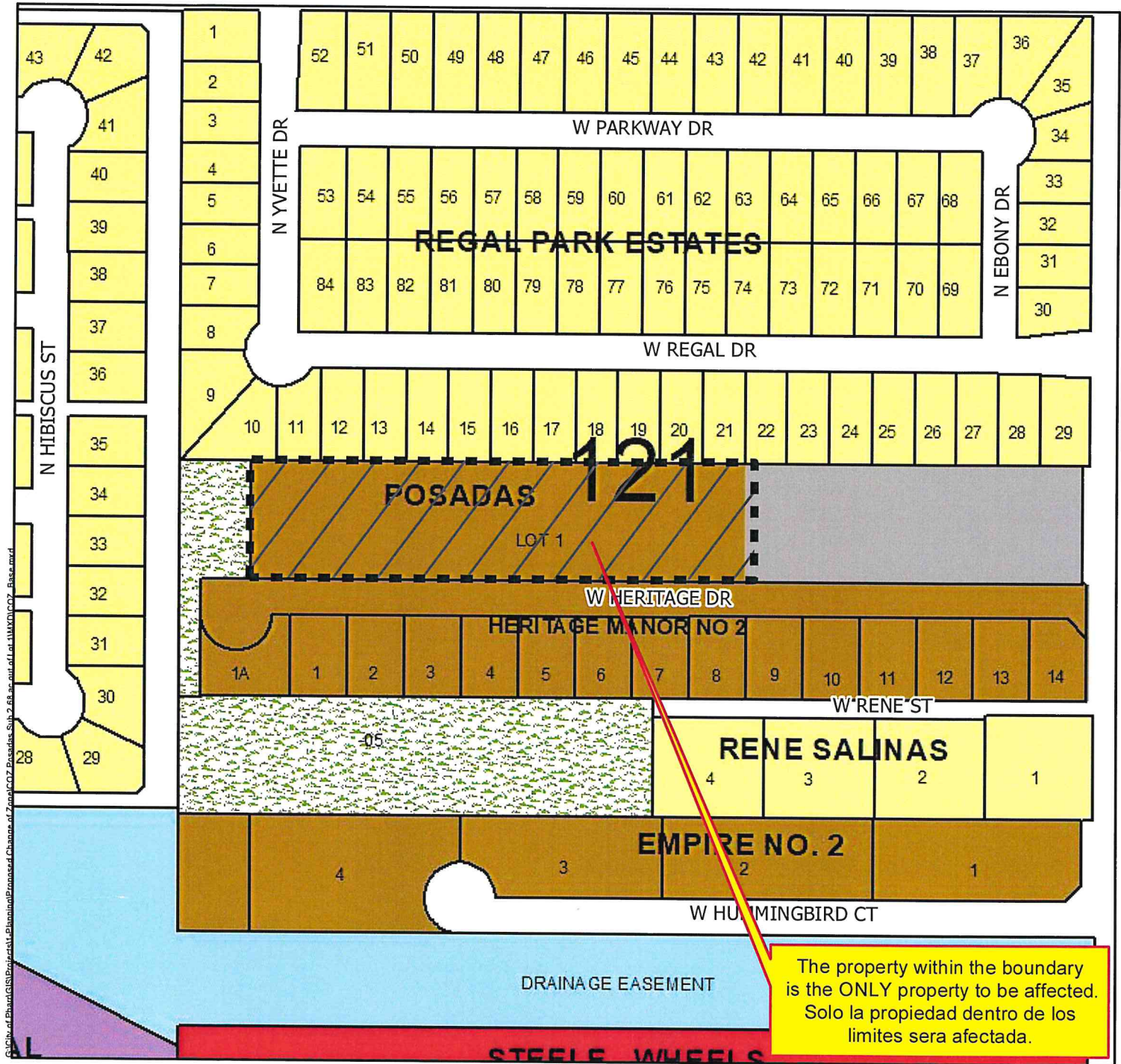
CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.

- Must be Geo referenced, and in an AUTOCAD file.
- Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

Proposed Change of Zone
2.68 acre tract out of Lot 1 Posadas Subdivision
Rosana M Riojas

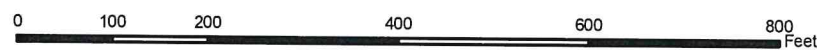


The property within the boundary is the **ONLY** property to be affected.
Solo la propiedad dentro de los limites sera afectada.

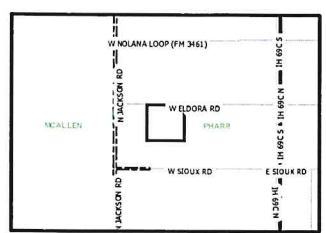
- | | | |
|---------------------------------------|--------------------|--------------------------|
| Agricultural Open Space | Rail Road R.O.W | Neighborhood Commercial |
| Single Family | Government Owned | Office Professional |
| Single Family Small Lot | General Business | PSJA ISD |
| Residential Multi-Family | Business District | Hidalgo ISD |
| Residential Multi-Family High Density | Drainage Easement | Valley View ISD |
| Mobile Home | Heavy Commercial | Planned Unit Development |
| Townhouse | Heavy Industrial | |
| HUD Code | Limited Industrial | |

City of Pharr, Texas
Engineering Department
956.402.4242
Date: 10/7/2021

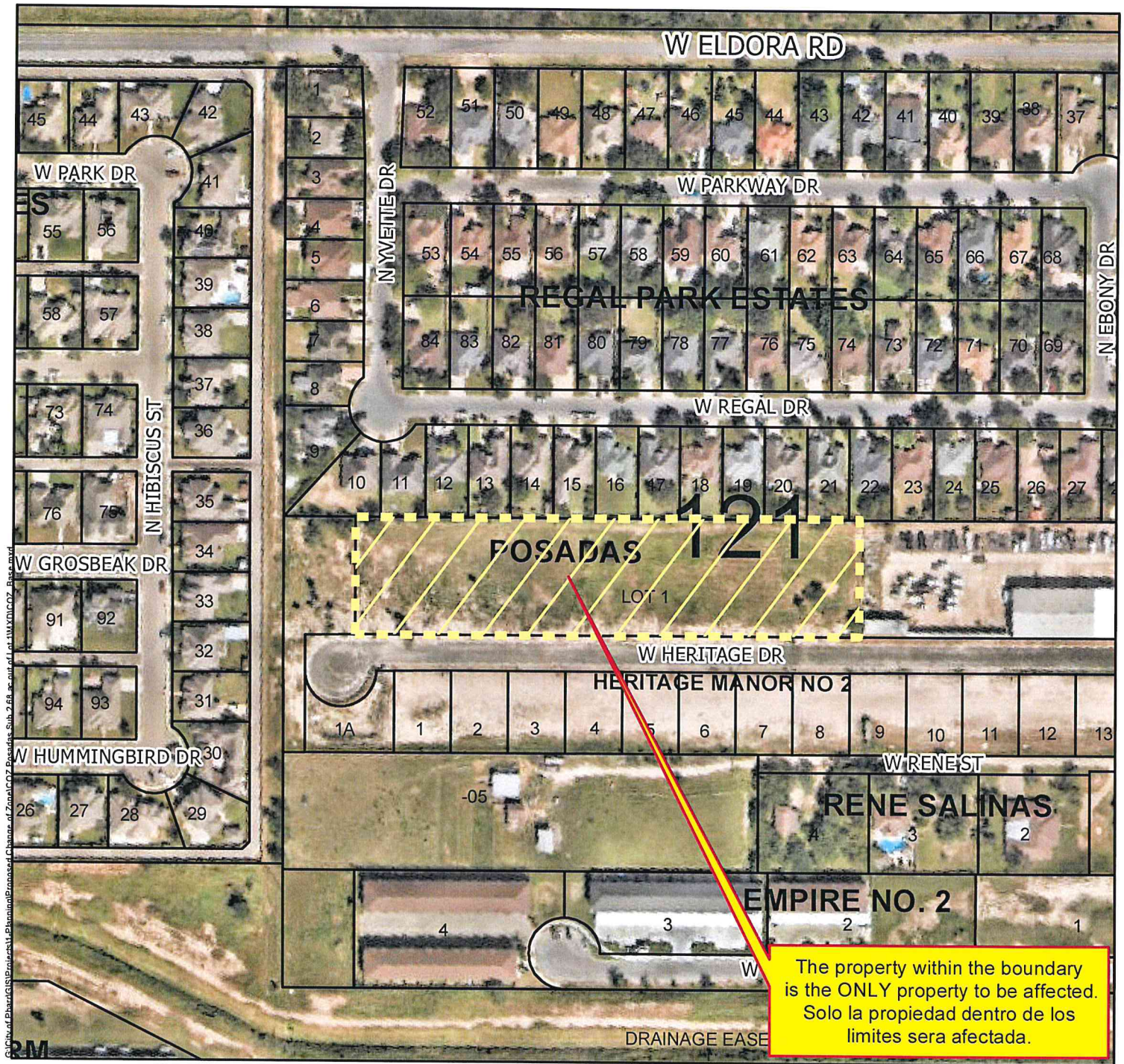
Scale: 1 inch = 200 feet



All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.



Proposed Change of Zone
2.68 acre tract out of Lot 1 Posadas Subdivision
Rosana M Riojas



The property within the boundary is the ONLY property to be affected.
Solo la propiedad dentro de los limites sera afectada.

- | | | |
|---------------------------------------|--------------------|--------------------------|
| Agricultural Open Space | Rail Road R.O.W | Neighborhood Commercial |
| Single Family | Government Owned | Office Professional |
| Single Family Small Lot | General Business | PSJA ISD |
| Residential Multi-Family | Business District | Hidalgo ISD |
| Residential Multi-Family High Density | Drainage Easement | Valley View ISD |
| Mobile Home | Heavy Commercial | Planned Unit Development |
| Townhouse | Heavy Industrial | |
| HUD Code | Limited Industrial | |

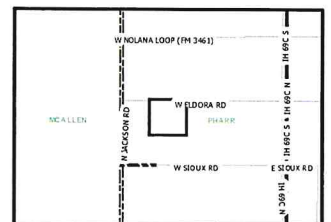
City of Pharr, Texas
Engineering Department
956.402.4242

Date: 7/27/2021

Scale: 1 inch = 200 feet



All information displayed on this map is subject to verification by field survey or by the agency responsible for maintaining the information. This map is intended for general information only.





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.4.

DATE SUBMITTED: October 8, 2021

MEETING DATE: October 11, 2021

FROM: Iris Mata, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: MAS Engineering, LLC., representing Armando Gonzalez, owner, is requesting preliminary plat approval of the proposed Rojas Subdivision. The property is legally described as being a 0.25 acre tract of land out of the north 99.00 feet of the south 198.00 of the north 448 feet of the east 220.00 feet of the west 297.00 feet of Lot 233, Kelly-Pharr Subdivision. Pharr, Hidalgo County, Texas. The property is located within the 1200 Block of West Hall Acres Rd. **SUB#210720**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: MAS Engineering, LLC., representing Armando Gonzalez, owner, is requesting preliminary plat approval of the proposed Rojas Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed Rojas Subdivision subject to the listed conditions.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Iris Mata
Roland Gomez
Patricia Rigney

Created/Initiated - 10/8/2021
Approved - 10/8/2021
Final Approval - 10/8/2021



MEMORANDUM

DATE: MONDAY, OCTOBER 11, 2021
TO: PLANNING AND ZONING COMMISSION
FROM: DEVELOPMENT SERVICES

SUBJECT: ROJAS SUBDIVISION FILE NO. SUB#210720

GENERAL INFORMATION:

APPLICANT: MAS Engineering, LLC., representing Armando Gonzalez, owner, is requesting preliminary plat approval of the proposed Rojas Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 0.25 acre tract of land out of the north 99.00 feet of the south 198.00 of the north 448 feet of the east 220.00 feet of the west 297.00 feet of Lot 233, Kelly-Pharr Subdivision. Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 1200 Block of West Hall Acres Rd.

ZONING: The property is currently zoned Single Family Residential District (R-1). The adjacent zones are General Business District (C) to the north and Single Family Residential District (R-1) to the east, south and west. The property is designated for single family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: Residential lot.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed Rojas Subdivision subject to the following conditions set before you.

**STREETS, PAVING
AND R.O.W.:**

1. In compliance.

EASEMENTS:

1. Label all easements on adjacent.
2. Show all the dedicated easements on the plat if any (label existing or dedicated by plat).

**SIDEWALK:
ADA:**

1. In compliance.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

SEWER:

1. See attached comments.
2. Follow City of Pharr Construction Standards Manual.

DRAINAGE:

1. Drainage report to be reviewed and approved by H.C.D.D. No. 1.

OTHER:

1. Provide all details for sewer and water.
2. Arrange plat numbers.
3. Verify ownership with deed and plat.
4. H.C.I.D. #2, to provide petition for exclusion and blanket easement, project engineer needs to review items with H.C.I.D. #2
5. Change scale to 1" = 20'.
6. Label all monuments on plat layout. Full complete callout.
7. Provide signatures and seals for engineer and surveyor.
8. Update location map to show recorded subdivisions and street names.
9. Staff notes are attached.

STAFF REVIEW MEETING FOR: *ROJAS SUBDIVISION*

COMMENTS: **Initials:** J.R. / O.D.L. **SEPTEMBER 23, 2021**

WATER:

- Ok as proposed
- Will need to show 24" water line location on as built
- Follow City of Pharr Construction Standards Manual

SEWER:

- Ok as proposed.
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



Pharr

Fire Department



118 S. Cage Blvd. 3rd Floor

Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: ROJAS SUDIVISION PRELIMINARY

Reviewed by: DAGO SOTO

October 6, 2021

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **FACTORY YELLOW** from the manufacture with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2012. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
8. A \$25.00 fee for each **BLUE MARKER** to be affixed on pavement by city to indicate location of the fire hydrant. **FIRE HYDRANT COLOR MUST BE FACTORY YELLOW FROM MANUFACTURE PRIOR TO INSTALLATION.**
9. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
10. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (**FIRE LANE – TOW AWAY ZONE**).
11. Any new subdivision with **GATED COMMUNITY SECURITY SYSTEMS** must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2012; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

12. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2012; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
13. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
14. All water valves (hydrant and main) shall be open prior to final inspection.
15. Public Utilities personnel must be advised prior to opening and closing existing water valves.
16. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- 1. THE PROPOSED ROJAS SUBDIVISION IS WITHIN REASONABLE COMPLIANCE.**



SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Rojas Subdivision

DATE: September 28, 2021

REVIEW: Preliminary (comments plans dated 9-8-2021)

PLAT

1. Signature and seal from P.E.
2. Signature and seal from R.P.L.S.
3. Note No. 8---Revise note to say... "5.0'-ft sidewalk with ADA wheelchair ramps and landings shall be required along all streets, at the time of building permit phase.
4. Note No. 14---Remove the term "commercial lot".
5. Add note---Owners to maintain detention/retention area.
6. Add note--- Erosion and sediment control shall be in accordance with Texas pollution discharge elimination system (T.P.D.E.S.).
7. General note numbers are out of order.

SITE PLAN

DRAINAGE

1. Drainage plan to be reviewed and approved by H.C.D.D. No. 1.
2. Drainage plan to be reviewed and approved at building permit stage.

CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS



Pharr Public Work



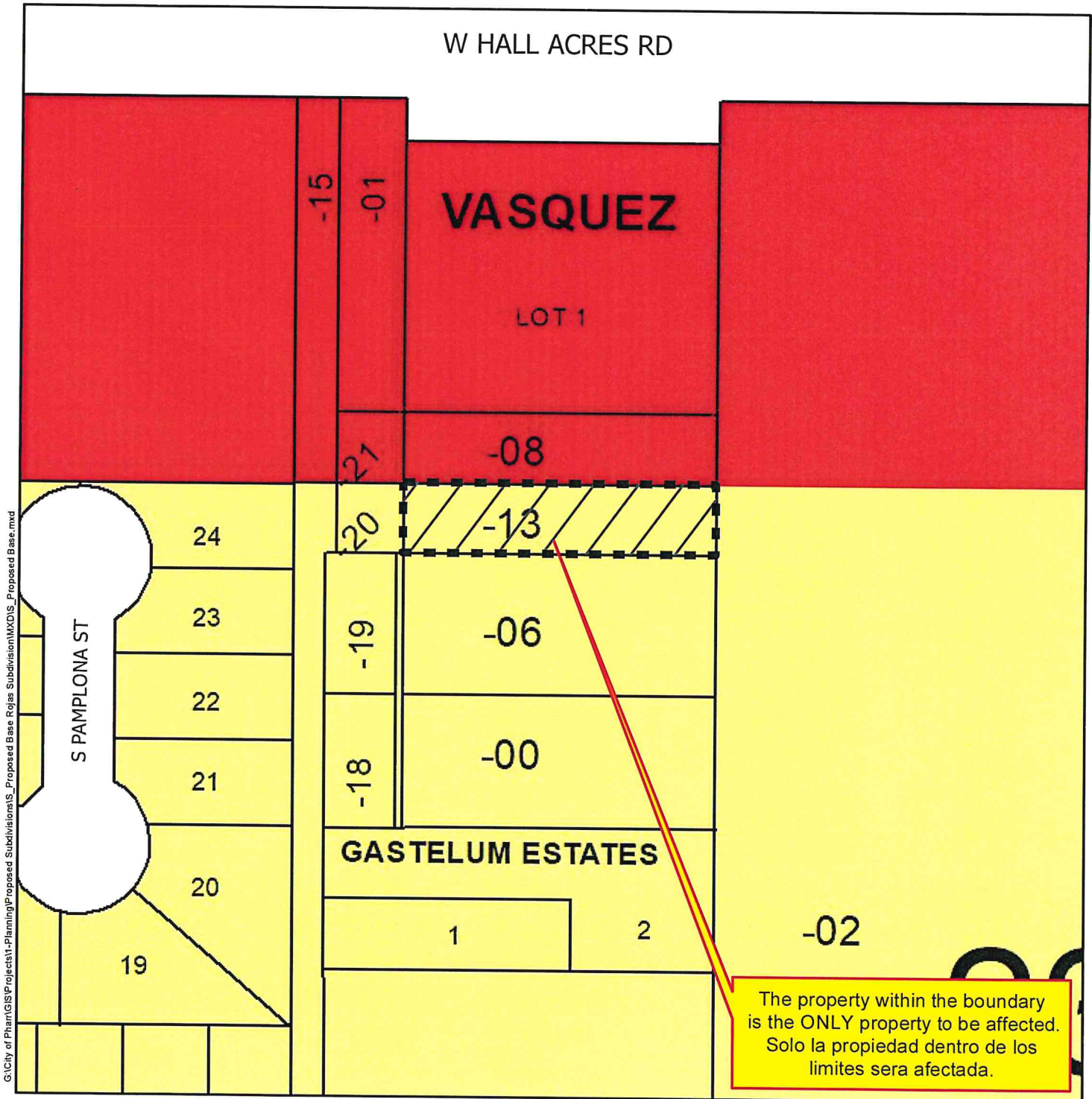
SUBDIVISION: Plat Review Meeting
Rojos Subdivision
W. Hall Acres
Pharr Tx, 78577

DATE: 09/28/2021
0.25 Acres

Plat Notes:
No Comments

General Notes:

- Approved Drainage Report
- Erosion and Sediment control plan in place prior to any earth disturbance



- | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | |
| Mobile Home | Business District | Office Professional | |





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- | | | | |
|---------------------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | Townhouse | Drainage Easement | PSJA ISD |
| Single Family | HUD Code | Heavy Commercial | Hidalgo ISD |
| Single Family Small Lot | Rail Road R.O.W | Heavy Industrial | Valley View ISD |
| Residential Multi-Family | Government Owned | Limited Industrial | Planned Unit Development |
| Residential Multi-Family High Density | General Business | Neighborhood Commercial | |
| Mobile Home | Business District | Office Professional | |