

AGENDA
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. August 9, 2021 – 6:00 PM

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and city ordinances. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

PRESIDING:

A. CALL TO ORDER:

- 1) Roll call and possible action on the excusing of any absent member.

B. PUBLIC TESTIMONY: *(Ordinance No. O-2019-45). A person intending on addressing the governing body may speak at a scheduled meeting of the governing body following registration with the presiding clerk and prior to the scheduled meeting. A registered speaker may speak only on items on the agenda and may not exceed 1.5 minutes when addressing the board regarding an agenda item. A registered speaker may not donate time to another speaker. A sign-in form for public testimony shall be promulgated by the presiding clerk and be made available at the city clerk's office. A person may sign up for public testimony beginning at the time the agenda is posted for the meeting. A person may not sign up later than one hour before the posted meeting is scheduled to begin. No registered speaker may be allowed to speak regarding an item once the public testimony portion of the agenda has ended.*

C. APPROVAL OF MINUTES:

- 1) Minutes of July 26, 2021.

D. PUBLIC HEARING: *(Ordinance No. O-2019-31). A registered speaker during the public hearing may not exceed 1.5 minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the presiding clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.*

- 1) Las Margaritas Restaurant Inc. has filed with the Planning and Zoning Commission a request for a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Business District (C-2). The property is legally described as being all of Lots 7-10, Block 28, Pharr Original Townsite Subdivision, Pharr, Hidalgo County, Texas. The property is physically located at 106 North Cage Boulevard.
CUP#210740

E. PLATS:

- 1) J&R Engineering, LLC, representing Cipriano Garza Barajas, President of Warehousing leasing of Texas, LLC is requesting preliminary plat approval of the proposed MAS Logistics Subdivision. The property is legally described as being a 12.560 acre tract of land, being a part or portion of the Michael Tract out of Porcion 69, A-691, Pharr, Hidalgo County, Texas. The property is located within the 1300 Block of West Produce Drive. **SUB#210616**

F. ANNOUNCEMENTS/OTHER BUSINESS:

G. CLOSED SESSION: *In accordance with Chapter 551 of the Texas Gov't. Code, the Planning and Zoning Commission hereby gives notice that it may meet in a closed (non-public) executive session to discuss the items listed on the public portion of the meeting agenda.*

Pursuant to Section 551.071, the Commission may convene in a closed, non-public meeting with its attorney and discuss any matters related to **legal advice on pending or contemplated litigation, settlement offer, and/or on a matter in which the duty of the attorney to the governmental body under the Texas Disciplinary Rules of Professional Conduct of the State Bar of Texas clearly conflicts with this chapter.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.072, the Commission may convene in a closed, non-public meeting to discuss any matters related to real property and deliberate the purchase, exchange, lease, or value of **real property as such would be detrimental to negotiations between the City and a third party in an open meeting.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.074, the Commission may convene in a closed, non-public meeting to discuss any matters related to **appointment, employment, evaluation, reassignment, duties and discipline or dismissal of a public officer or employee and to hear any complaints or charges against an officer or employee.** The City and its attorney may also discuss such issues with the appropriate staff including members so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.076, the Commission may convene in a closed, non-public meeting to discuss any matters on the **deployment, or specific occasions for implementation, of security personnel or devices.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

Pursuant to Section 551.084, the Commission may convene in a closed, non-public meeting to discuss any matters involving an **investigation and may exclude a witness from hearing during the examination of another witness in the investigation.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

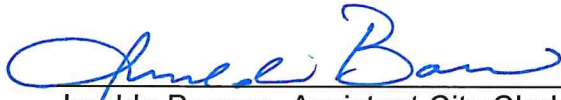
Pursuant to Section 551.087, the Commission may convene in a closed, non-public meeting to discuss any matters regarding **economic development issues.** The City and its attorney may also discuss such issues with the appropriate staff so as to obtain necessary and relevant information so that such discussion is informative and developed.

H. RECONVENE: *into Regular Session, and consider action, if necessary on any items(s) discussed in closed session.*

I. ADJOURNMENT:

I, certify that the above notice of public hearing was posted on the bulletin board at City Hall on this the 6th day of August 2021 at 10:00 a.m., and on the City of Pharr web site (www.pharr-tx.gov)




Imelda Barrera, Assistant City Clerk

MINUTES
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. July 26, 2021 - 6:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, July 26, 2021, and following is the record of attendance.

MEMBERS PRESENT: Danny Wylie
Charlie Ramirez

Romeo Robles
Rafael Munguia

ABSENT: Luis Madrigal Andy Castro
Jonathan Larraga

OTHERS PRESENT: See attached list

STAFF PRESENT: Roy Rodriguez, Assistant Director/Building Official
Eddie Martinez, Planner II
Anaisa Licerio, Planner I
Nelly Terrazas, Planner I
Carolina Herrera, Secretary
Daniel Gonzalez, Assistant City Attorney

ITEM A. CALL TO ORDER

Chairman, Danny Wylie, called the meeting to order at 6:03 p.m. Roll call established a quorum.

Charlie Ramirez moved to excuse the absent members. Rafael Munguia seconded the motion and when put to a vote it carried unanimously.

ITEM B. PUBLIC TESTIMONY

None.

ITEM C. APPROVAL OF MINUTES

1) MINUTES OF JULY 12, 2021

Chairman, Danny Wylie, introduced the item.

There being no discussion Charlie Ramirez moved to approve the minutes of July 12, 2021. Rafael Munguia seconded the motion and when put to a vote, it carried unanimously.

ITEM D. PUBLIC HEARING

- 1) GILBERTO ESPINO HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO GENERAL BUSINESS DISTRICT (C). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 0.5 ACRES, OUT OF THE SOUTH 5 ACRES, MORE OR LESS, OUT OF LOT 236 KELLY PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED AT 2816 S. CAGE BLVD. COZ#210637**

Anaisa Licerio, Planner I, introduced the item and stated the property is currently zoned Agricultural and/or Open Space District (A-O). The property and the property to the north, south and west were zoned to Agricultural and/or Open Space District (A-O) when the property was annexed to the City of Pharr on May 4, 1976. The property to the north was rezoned to General Business District (C) on December 4, 2007. The properties to the east were rezoned to Planned Unit Development (PUD) on December 21, 1982. There have been no other zoning requests within the vicinity of the subject property since that time. The property is generally designated for Commercial use in the Land Use Plan. The General Business District is established to provide adequate space and site diversification for most types of commercial development in the City of Pharr. Larger shopping centers and most existing commercial strips along major arterials would be included in this district. The noise, traffic, litter, late-night hours, and possible blighting influences require adequate buffering from residential areas, and the traffic from such uses should not pass through residential areas, except on arterials or major collectors. Eight (8) letters were mailed out to the surrounding property owners and a legal notice was published in the Advance News Journal. Staff received one (1) telephone call for information only and one (1) telephone call in support of the item.

Anaisa Licerio, Planner I, further stated staff recommended approval of request to re-zone from Agricultural and/or Open Space District (A-O) to General Business District (C) as the property meets area requirements, has adequate ingress and egress, and is in line with the future land use plan. If approved, the owner must comply with all City Ordinances and City Department requirements.

Chairman, Danny Wylie, opened the public hearing and asked if anyone signed up to speak. There being no one in the affected area who signed up, the public hearing was closed. Mr. Wylie opened the items for discussion.

There being no discussion Rafael Munguia moved to approve the request re-zone from Agricultural and/or Open Space District (A-O) to General Business District (C). Charlie Ramirez second the motion and when put to a vote, it carried unanimously.

- 2) **GILBERTO ESPINO HAS FILED WITH THE PLANNING AND ZONING COMMISSION A REQUEST FOR A CHANGE OF ZONE FROM AGRICULTURAL AND/OR OPEN SPACE DISTRICT (A-O) TO RESIDENTIAL MULTI-FAMILY DISTRICT (R-MF). THE PROPERTY IS LEGALLY DESCRIBED AS BEING 4.19 ACRES, OUT OF THE SOUTH 5 ACRES, MORE OR LESS, OUT OF LOT 236 KELLY PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS PHYSICALLY LOCATED AT 2816 S. CAGE BLVD. COZ#210638**

Anaisa Licerio, Planner I, introduced the item and stated property is currently zoned Agricultural and/or Open Space District (A-O). A portion of the property and the properties to the north, east and south were zoned to Agricultural and/or Open Space District (A-O) when the property was annexed to the City of Pharr on May 4, 1976. A portion of the property and the property to the north and south were zoned to Agricultural and/or Open Space District (A-O) when the property was annexed to the City of Pharr on June 7, 1983. The property to the west was zoned to Agricultural and/or Open Space District (A-O) when the property was annexed to the City of Pharr on November 11, 1994. Later, the property to the west was rezoned to Single Family Residential District (R-1) on February 21, 1995 and the property to the north was rezoned to General Business District (C) on December 4, 2007. The properties to the east were rezoned to Planned Unit Development (PUD) on December 21, 1982. There have been no other zoning requests within the vicinity of the subject property since that time. The property is generally designated for Single Family Residential use in the Land Use Plan. The Residential Multi-Family District (R-MF) is established to provide adequate space and site diversification for low to medium density residential development where adequate streets and other community facilities are available for present and future needs. This district is established for duplex-fourplex development as low to medium-density use, and additional requirements for streets, water and fire protection, wastewater, drainage and adequate open space shall be met before zoning to such use. It is established to protect residential areas as far as possible against heavy traffic and zoned promote the most desirable use of land and direction of building development not in conflict with the city's comprehensive plan. Eleven (11) letters were mailed out to the surrounding property owners and a legal notice was published in the Advance News Journal. Staff received one (1) telephone call for information only and one (1) telephone call in support of the item.

Anaisa Licerio, Planner I, further stated staff recommended approval of to re-zone from Agricultural and/or Open Space District (A-O) to Residential Multi-Family District (R-MF) as the property meets area requirements and has adequate ingress and egress. If approved, the owner must comply with all City Ordinances and City Department requirements.

Chairman, Danny Wylie, opened the public hearing and asked if anyone signed up to speak. There being no one in the affected area who signed up, the public hearing was closed. Mr. Wylie opened the items for discussion.

Rafael Munguia asked if the change would align with the Future Land Use Plan.

Anaisa Licerio, Planner I, stated the Future Land Use Plan for this item would be Single Family.

There being no further discussion Rafael Munguia moved to approve the request to re-zone Agricultural and/or Open Space District (A-O) to Residential Multi-Family District (R-MF). Charlie Ramirez second the motion and when put to a vote, it carried unanimously.

ITEM G. PLAT APPROVAL

- 1) BARRERA INFRASTRUCTURE GROUP, INC., REPRESENTING JACINTO ANDRES GARCIA, OWNER, IS REQUESTING FINAL PLAT APPROVAL OF THE PROPOSED ANDRES GARCIA SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 1.00 ACRE GROSS TRACT OF LAND LYING AND BEING THE EAST PORTION OF LOT 5, BLOCK 11, A.J. MCCOLL SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 1200 BLOCK OF WEST GREG DRIVE. SUB#201032**

Anaisa Licerio, Planner I, introduced the item. She stated the property is currently zoned Single Family Residential District (R-1). The adjacent zones are Single Family Residential District (R-1) to the north, south, east and west. The property is designated for single family residential use in the Land Use Plan. She added no variances were being requested and staff recommends final plat approval of the proposed Andres Garcia Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Charlie Ramirez moved to approve the request for final plat approval of the proposed Andres Garcia Subdivision. Rafael Munguia seconded the motion and when put to a vote, it carried unanimously.

- 2) SALINAS ENGINEERING & ASSOCIATES., REPRESENTING ROBERTO CAVAZOS AND NYDIA CAVAZOS, OWNER'S ARE REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED TROPICAL SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 0.51 ACRE TRACT OF LAND, MORE OR LESS OUT OF AND FORMING A PART OF LOT 4, BELL DEVELOPMENT "E" SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED AT THE 1900 BLOCK OF NORTH VETERANS BLVD. ("I" ROAD). SUB#201236**

Anaisa Licerio, Planner I, introduced the item. She stated the property is currently zoned General Business District (C). The adjacent zones are Heavy Commercial District (H-C) and Residential Multi-Family District (R-MF) to the north, City limits to the east, General Business District (C) to the south and Residential Multi-Family High Density District (R-MFHD) to the west. The property is designated for commercial and single-family residential use in the Land Use Plan. She added no variances were being requested and staff recommends preliminary plat approval of the proposed Tropical Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Rafael Munguia moved to approve the request for preliminary plat approval of the proposed Tropical Subdivision. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

- 3) MELDEN & HUNT INC., REPRESENTING HUMBERTO TIJERINA AND EVANAGELINA A. TIJERINA, TRUSTEES, ARE REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED MASTER PLAN CIRCLE K PHARR SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 6.998 ACRES SITUATED IN THE CITY OF PHARR, CONSISTING OF 6.498 ACRES OUT OF LOT 220 KELLY-PHARR SUBDIVISION AND 0.500 OF ONE ACRE BEING ALL OF LOT 1, ORDONEZ SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 1800 BLOCK OF SOUTH 69C. SUB#210513**

Anaisa Licerio, Planner I, introduced the item. She stated the property currently zoned General Business District (C) and Agricultural Open Space District (A-O). The adjacent zones are Planned Unit Development District (PUD) to the north and General Business District (C) to the east, Office Professional District (OP) to the south and Agricultural Open Space District (A-O) to the west. The property is designated for commercial and single-family residential use in the Land Use Plan. She added no variances were being requested and staff recommends preliminary plat approval of the proposed Master Plan Circle K Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Rafael Munguia moved to approve the request for preliminary plat approval of the proposed Master Plan Circle K Subdivision. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

- 4) **MELDEN & HUNT INC., REPRESENTING ROSA MARIA A. VIGON, MANAGER FOR F.H. INVESTMENTS, LTD, A TEXAS LIMITED PARTNERSHIP, IS REQUESTING PRELIMINARY PLAT APPROVAL OF THE PROPOSED MASTER PLAN TRACTOR SUPPLY SOUTH PHARR SUBDIVISION. THE PROPERTY IS LEGALLY DESCRIBED AS BEING A 13.355 ACRES OUT OF LOT 317 KELLY-PHARR SUBDIVISION, PHARR, HIDALGO COUNTY, TEXAS. THE PROPERTY IS LOCATED WITHIN THE 6800 BLOCK OF S. CAGE BLVD. SUB#210617**

Anaisa Licerio, Planner I, introduced the item. She stated the property is currently zoned Heavy Commercial District (HC) and Residential Mobile Home District (R-MH). The adjacent zones are General Business District (C) and Single Family Residential District (R-1) to the north, General Business District (C) and Residential Mobile Home District (R-MH) to the south, Single Family Residential District (R-1), Residential Mobile Home District (R-MH) and Neighborhood Commercial District (N-C) to the east and General Business District (C) to the west. The property is designated for commercial and single family residential use in the Land Use Plan. She added no variances were being requested and staff recommends preliminary plat approval of the proposed Master Plan Tractor Supply South Pharr Subdivision subject to the listed conditions.

At this time Chairman, Danny Wylie, advised a public hearing was not required and opened the item for discussion and action.

There being no discussion Rafael Munguia moved to approve the request for preliminary plat approval of the proposed Master Plan Tractor Supply South Pharr Subdivision. Charlie Ramirez seconded the motion and when put to a vote, it carried unanimously.

ITEM F. ANNOUNCEMENTS/OTHER BUSINESS:

None.

ITEM G. CLOSED SESSION

None.

ITEM H. RECONVENE

None.

ITEM I. ADJOURNMENT

There being no further business Romeo Robles moved to adjourn. Rafael Munguia second the motion and when put to a vote, the motion carried unanimously. Meeting adjourned at 6:22 p.m.

Chairman, Danny Wylie

ATTEST:

Andy Castro, Secretary

APPROVED: _____



AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: D.1.

DATE SUBMITTED: August 5, 2021

MEETING DATE: August 9, 2021

FROM: Carolina Herrera, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: Las Margaritas Restaurant Inc. has filed with the Planning and Zoning Commission a request for a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Business District (C-2). The property is legally described as being all of Lots 7-10, Block 28, Pharr Original Townsite Subdivision, Pharr, Hidalgo County, Texas. The property is physically located at 106 North Cage Boulevard. **CUP#210740**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: Las Margaritas Restaurant Inc. has filed with the Planning and Zoning Commission a request for a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Business District (C-2).

Fiscal Consideration:

Staff Recommendation: Development Services is recommending approval of the Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Business District (C-2) subject to applicant and site being in compliance with all City Ordinances and City Department requirements.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Carolina Herrera
Roland Gomez
Patricia Rigney

Created/Initiated - 8/5/2021
Approved - 8/5/2021
Final Approval - 8/5/2021



MEMORANDUM

DATE: MONDAY, AUGUST 09, 2021
TO: PLANNING AND ZONING COMMISSION
FROM: DEVELOPMENT SERVICES

SUBJECT: CONDITIONAL USE PERMIT FOR ABC FILE NO. CUP#210740 (Las Margaritas Restaurant Inc.)
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GENERAL INFORMATION:

APPLICANT: Las Margaritas Restaurant Inc. has filed with the Planning and Zoning Commission a request for a Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Business District (C-2).

LEGAL DESCRIPTION: The property is legally described as being all of Lots 7-10, Block 28, Pharr Original Townsite Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is physically located at 106 North Cage Boulevard.

ZONING: The property is currently zoned Business District (C-2). The surrounding area is zoned Business District (C-2) to the north and west and Heavy Commercial District (H-C) to the east and south. This area is generally designated for commercial the Land Use Plan.

COMMENTS:	POLICE CHIEF:	Recommends approval of the Conditional Use Permit.
	FIRE DEPARTMENT:	Recommends approval of the Conditional Use Permit
	CODE COMPLIANCE DIVISION:	Recommends approval of the Conditional Use Permit.

HEALTH DIVISION:

Recommends approval of the Conditional Use Permit.

PLANNING DIVISION:

Recommends approval of the Conditional Use Permit.

**NOTIFICATION
OF PUBLIC:**

Eighteen (18) surrounding property owners were notified of the request by letter and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice.

**DEVELOPMENT
SERVICES**

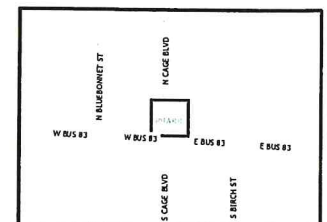
RECOMMENDATIONS:

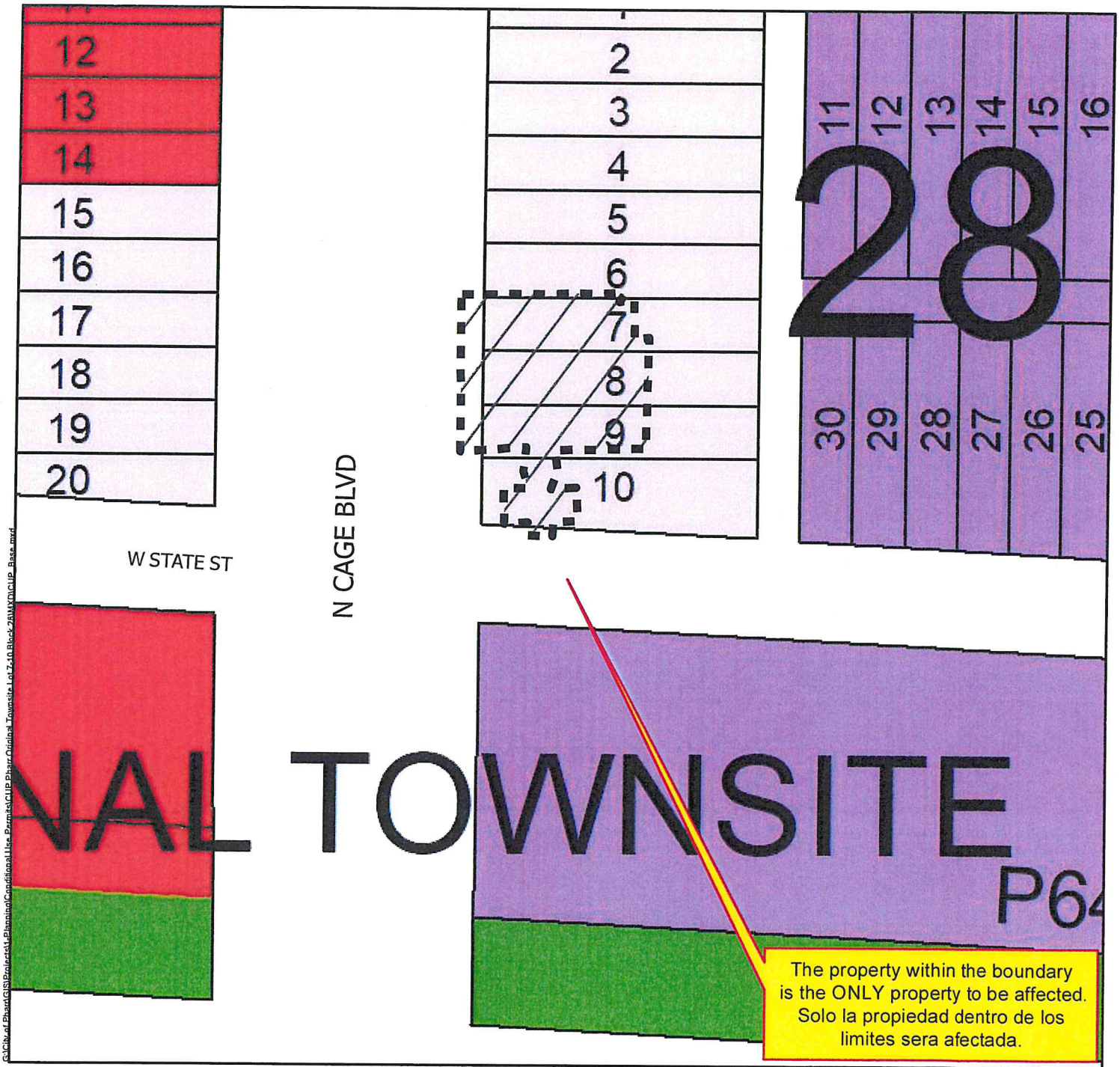
Development Services is recommending approval of the Conditional Use Permit to allow the sale of alcoholic beverages for on-premise consumption in a Business District (C-2) subject to applicant and site being in compliance with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of **August 16, 2021** at **4:00 p.m.**

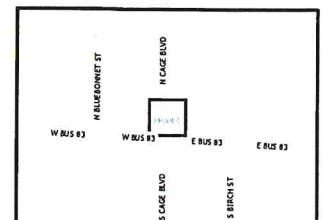


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|---------------------------------------|--------------------|--------------------------|
| Agricultural Open Space | Rail Road R.O.W | Neighborhood Commercial |
| Single Family | Government Owned | Office Professional |
| Single Family Small Lot | General Business | PSJA ISD |
| Residential Multi-Family | Business District | Hidalgo ISD |
| Residential Multi-Family High Density | Drainage Easement | Valley View ISD |
| Mobile Home | Heavy Commercial | Planned Unit Development |
| Townhouse | Heavy Industrial | |
| HUD Code | Limited Industrial | |



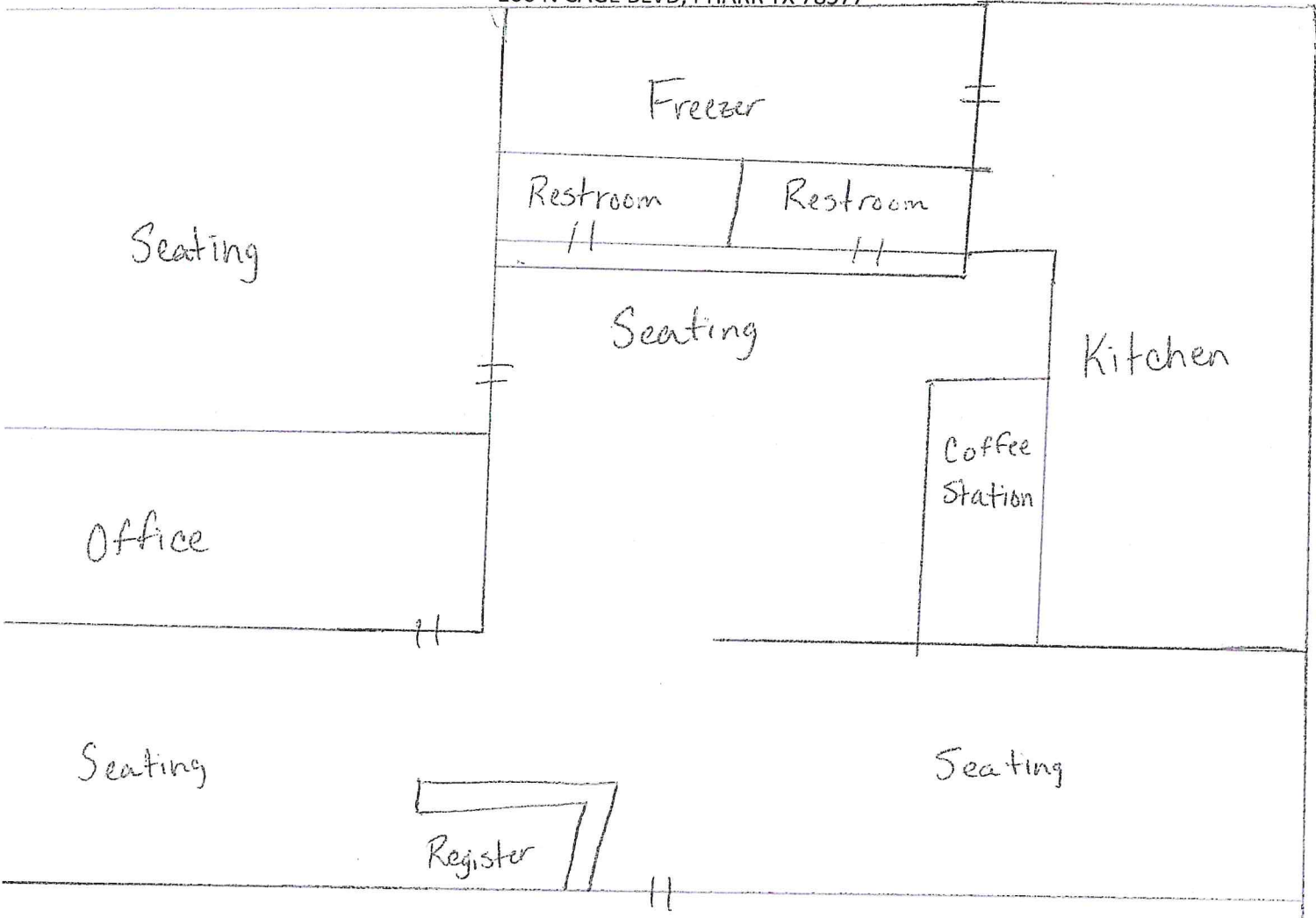


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|---------------------------------------|--------------------|--------------------------|
| Agricultural Open Space | Rail Road R.O.W | Neighborhood Commercial |
| Single Family | Government Owned | Office Professional |
| Single Family Small Lot | General Business | PSJA ISD |
| Residential Multi-Family | Business District | Hidalgo ISD |
| Residential Multi-Family High Density | Drainage Easement | Valley View ISD |
| Mobile Home | Heavy Commercial | Planned Unit Development |
| Townhouse | Heavy Industrial | |
| HUD Code | Limited Industrial | |



LAS MARGARITAS RESTAURANT, INC

106 N CAGE BLVD, PHARR TX 78577





AGENDA MEMORANDUM



BOARD: Planning & Zoning Commission

AGENDA ITEM #: E.1.

DATE SUBMITTED: August 5, 2021

MEETING DATE: August 9, 2021

FROM: Carolina Herrera, Secretary

DEPARTMENT: Development Services

DIRECTOR: Roland Gomez

Agenda Item: J&R Engineering, LLC, representing Cipriano Garza Barajas, President of Warehousing leasing of Texas, LLC is requesting preliminary plat approval of the proposed MAS Logistics Subdivision. The property is legally described as being a 12.560 acre tract of land, being a part or portion of the Michael Tract out of Porcion 69, A-691, Pharr, Hidalgo County, Texas. The property is located within the 1300 Block of West Produce Drive. **SUB#210616**

Classification: Regular

(* If closed session, City Attorney must review and approve.)

Issue: J&R Engineering, LLC, representing Cipriano Garza Barajas, President of Warehousing leasing of Texas, LLC is requesting preliminary plat approval of the proposed MAS Logistics Subdivision.

Fiscal Consideration:

Staff Recommendation: Development Services recommends preliminary plat approval of the proposed MAS Logistics Subdivision subject to the listed conditions.

Alternatives:

Exclude Material from Public Packet? No

Reason:

ROUTING:

Carolina Herrera
Roland Gomez
Patricia Rigney

Created/Initiated - 8/5/2021
Approved - 8/5/2021
Final Approval - 8/5/2021



MEMORANDUM

DATE: MONDAY, AUGUST 09, 2021

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: MAS LOGISTICS SUBDIVISION FILE NO. SUB#210616

GENERAL INFORMATION:

APPLICANT: J&R Engineering, LLC, representing Cipriano Garza Barajas, President of Warehousing leasing of Texas, LLC is requesting preliminary plat approval of the proposed MAS Logistics Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 12.560 acre tract of land, being a part or portion of the Michael Tract out of Porcion 69, A-691, Pharr, Hidalgo County, Texas.

LOCATION: The property is located within the 1300 Block of West Produce Drive.

ZONING: The property is currently zoned Limited Industrial District (L-I). The adjacent zones are Limited Industrial District (L-I) to the north, south, east and Extra Territorial Jurisdiction (ETJ) and Limited Industrial District (L-I) to the west. The property is designated for industrial use in the Land Use Plan.

PROPERTY PROPOSED USE: Warehouse.

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed MAS Logistics Subdivision subject to the following conditions:

**STREETS, PAVING
AND R.O.W.:**

1. Contractor shall obtain required permits for open cut or boring on W. Produce Dr., from Public works department prior to any work to be done.

EASEMENTS:

1. Show all existing easements.
2. Easements on middle of property shall be 20' Exclusive to City of Pharr.
3. 15' Exclusive easement on south side of property.

**SIDEWALK:
ADA:**

1. Plat note # 8, revise note to say: 5 ft. sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of subdivision construction phase.

FIRE PROTECTION:

1. See attached comments.

WATER:

1. See attached comments.

SEWER:

1. See attached comments.

DRAINAGE:

1. Drainage report to be approved by HCDD #1.
2. Swales or detention areas shall not be within City of Pharr exclusive easements.

OTHER:

1. Change scale 60' to 100'.
2. Plat note #7, elevation correct to 91.79.
3. Setbacks as per City of Pharr Ordinance, change plat note #1.
4. Waterline and sanitary sewer shall be to and through property.
5. All re-imbursements shall be paid at subdivision construction phase.
6. See staff comments attached.

STAFF REVIEW MEETING FOR: *MAS LOGISTIC SUBDIVISION*

COMMENTS: Initials: J.R. / R.B. JULY 27, 2021

WATER:

- Utility easement will need to be 20" exclusive to City of Pharr
- Will need to install 12" water line in the middle of the property to the south and going east and west with flush valves for future use
- Will need to install water valves
- Will need expansion joins for water and sewer
- Will need 24" casing for water line crossing
- Follow City of Pharr Construction Standards Manual

SEWER:

- Utility easement will need to be 20" exclusive to City of Pharr
- Will need to install sewer line 9" away from water line in the middle of the property
- Will need all manholes composite base with City of Pharr logo
- Will need projected Flow and Peak flow and capacity of subdivision sewer
- Follow City of Pharr Construction Standards Manual

Developer/Owner/Responsible Party must comply with the conditions stated above. WATER METERS WILL NOT BE INSTALLED IF THERE IS A failure to comply with ANY OF THE conditions. METERS WILL BE INSTALLED UPON PAYMENT AND COMPLIANCE WITH ALL CONDITIONS STATED. By signing this you understand you must comply with the condition(s) or the water meter(s) will not be installed.

Print Name: _____

Signature: _____

Date: _____



Pharr

Fire Department



118 S. Cage Blvd. 3rd Floor
Pharr, Texas 78577

Phone: (956) 402-4400 Fax; (956) 475-3433

Subdivision: MAS LOGISTICS SUBDIVISION PRELIMINARY

Reviewed by: DAGO SOTO

August 4, 2021

1. All designed waterlines shall be a minimum of eight (8) inches for residential and eight-twelve (8-12) inches in diameter for commercial and twelve (12) inches or better for industrial areas, unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a Fire Department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab).
3. Fire hydrant shall be installed at a maximum of 300 feet intervals in any mercantile district and every 600 feet in residential areas and shall be **FACTORY YELLOW** from the manufacture with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 feet, but in no case shall hose lengths be greater than 400 feet. The distance shall be measured on a roadway surface meeting the Fire Department access requirements of 503.1 International Fire Code 2012. Preferably Mueller Brand Fire Hydrant or equivalent.
4. All premises where building or portions of building are located more than 300 feet from a main street fire hydrant system shall be provided with approved on-site fire hydrant(s) and water mains capable of supplying adequate fire flow, approved by the Fire Officials.
5. Shall meet the Fire Flow rate of 20 psi of residual pressure for firefighting.
6. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. alignment of new streets with existing streets shall take precedence over new street name assignment.
7. During construction when combustibles are brought on the site in such quantities as deemed hazardous.
8. Department shall be provided and maintained.
9. A \$25.00 fee for each **BLUE MARKER** to be affixed on payment by city to indicate location of the fire hydrant. FIRE HYDRANT COLOR MUST BE **FACTORY YELLOW** FROM MANUFACTURE PRIOR TO INSTALLATION.
10. Contractor testing waterlines shall dispose highly chlorinated water (Hazardous Waste).
11. Fire lanes must be painted **RED**: 15 feet on each side of hydrant (total of 30 feet). *With lettering at least 3 inches tall (FIRE LANE – TOW AWAY ZONE).
12. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch – Rapid Entry System made by the Knox Company (phone: 800-

552-5669 * fax: 949-623-4647) or an approved Fire Department siren system before subdivision's final approval of 503.5 in International Fire Code 2012; where security gates are installed, with a minimum of 20 feet (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the Fire Official.

13. Designed fire lanes or roads deemed necessary for Fire Department access by the Fire Official shall be established and maintained in an operable condition. 503.1 International Fire Code 2012; all weather surfaces must be in place before any final inspection is approved. Facilities, buildings, or portions of buildings hereafter constructed shall be accessible to the department apparatus by the way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighing at least 75,000 pounds.
14. Access road width with hydrant; where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
15. All water valves (hydrant and main) shall be open prior to final inspection.
16. Public Utilities personnel must be advised prior to opening and closing existing water valves.
17. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

1. **PLAT NOTE: ADDITIONAL FIRE PROTECTION MAY BE REQUIRED DURING THE PLAN REVIEW PHASE TO PROVIDE ANY ADDITIONAL FIRE PROTECTION REQUIREMENT.**
 2. **PLAT NOTE: ALL FIRE PROTECTION LINES SHALL BE DONE BY LICENSED FIRE SPRINKLER COMPANY.**
 3. **SHALL PLACE FIRE HYDRANT 6 FEET BEHIND THE CURB, AND 1 FEET BEHIND SIDEWALK. SHALL SHOW ON PLANS**
 4. **FIRE HYDRANT PERFERRED MUELLER BRAND AND SHALL BE FACTORY YELLOW SHALL BE NOTED ON PLANS**
 5. **CALL OUT EXISTING FIRE HYDRANTS ON THE UTILITY PLANS.**
 6. **CORRECT THE SPACING 300 FT. OF THE TWO PROPOSED FIRE HYDRANTS.**
 7. **THE PROPOSED 8 IN. WATER MAIN GOING SOUTH THROUGH PROPERTY SHALL BE A 12 IN. ALSO RUN THE 12 IN. WATER MAIN EAST AND WEST AT THE SOUTH END OF PROPERTY WITH A STUB OUT.**
 8. **CALL OUT THE TURNAROUND AT THE REAR PROPOSED PROPERTY.**
-



SUBDIVISION REVIEW COMMENTS

PHARR ENGINEERING • 118 S. CAGE BLVD., 1ST FLOOR • PHARR, TX 78577 • 956.402.4221

SUBDIVISION: Mas Logistics Subdivision **DATE:** July 13, 2021

REVIEW: Preliminary (comments plans dated 7-13-2021)

PLAT

1. Add note: "Owners to maintain detention/retention area."
2. Note No. 7--- Correct elevation is 91.79.
3. Note No. 8--- Revise note to say... "5.0'ft sidewalk with ADA wheelchair ramps and landings shall be constructed along all streets at the time of subdivision construction phase."
4. Signature for R.P.L.S.

SITE PLAN

1. Revise utility layout as proposed by Public Utilities. Include sanitary sewer line. Waterline and sewer shall have a 9'-ft separation as per TCEQ guidelines.
2. Change layout of bleeder line to include an access (storm sewer manhole) and tie in at a 90-degree angle.

DRAINAGE

1. Drainage plan to be reviewed and approved at building permit stage.

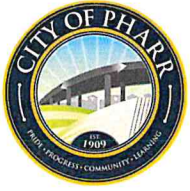
CLOSEOUT DOCUMENTS

- All As-builts must have the following requirements:
 - As-builts must reflect current field changes. Mark all field changes as existing.
 - Must be Geo referenced, and in an AUTOCAD file.
 - Submit a physical and electronic copy (USB or CD).

ADDITIONAL COMMENTS

- Access road must follow City of Pharr standards for paving.
- Testing will be required on all utility crossings.
- Curb and gutter must meet design strength of 3000 psi and must include continuous rebar.

- Sidewalk must meet design strength of 3000 psi and must follow City design standard.
- Driveway shall have a design strength of 4000 psi and concrete drive shall meet the appropriate design strength to prevent damage.
- Fire hydrants are to be located 6'ft from back of curb. Connection from valve box to water main shall be flange to flange.
- All discharge points for drainage must have headwalls on both sides of drainage swale to prevent erosion of embankment. RCP must be flush with headwall as per City of Pharr standards.
- All sanitary sewer services shall require concrete cradle underneath "wye's"
- Drainage headwall shall include a footing on top and shall be a minimum 18"-in long.
- Headwall width from edge to edge of discharge pipe shall be 18"-in minimum.



Pharr Public Work



SUBDIVISION: **Plat Review Meeting for**
 MAS Logistics Subdivision
 W. Produce Dr.
 Pharr Tx, 78577

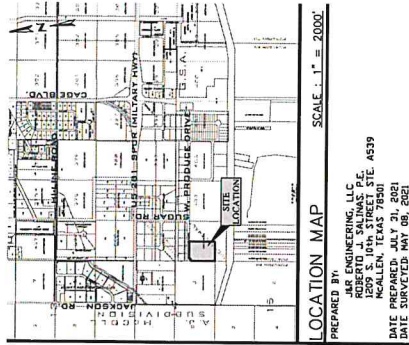
DATE: 07/29/2021

Plat Notes:

- **No comment**

General Notes:

- **Show details on sidewalk along W. Produce Dr.**
- **Obtain required permits at Public Works for any street open cut/ boring.**
- **Must submit a digital copy (in USB) for review and one (1) hard copy for finalization of the Stormwater Pollution Prevention Plan w/Notice of Intent at pre-construction meeting. Will be reviewed and must be approved prior to any earthwork disturbance and Notice to Proceed (NTP) is issued.**



NETS AND BOUNDS DESCRIPTION

A 12.560 ACRE TRACT OF LAND, MORE OR LESS, BEING A PART OR PORTION OF THE MICHAEL TRACT OUT OF PORCION 69, A-591, JUAN JOSE MUÑOZA ORIGINAL GRANTEE, HIDALGO COUNTY, TEXAS; ALSO BEING A PART OF A 51.89 ACRE TRACT OF LAND (TRACT III) AS DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN TO BEDO DISTRIBUTING COMPANY, INC. RECORDED IN DOCUMENT NO. 1776272, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. IS MORE PARTICULARLY DESCRIBED BY NETS AND BOUNDS AS FOLLOWS:

[illegible][illegible]

J&R ENGINEERING, LLC
1208 S. 10th STREET STE. A539
MCALLEN, TEXAS 78501
(956) 432-6851
FIRM # 12509

STATE OF TEXAS
COUNTY OF HEMLOCK

BEFORE ME, THE UNDERSIGNED AUTHORITY ON THIS DAY PERSONALLY APPEARED
CIPRIANO GARCIA, BARAJAS, PRESIDENT OF WAREHOUSE LEASING OF TEXAS, LLC,
WHO PRESENTED TO ME A CERTAIN INSTRUMENT OF THE ABOVE ENTITLED,
INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE
PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS _____ DAY
OF _____, 2021.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HODGOKIN

I, THE UNDERSIGNED, MAYOR OF THE CITY OF PHARR, TEXAS, HEREBY CERTIFY THAT THE FOLLOWING IS A TRUE AND CORRECT COPY OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

AMOROSO HERNANDEZ
MAYOR, CITY OF PHARR, TEXAS

DATE

AITL: CLERK, CITY OF PHARR, TEXAS DATE _____

 STATE OF TEXAS
 COUNTY OF HIOLOGO

 THIS DAY OF MARS, GOVERNOR HAS BEEN SUBMITTED TO AND CONSIDERED BY THE
 PLANNING AND ZONING COMMISSION OF THE CITY OF PHARR, HIOLOGO COUNTY,
 TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

 DATED THIS _____ DAY OF _____, 2021.

 DANNY PYLE, CHAIRMAN, PLANNING AND ZONING COMMISSION

STATE OF TEXAS
COUNTY OF HOLA
ROBERTO J. SALINAS, P.E., A REGISTERED PROFESSIONAL ENGINEER LICENSED TO
PRACTICE IN THE STATE OF TEXAS, REGISTRATION NUMBER TB 89332, DO HEREBY
CERTIFY THAT THIS PLAN HAS BEEN GIVEN PROPER AND ACCURATE ENGINEERING
CONSIDERATION.

THIS DOCUMENT IS FOR
GENERAL INFORMATION
NOT INTENDED FOR
CONSTRUCTION, BIDDING,
OR PERMIT PURPOSES.

DATE _____

ROBERTO J. SALINAS, P.E.
REGISTERED PROFESSIONAL ENGINEER #9332

STATE OF TEXAS
COUNTY OF HOLA
HOLERO LUIS SUAREZ, THE UNDERGROUND, A REGISTERED PROFESSIONAL LAND
SURVEYOR IN THE STATE OF TEXAS, HEREBY STATE THAT THIS PLAN IS TRUE AND
CORRECT AND THAT THE PROPERTY DESCRIBED HEREON IS THE PROPERTY MADE MAY 08, 2021,
AND IS BEING SUBMITTED TO THE GROUND UNDER MY SUPERVISION.

THIS DOCUMENT IS FOR
INTERM REVIEW AND
NOT INTENDED FOR
CONSTRUCTION, BIDDING,
OR PERMIT PURPOSES.

_____ DATE _____

DOMERO LUIS GUTIERREZ, R.P.L.S.
REC. PROFESSIONAL LAND SURVEYOR #2791

FILED FOR RECORD

ON: _____ AT _____ AM/PM _____
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY _____

GENERAL PLAT NOTES:

1. MINIMUM SETBACKS: PER CITY OF PHOENIX ORDINANCES.
2. FLOOD ZONE STATEMENT:
AREA BETWEEN THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, ARE SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE FOOT. THESE AREAS ARE NOT SUBJECT TO 500-YEAR FLOODING. THESE AREAS ARE PROTECTED BY LEVEES FROM THE BASE FLOOD (MEDIAN STAGING).
COMMITTEE PANEL NO. 480334 (500-YEAR FLOODING)
EFFECTIVE JANUARY 01, 1981.

4. NO STRUCTURAL IMPROVEMENTS WILL BE ALLOWED ON EXISTING OF ANY KIND.
5. THE MINIMUM FINISHED FLOOR ELEVATION SHALL BE 24" ABOVE THE TOP OF THE CURB OF ROAD LOCATED AT THE CENTER OF LOT.
6. UNLESS OTHERWISE NOTED, ALL PROPERTY CORNERS ARE MONUMENTED BY A NAIL SET 16" WITH PLASTIC CONE STAMPED 2791.
7. THE PROPERTY CORNER POINT NO. 2 HAYWARD RD. LOCATED APPROXIMATELY 300 FEET SOUTH OF THE INTERSECTION OF HAYWARD RD. AND SOUTH CANYON RD. IS LOCATED APPROXIMATELY 281' (HAYWARD RD) AND 300' (SOUTH CANYON RD).

9. 3" CONCRETE SIDEWALK WITH ADA WHEELCHAIR RAMPS AND LANDINGS SHALL BE SUBMITTAL TO BUILDING PERMIT PHASE.
9. LANDSCAPING AS PER CITY OF PHOENIX ORDINANCE.
10. AN ENGINEERED DRAINAGE DETENTION PLAN, APPROVED BY THE ENGINEERING DEPARTMENT, IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS.
11. SITE PLAN MUST BE APPROVED BY THE PLANNING AND ZONING COMMISSION PRIOR TO BUILDING PERMIT ISSUANCE.
12. ENFORCEMENT OF ALL PLAT NOTES AND EASEMENTS SHALL BE THE RESPONSIBILITY OF THE PLANTER OR PARTY TO WHOM THE EASEMENT IS GRANTED.
13. THE PLANTER SHALL MAINTAIN THE EASEMENT AS SHOWN ON THE PLAT IN ACCORDANCE WITH THE CURRENT TEXAS FLOOD DAMAGE PREVENTION SYSTEM (TFPS).
14. OWNERS TO MAINTAIN B.O.W. AND PERIMETER OF SUBDIVISION.
15. OWNER TO MAINTAIN DETENTION/RETENTION AREA.
16. FIRE PROTECTION: FIRE PROTECTION MUST BE REQUIRED DURING THE PLAN REVIEW PHASE TO PROTECT THE SUBDIVISION FROM FIRE.
17. ALL FIRE PROTECTION LINES SHALL BE DONE BY LICENSED FIRE SPRINKLER COMPANY.

HEALDO COUNTY IRRIGATION DISTRICT NO. 2

THE PLAT IS HEREBY APPROVED BY HEALDO COUNTY IRRIGATION DISTRICT NO. 2

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES

AND BELONGINGS) SHALL BE PLACED UPON HEALDO COUNTY IRRIGATION DISTRICT

NO. 2 RIGHTS OF WAY OR EASEMENTS.

PRESIDENT

ATTNEY SECRETARY

APPROVED BY HEALDO COUNTY DRAINAGE DISTRICT NO. 1:

HEALDO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE

DISTRICT HAS REVIEWED THE PLAT AND HAS DETERMINED THAT THE DISTRICT HAS NOT

ACQUIRED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE

DATE: _____

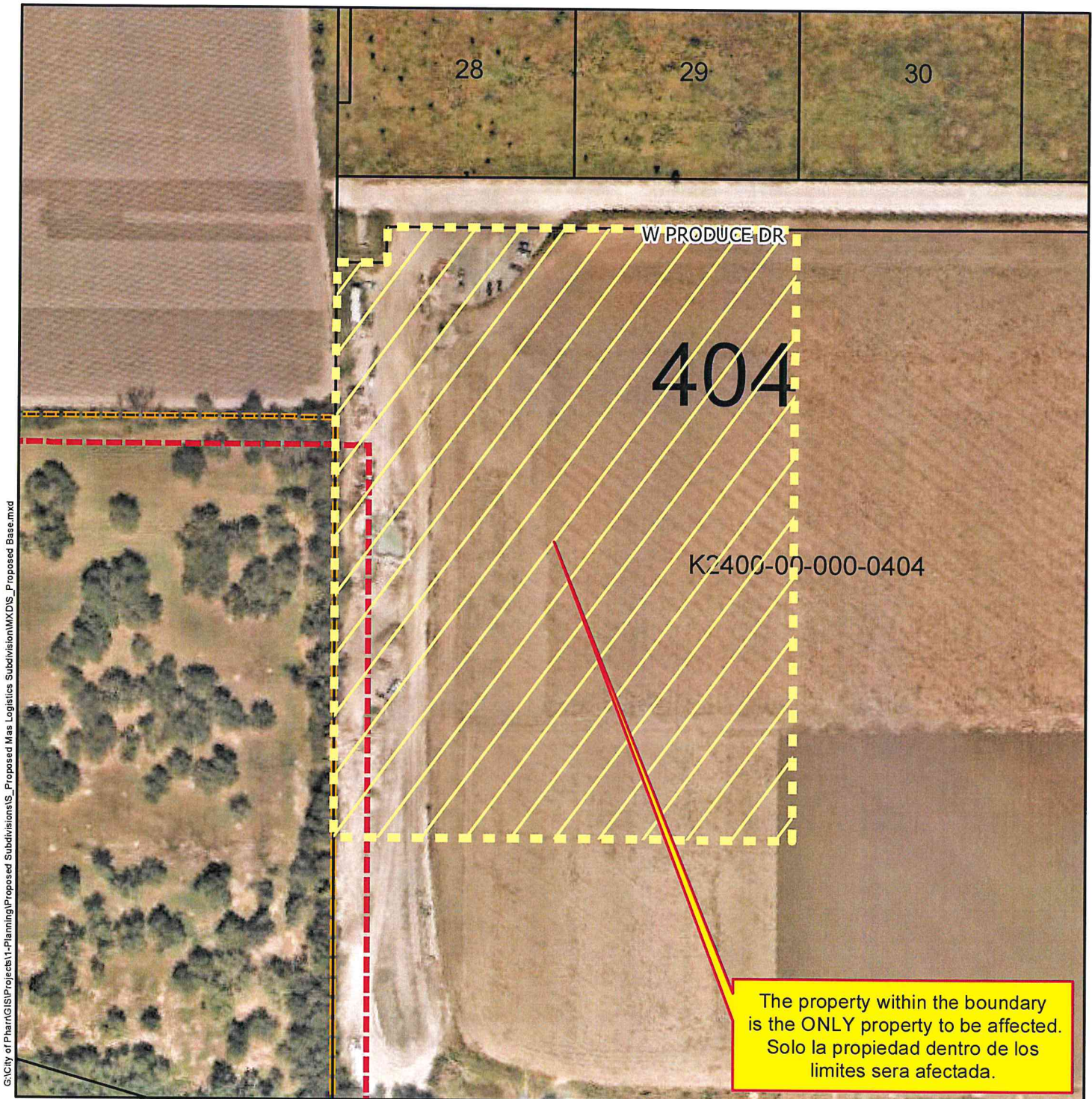
MAIL ROOM P.E. C.F.M.
GENERAL MANAGER

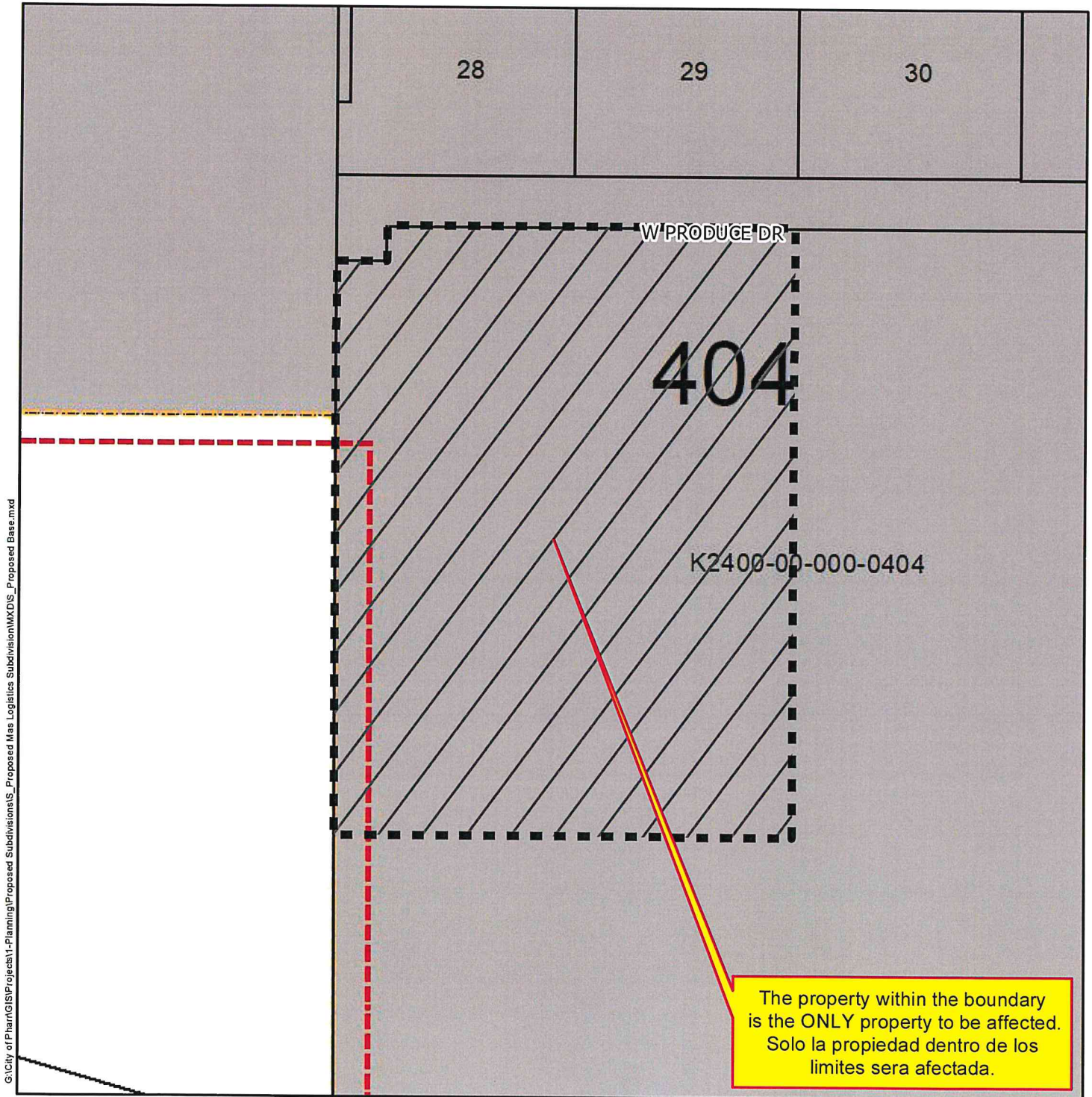
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*SUBDIVISION PLAT OF
MAS LOGISTICS*

CITY OF PHARR, HIDALGO COUNTY, TEXAS
A PART OF THE TRACT BEING A PART OR PORTION OF THE
LANDS OF THE STATE OF TEXAS, BEING A PART OF THE
MICHAEL TRACT OUT OF FORDCORN, - 1881, LING ASES THROUGH ORIGINAL
GRANTEE, HIDALGO COUNTY, TEXAS.

NAME	ADDRESS	CITY & ST	PHONE
WAREHOUSE LEASING OF TEXAS, LLC	5601 INTERNATIONAL BLVD.	PHARE, TEXAS 76877	(562) 782-4312
WYNNEER ROBERTO J. SALINAS	1205 S. 10TH. ST. #532	MCALLEN, TEXAS 78501	(361) 432-5661
WYNTON DOMINGUEZ LAZAR RODRIGUEZ	Z.O. BOX 318	MCALLEN, TEXAS 78503	(361) 382-0988





- | | | | |
|--|---|---|---|
|  Agricultural Open Space |  Townhouse |  Drainage Easement |  PSJA ISD |
|  Single Family |  HUD Code |  Heavy Commercial |  Hidalgo ISD |
|  Single Family Small Lot |  Rail Road R.O.W. |  Heavy Industrial |  Valley View ISD |
|  Residential Multi-Family |  Government Owned |  Limited Industrial |  Planned Unit Development |
|  Residential Multi-Family High Density |  General Business |  Neighborhood Commercial | |
|  Mobile Home |  Business District |  Office Professional | |

