



AGENDA
PLANNING & ZONING COMMISSION
City Commissioner's Room
118 S. Cage Blvd. March 13, 2017 – 6:00 p.m.

The City of Pharr has called this meeting as allowed pursuant to Texas law, city charter, and Ordinance O-2015-28. The governing body may recess from day to day when it does not complete consideration of a particularly long subject as authorized by law. All persons desiring to address the governing body must register with the presiding city clerk prior to the scheduled meeting.

If during the course of the meeting, the PLANNING & ZONING COMMISSION should determine that a closed, or executive session of the COMMISSION is required, then such closed or executive session or meeting is authorized by Sections 551.071 et seq. of the Texas Government Code. Notice of closed or executive session will be given after the commencement of the meeting covered by this notice.

Should any final action, decision, or vote be required in the opinion of the Commission with regard to any item during the meeting, then such final action, final decision, or final vote shall be made during the open meeting covered by this notice upon the reconvening of the public meeting.

In compliance with Section 551.041 et seq. of the Texas Government Codes, VTCS (Open Meetings Act), notice is given that the Planning & Zoning Commission will meet to consider and act upon the following:

PRESIDING: Danny Wylie, Chairman

- A. CALL TO ORDER:
- B. ROLL CALL:
- C. APPROVAL OF MINUTES: February 27, 2017
- D. PUBLIC COMMENTS: (Ordinance No. O-2015-28) A registered speaker may speak on several items or topics of public concern; however, a speaker may not exceed three (3) minutes as a whole when addressing the board. A registered speaker may not donate time to another speaker. No more than five registered persons may speak at a scheduled meeting. A sign-in form must be filled out prior to the meeting to allow the registered speaker to address the governing body.

E. PUBLIC HEARING: (Ordinance No. O-2015-28) A registered speaker during the public hearing may not exceed three (3) minutes when addressing the board. A sign-in form for participation in public a hearing shall be promulgated by the city clerk and be made available at the city clerk's office. The public hearing sign-in form shall include the person or entity's name, address, telephone number, other contact information, organization if applicable, and other notices, authorizations, and acknowledgements as may be allowed by law from time to time. No registered speaker may be allowed to address the governing body once the public hearing has closed.

1. William Bebb Francis, III, representing American Tower Asset Sub, LLC, has filed with the Planning and Zoning Commission a request for a Life-of-the-Use Conditional Use Permit to continue to allow an existing telecommunication tower in an Agricultural and/or Open Space District (A-O). The property is legally described as being a 0.153 acre tract of land, more or less, out of Lot 7, Block 12, A. J. McColl Subdivision, Pharr, Hidalgo County, Texas. The property is physically located within the 1600 Block of West Las Milpas Road. **CUP#170210**
2. Shavi Mahtani/Domain Development, representing The Allen and Letitia Arnold Family Partnership, has filed with the Planning and Zoning Commission a request for a change of zone from an Agricultural and/or Open Space District (A-O) to a Single-Family Residential District (R-1). The property is legally described as being a tract of land containing 33.070 acres, more or less, out of Lot 87, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located between the 5400 Block of North Sugar Road. **COZ#170211**
3. Sonia Garcia, representing Centro Familiar Cristiano Iglesia Del Pueblo, has filed with the Planning and Zoning Commission a request for a Life-of-the-Use Conditional Use Permit to allow a church in a Single-Family Residential District (R-1). The property is legally described as being all of Lot 14, Las Fuentes Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 424 West Navarro Street. **CUP#170212**
4. Rene Campos, representing Pharr-San Juan-Alamo ISD has filed with the Planning and Zoning Commission a request for a Life-of-the-Use Conditional Use Permit to allow an Institutional Use in a Single-Family Residential District (R-1). The property is legally described as being all of Lot 8, Ford's Subdivision and all of Lots 1 and 8, Block 1, McDaniel Subdivision, Pharr,

Hidalgo County, Texas. The property's physical address is 325 West Jones Avenue. **CUP#170213**

PLAT APPROVAL:

1. Halff Associates, Inc. representing South Texas College is requesting preliminary plat approval of the proposed South Texas College Regional Center for Public Safety Excellence Subdivision. The property is legally described as being a 62.38 acres out of Lots 255, 258, 259 and 260, Kelly-Pharr Subdivision of Porciones 69 and 70, Pharr, Hidalgo County, Texas. The property is located at the 3900 Block of South Cage Boulevard.

F. ANNOUNCEMENTS/OTHER BUSINESS:

G. ABSENTEE REPORT:

H. ADJOURNMENT:

I, certify that the above notice of public hearing was posted on the bulletin board at City Hall on this the 10th day of March 2017, at 9:00 o'clock a.m. and in the City of Pharr web site (www.pharr-tx.gov)



Hilda Pedraza
for Hilda Pedraza, City Clerk



PLANNING & ZONING COMMISSION

City Commissioner's Room

118 S. Cage Blvd. February 27, 2017 - 6:00 p.m.

A meeting of the Planning & Zoning Commission of the City of Pharr was held on Monday, February 27, 2017. The meeting was called to order by Danny Wylie at 6:00 p.m. at the City Commissioners' Room, located at 118 S. Cage Blvd., 2nd Floor, Pharr, Texas.

ATTENDANCE

MEMBERS PRESENT: Danny Wylie
Tom Gruener
Rafael Munguia
Andy Castro
Charlie Ramirez
Romeo Robles
Luis Madrigal
Porfirio Rodriguez

ABSENT: None

OTHERS PRESENT: See attached list

STAFF PRESENT: Edward Wylie, Assistant City Manager
Melanie Cano, Director of Development Services
Roland Gomez, Assistant Development Services Director
Heriberto Martinez, Planner II
Della Robles, Planner I
George Martinez, Building Official
Alexandra Esparza, Secretary

CALL TO ORDER

Danny Wylie called the meeting to order at 6:00 p.m. and welcomed all to the meeting. Roll call established a quorum.

APPROVAL OF MINUTES

Danny Wylie proceeded with the approval of the minutes of February 13, 2017.

Luis Madrigal advised that there was a minor correction on page 15 of 27.

There being no further discussion, Luis Madrigal **moved** the minutes of February 13, 2017, be approved with corrections. Charlie Ramirez second the motion and when put to a vote, it polled as follows:

D. Wylie: approved with corrections C. Ramirez: approved with corrections
T. Greuner: approved with corrections R. Robles: approved with corrections
R. Munguia: approved with corrections L. Madrigal: approved with corrections
A. Castro: approved with corrections P. Rodriguez: approved with corrections

The motion carried unanimously to approve the minutes of February 13, 2017, with corrections.

PUBLIC COMMENTS:

Danny Wylie asked if anyone had signed up for the Public Comments. Alexandra Esparza advised there were several individuals that had signed up to speak and called forth the first individual.

A gentleman introduced himself as Kenneth C. Fletcher residing at 504 South Diplomat. He stated he wished there was sound control for Costco. He stated that he was for the home occupation and for that reason he would like to speak at the Public Hearing for him being a taxpayer he would expect for someone to go out there and look for problems. He stated that he was being illegally denied the request to speak at the Public Hearing and he would like in writing from the city attorney. He agrees with staff for the recommendation for denial on R-2. Dr. Fletcher stated that was speaking with the applicant for the cell tower and reminding him of the ordinance for native plants. He stated that for Paradise Bar and Grill he believes that there were daycares nearby.

Alexandra Esparza called forth the second individual signed up for public Comments.

A gentleman introduced himself as Cristiano Garcia, III living at 3700 Silver. He spoke about the Transcasa property on El Dora and Utility that creates problems during storms due to the property not being paved. He stated that he has video of the property. It was not good for the mother that has very bad allergies. He stated that there has been rumors of the road being paved but nothing has happened. He also stated about the noises late at night.

Alexandra Esparza called forth the last individual signed up for Public Comments.

A gentleman introduced himself as Manuel Pescador, Jr. 3705 Crown Point Lane. He stated that he was neighbors with Mr. Garcia. Mr. Pescador stated that he does Occupational Safety and Health which involves exposure to dust from limestone and silica. He stated silica is known to cause cancer. Mr. Pescador emailed Code Enforcement literature from the disease control about a year ago. He stated that he lives 5 blocks away from the property Mr. Garcia had addressed and that OSHA had put out a law about workers exposed to limestone, caliche and silica. He stated that Mr. Garcia and his spouse had been exposed for years. He stated that there needs to be a more proactive code enforcement for the citizens and not only for the paycheck.

Danny Wylie closed the Public Comments and proceeded with the next item.

PUBLIC HEARING:

Della Robles introduced herself as Planner I for the City of Pharr and stated she had four public hearing items for recommendation and proceeded to introduce the first item.

VINCENT GERARD & ASSOCIATES
Rep. VERIZON WIRELES

LIFE-OF-THE-USE
TELECOMMUNICATION TOWER
CUP#170106

Vincent Gerard & Associates, representing Verizon Wireless, has filed with the Planning and Zoning Commission a request for a Life-of-the-Use Conditional Use Permit to allow a new telecommunication tower in a Heavy Commercial District (H-C). The property is legally described as Lot 6, 3100 Sugar Subdivision, Pharr, Hidalgo County, Texas. The property is located at 802 Mozelle Avenue. The property is currently zoned Heavy Commercial District (H-C). The property to the north is zoned Agricultural and/or Open Space District (A-O) and the property to the south, west and east is zoned Heavy Commercial District (H-C). The property is zoned for industrial use in the Land Use Plan. Sixteen (16) surrounding property owners were notified by letter and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice. Development Services is recommending approval of the Life-of-the-Use Conditional Use Permit to allow a new telecommunication tower in a Heavy Commercial District (H-C) subject to the following conditions:

1. The applicant shall comply with all City of Pharr Ordinance requirements. Any violation of City Ordinance will terminate this Conditional Use Permit;
2. Any request to revise, alter or amend the conditions or requirements shall require the applicant to apply for a new Conditional Use Permit;
3. Any change in location, change in ownership or business entity owning or carrying out its operation on the property shall terminate this Conditional Use Permit;
4. This Conditional Use Permit shall be issued for the Life-of-the-Use; and
5. The telecommunications tower must comply with all setback and height requirements.
6. The following shall be considered as grounds for the revocation of a Conditional Use Permit:
 - Any change in use or change in extent of use, area or location being used.
 - Failure to allow periodic inspections by representatives of the City of Pharr at any reasonable time.
 - Conditional Use Permits that have been revoked may not be applied for again until a period of one year has lapsed from the date of revocation.

Della Robles advised that this item will go before the City Commission meeting of March 06, 2017, at 5:00 p.m. and the applicant was in attendance.

Danny Wylie advised that this item required a Public Hearing and asked if there was anyone in the audience wishing to speak either for or against the item to please come forth. There being no one wishing to speak, he closed the Public Hearing and opened the item for discussion and action.

Della Robles advised that the applicant had a power point for their recommendation. Luis Madrigal called forth applicant. Vincent Huebinger with Vincent Gerard and Associates representing Verizon Wireless. Luis Madrigal asked what was being planned to be used regarding a buffer screen. Mr. Huebinger advised they would place a (inaudible) fence. Mr. Madrigal asked how high. Mr. Huebinger advised 6 ft. and still secure with barbed wire on top. Mr. Huebinger advised that there would be landscaping around, they would take out the owner's mimosa. Mr. Huebinger stated that they would plant drought tolerant plants. Danny Wylie asked if there was going to be an emergency generator at the tower. Mr. Huebinger advised there would be. Danny Wylie asked staff if there were any ordinances on emergency towers in regards to the noise ordinance. Melanie Cano, Development Services Director, stated that since it was an emergency generator it was an exception to the rule, due to it not being on 24 hours a day 7 days a week. Mr. Huebinger advised that they have battery backups that last 8 hours in case there is a power outage or big storm. He stated that the emergency generator would go on if needed, only for the use of cell phones during emergencies.

There being no discussion, Romeo Robles **moved** to approve the request for a Life-of-the-Use Conditional Use Permit to allow a new telecommunication tower in a Heavy Commercial District (H-C). Tom Greuner second the motion and when put to a vote it polled as follows:

D. Wylie: Approved	C. Ramirez: Approved
T. Greuner: Approved	R. Robles: Approved
R. Munguia: Approved	L. Madrigal: Approved
A. Castro: Approved	P. Rodriguez: Approved

Motion carried unanimously to approve Life-of-the-Use Conditional Use Permit to allow a new telecommunication tower in a Heavy Commercial District (H-C).

ALEJANDRO MARTINEZ

**CHANGE OF ZONE
R-1 TO R-2
COZ#170107**

Della Robles, Planner I, proceeded to introduce the second item as follows.

Alejandro R. Martinez is requesting a change of zone from Single-Family Residential District (R-1) to Two-Family Residential District (R-2). The subject site is located on the west side of South Cage Boulevard and the physical address is 1204 South Cage

Boulevard. The property is legally described as being all of Lot 3, Block 2, Ellers Re-Subdivision of Block 2, Palm Terrace Subdivision, Pharr, Hidalgo County, Texas. The subject site currently consists of one (1) lot which has a frontage of 79.2 feet along South Cage Boulevard and has a depth of 125 feet. South Cage Boulevard is a 120'-150' principal arterial which runs north and south with a posted speed limit of 40 to 55 miles per hour or less as identified in the City of Pharr's Thoroughfare Plan. The property is currently zoned Single-Family Residential District (R-1). The property to the north, south and west is zoned Single-Family Residential District (R-1) and the property to the east is zoned Office Professional District (O-P). This area is generally designated for single-family residential use in the Land Use Plan. The property to the north, south and west was rezoned to Single-Family Residential District (R-1) and the property to the east was rezoned to Office Professional District (O-P) on March 30, 1982, when the city adopted the current zoning ordinance we use today. On August 02, 1988 the properties to the east were denied a rezoning request to change to Medium-Density Multi-family Residential District (R-3). On July 23, 1991, Lot 2 was denied a rezoning request to change to General Business District (C) and on February 17, 2005 the City Council approved the request to change Lot 24 to General Business District (C). The owner of the property is requesting a change of zone to a Two-Family Residential District (R-2) in order to remodel the existing house on said property so that it may be used as a duplex. The Two-Family Residential District is established to provide adequate space and site diversification for medium-density, duplex-type residential development with two dwelling units per lot. Duplex developments should be properly buffered from nonresidential uses and protected from high volumes of non-single-family traffic or from pollution and or environmental hazards. Sixteen (16) letters were mailed out to the surrounding property owners and a legal notice was published in the Advance News Journal. One (1) person came in and two (2) people signed up to speak at the public hearing in opposition of the item. Development Services is recommending denial of the proposed change of zone due to the property not being in line with the Future Land Use Plan and not being compatible with the surrounding land uses. If approved, a building permit and certificate of occupancy will be required should construction or remodeling be necessary. Applicant must comply with all City Ordinances and City Department requirements.

Della Robles advised that this item will go before the City Commission meeting of March 06, 2017, at 5:00 pm and the applicant was not in attendance.

Danny Wylie advised that this requires a Public Hearing and asked if there was anyone in the audience wishing to address the item either for or against to please come forth. Alexandra Esparza advised there were two individuals wishing to speak and called forth the first individual.

A gentlemen approached the podium and introduced himself as Ruben Ramos, Jr. His property is directly south which was 1206 S Cage. He stated that he was not in favor of this item for the way it sits now which was a mess. Vehicles are in and out at all hours. He stated vehicles are everywhere in the back, trash, tractors, portable buildings and it does not fit with the residential surrounding. Mr. Ramos stated that he was not in favor of the item requested being granted.

Alexandra Esparza called for the second individual signed forth to speak.

An individual approached the podium and introduced herself as Sandra Lopez with the property located two houses south which was 1208 S. Cage. Ms. Lopez stated she was against the request for the re-zone from single-family to two-family dwelling because it would provide problems as in the parking. She stated they were using the alley as a street to go in and out of the property. She stated there was a portable building located behind the home already. She stated the parking would be a problem, it would be an eye sore and the highway was already busy and congested. Ms. Lopez stated that property values would depreciate. Ms. Lopez stated those were the reasons she was against the re-zone to a double dwelling.

There being no one else wishing to speak, Danny Wylie closed the Public Hearing and opened the item to the Planning and Zoning Commission for discussion and action.

Luis Madrigal addressed staff about that the portable building and asked if it has been permitted, if not, could it be looked into. Tom Greuner asked in regards to the portable building if the electricity has been inspected. Melanie Cano advised that code enforcement would be sent out in the morning.

There being no further discussion, Luis Madrigal **moved** to deny change of zone from Single-Family Residential District (R-1) to Two-Family Residential District (R-2). Tom Greuner seconded the motion and when put to a vote it polled as follows

D. Wylie: Deny	C. Ramirez: Deny
T. Greuner: Deny	R. Robles: Deny
R. Munguia: Deny	L. Madrigal: Deny
A. Castro: Deny	P. Rodriguez: Deny

Motion carried unanimously to deny change of zone from Single-Family Residential District (R-1) to Two-Family Residential District (R-2).

LETICIA SALINAS

**HOME OCCUPATION
NOTARY PUBLIC OFFICE
CUP#170108**

Della Robles, Planner I, introduced the next item as follows.

Leticia Salinas has filed with the Planning and Zoning Commission a request for a Conditional Use Permit to allow a home occupation (Notary Public Office) in a Single-Family Residential District (R-1). The property is legally described as Lot 11, Villa Espana Estates Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 1600 West Calle España. The property is currently zoned Single-Family Residential District (R-1). The surrounding area is zoned Single-Family Residential District (R-1) to

the north, south, west and east. This area is generally designated for single-family residential use in the Land Use Plan. Fifty-four (54) surrounding property owners were notified of the request by letter and a legal notice was published in the Advance News Journal. Staff received one telephone call for information only.. Development Services is recommending approval of the request for a Conditional Use Permit to allow a home occupation (Notary Public Office) in a Single-Family Residential District (R-1) subject to the following conditions:

1. The applicant shall comply with all City of Pharr Ordinance requirements, listed below; any violation of City Ordinance will terminate this Conditional Use Permit;
2. The area used in conducting the home occupation will be clearly secondary to the home use;
3. Only one (1) non-illuminated sign of not more than eighteen (18) inches by twenty-four (24) inches identifying the name of the owner and his/her title or occupation may be permitted when attached flush to the main building;
4. There shall be no more than one (1) additional unrelated employee other than immediate members of the family residing on the premises;
5. Any change in location, change in ownership or business entity owning or carrying out its operation on the property shall terminate this Conditional Use Permit;
6. Any request to revise, alter or amend the conditions or requirements shall require the applicant to apply for a new Conditional Use Permit;
7. This Conditional Use Permit shall be issued for a period of one (1) year. It shall be the owner's responsibility to apply for renewal thirty (30) days before its expiration date;
8. Garages, carports or accessory buildings, shall not be used for **home occupation** other than for the storage of an automobile;
9. There shall be no exterior display or alterations indicating that the building is being used for any purpose other than that of a dwelling;
10. There shall be no entrance or exit way specifically provided in the dwelling or on the premises for the conduct of the **home occupation** thereon;
11. No more than one (1) **home occupation** shall be permitted within any single dwelling;
12. The following shall be considered as grounds for revocation of a **home occupation** Conditional Use Permit:
 - Any change in use or change in extent of use, area or location of the dwelling being used.
 - Failure to allow periodic inspections by representatives of the City of Pharr at any reasonable time.
 - Failure to pay the annual renewal fee of \$50.00 shall result in the assessment of an additional five dollars (\$5.00) per business day late fee up to thirty (30)

days after the date of expiration of the Conditional Use Permit; or revocation of the permit if not paid by the 31st day.

- Conditional Use Permits for **home occupations** that have been revoked may not be applied for again until a period of one (1) year has lapsed from the date of revocation.

13. Applicant shall be in full compliance with all conditions as set forth by Code Compliance, Fire Department, Police Department and/or Health Department.

Ms. Robles advised that this item will not go before the City Commission. Planning and Zoning Commission would be the deciding factor for this item and the applicant was in attendance.

Danny Wylie advised that this item required a Public Hearing and asked if there was anyone in the audience wishing to address the item either for or against to please come forth. There being no one wishing to speak, Danny Wylie closed the Public Hearing and opened the item to the Planning and Zoning Commission for discussion and action.

Tom Greuner called forth the applicant. Leticia Salinas approached the podium and stated she was applying for the Notary Public permit and that she would be taking appointments only as advised by staff. Mr. Greuner asked where would the client's park. Ms. Salinas stated that since she would be only accepting appointments there wouldn't be an issue as in where they park since she resides on a corner there is an excessive amount of parking. Tom Greuner asked how far away they can be parked from the stop sign. Ms. Cano advised it was 20 feet. Mr. Greuner advised Ms. Salinas to not let her client's park near the stop sign, at least 20 feet away. Rafael Munguia asked how many clients she would more or less see on a daily basis. Ms. Salinas advised one or two a day. Danny Wylie asked if there was an ordinance for an office to be allowed in the dining room. Ms. Cano advised there was not, she was allowed to have her office in the dining room. Luis Madrigal advised Ms. Salinas to abide by the sign ordinance.

There being no further discussion Luis Madrigal **moved** to approve the request for a Conditional Use Permit to allow a home occupation (Notary Public Office) in a Single-Family Residential District (R-1). Andy Castro second the motion and when put to a vote it polled as follows

D. Wylie: Approved	C. Ramirez: Approved
T. Greuner: approved	R. Robles: Approved
R. Munguia: Approved	L. Madrigal: Approved
A. Castro: Approved	P. Rodriguez: Approved

Motion carried unanimously to approve the request for a Conditional Use Permit to allow a home occupation (Notary Public Office) in a Single-Family Residential District (R-1).

**PARADISE BAR AND GRILL LLC
D/B/A CANTINA BAR AND GRILL**

**CUP-ABC
CUP#170109**

Della Robles, Planner I, introduced the final item as follows:

Paradise Bar and Grill LLC, dba Cantina Bar and Grill, has filed with the Planning and Zoning Commission a request for a Conditional Use Permit and Late Hours Permit to allow the sale of alcoholic beverages for on-premise consumption in a General Business District (C). The property is legally described as being Lot 187, Valle De La Primavera Subdivision, Pharr, Hidalgo County, Texas. The property's physical address is 6905 South Jackson Road. The property is currently zoned General Business District (C). The surrounding area is zoned General Business District (C) to the north and south, Single-Family Residential District (R-1) to the east and city limits to the west. The area is generally designated for commercial use in the Land Use Plan. Code Compliance is pending re-inspection. Fire Marshal is pending re-inspection. Police Chief and Planning Department are recommending approval. Forty-one (41) surrounding property owners were notified of the request by letter and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice. Development Services is recommending approval of the request for a Conditional Use Permit and Late Hours Permit to allow the sale of alcoholic beverages for on-premise consumption in a General Business District (C) subject to applicant and site being in compliance with all City Ordinances and City Department requirements.

Della Robles advised that this item will go before the City Commission meeting of March 06, 2017 at 5:00 p.m. and the applicant was in attendance.

Danny Wylie advised that this item required a Public Hearing and asked if there was anyone in the audience wishing to address the item either for or against to please come forth. There being no one wishing to speak, Danny Wylie closed the Public Hearing and opened the item to the Planning and Zoning Commission for discussion and action.

Luis Madrigal asked staff when code compliance goes out for inspections do they need to be up to current code, what exactly are they checking. Melanie Cano advised that code compliance has a checklist that is provided. The business is already existing so the new enforcement codes does not apply but if there were any issues with life and safety it would be addressed. Luis Madrigal asked about the distance from children, was it only a school or does a daycare count as well. Ms. Cano advised a school and it would have to be 300 feet.

There being no further discussion Luis Madrigal **moved** to approve the request for a Conditional Use Permit and Late Hours Permit to allow the sale of alcoholic beverages for on-premise consumption in a General Business District (C). Charlie Ramirez second the motion and when put to a vote it polled as follows

D. Wylie: Approved
T. Greuner: approved

C. Ramirez: Approved
R. Robles: Approved

R. Munguia: Approved
A. Castro: Approved

L. Madrigal: Approved
P. Rodriguez: Approved

PLAT APPROVAL:

**BIG ENGINEERING
REP. ANNABELLE PALOMO**

**APRL SUBDIVISION
SUB#160823**

Heriberto Martinez, introduce himself as Planner II for the City of Pharr and stated he had three plat approvals for recommendation and introduced the first item as follows:

BIG Engineering, representing Aannabelle Palomo, is requesting preliminary plat approval of the proposed APRL Subdivision. The property is legally described as being a 12.474 acre tract of land out of Lot 85, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 5400 Block of North IH 69C. The property is currently zoned Limited Industrial District (L-I). The adjacent zones are Limited Industrial District (L-I) to the north and west, General Business District (C) and Limited Industrial District (L-I) to the east and Single Family Residential District (R-1) and Limited Industrial District (L-I) to the south. The property is designated for commercial and industrial use in the Land Use Plan. Property proposed use: RGV careers institute. Variances: None requested. Development Services recommends preliminary plat approval of the proposed APRL Subdivision subject to the following conditions:

STREETS, PAVING AND R.O.W.:

1. Need 5' additional for R.O.W. on W. Minnesota Rd. for a total of 80'.
2. Pave 1/3 of street R.O.W. on W. Minnesota Rd and pave 70' proposed R.O.W.
3. Provide a 30'x30' corner clip for the 70' street R.O.W.
4. The existing private drive/street is encroaching into the 70' R.O.W. verify.
5. Provide a street lighting plan layout.

EASEMENTS:

1. All easements shall read "15' Exclusive easement to City of Pharr" for water and sewer.
2. Utilities to be "Exclusive to City of Pharr".
3. Show all existing easements.

SIDEWALK: ADA:

1. Note #4, wheelchair ramps and landings per ADA requirements to be constructed at subdivision construction stage.

FIRE PROTECTION:

1. See attach comments.

WATER:

1. AC waterline in front of property and on side of the property on W.

Minnesota Rd. need to be replaced with PVC. AC line can be left in place.

2. Need 12-inch water line valve close to the 90 degree bends.
3. PVC needs to be DR18.
4. Connection needs to be wet tap.
5. All bends will have megalock.
6. Connections will be wet tap with the proper valves, stainless steel tap sleeves etc.
7. Follow City of Pharr construction standards manual.

SEWER:

1. Need a sewer stub out show sewer service stub out.
2. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Plat note #11, add figures incomplete detention directive.
2. Need to approve the drainage report and correct the street name.

OTHER:

1. Provide date of surveyed on plat.
2. Shall apply for a C.U.P for an institutional use.
3. Need to label all monuments.
4. Add "Danny Wylie" to Chairman, for Planning & Zoning.
5. Add plat note: Owner's to maintain R.O.W and perimeter of subdivision.
6. Add plat note: Owner's to maintain detention/retention areas.
7. Need S.W.P.P.P. with C.N.O.I. filed.
8. On location map show true north.

Danny Wylie advised this item did not need a public hearing and opened it up to the Commission for discussion and action.

Luis Madrigal asked if the limited industrial area to the west was a small strip and if so how big was it. Mr. Martinez advised is was 40 feet and it was a drainage easement. Mr. Madrigal asked if that would remove the required barrier from the residential. Mr. Martinez advised it could be used as a buffer but they would still require a buffer fence.

There being no further discussion Charlie Ramirez **moved** to approve the preliminary plat approval of the proposed APRL Subdivision. Luis Madrigal second the motion and when put to a vote it polled as follows

D. Wylie: Approved	C. Ramirez: Approved
T. Greuner: Approved	R. Robles: Approved
R. Munguia: Approved	L. Madrigal: Approved
A. Castro: Approved	P. Rodriguez: Approved

Motion carried unanimously to approve the preliminary plat approval of the proposed APRL Subdivision.

**MELDEN & HUNT INC.
REP. SHAVI MAHTANI,
PRESEIDENT OF DOMAIN DEVELOPMENT CORP.**

**WEST OAK MANOR SUBDIVISION
SUB#161230**

Heriberto Martinez, Planner II, introduced the next item as follows:

Melden & Hunt Inc, representing Shavi Mahtani, President of Domain Development Corp., is requesting preliminary plat approval of the proposed West Oak Manor Subdivision. The property is legally described as a being a re-subdivision of 31.939 acres out of Lot 87, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas The property is located within the 5400 Block of North Sugar Road. The property is currently zoned Agricultural and/or Open Space District (A-O). The adjacent zones are Mobile Home District (R-MH) to the north, Townhouse Residential District (R-TH) and Agricultural and/or Open Space District (A-O) to the east, Agricultural and/or Open Space District (A-O) to the south and High Density Multi-Family Residential District (R-4) and Agricultural and/or Open Space District (A-O) to the west. The property is designated for multi-family residential and commercial use in the Land Use Plan. Property proposed use: Single family residential homes. Variances: None requested. Development Services recommends preliminary plat approval of the proposed West Oak Manor Subdivision subject to the following conditions:

**STREETS,
PAVING
AND R.O.W.:**

1. Streets to be built to city standards.
2. Need street lighting layout details.
3. Provide 25-feet corner clips R.O.W. required at W. Cheyenne Ave. and W. Iroquois Ave. intersection with N. Sugar Rd

EASEMENTS:

1. Provide 25-feet drainage/ Utility easement "Exclusive to City of Pharr" at the southeast side of property to connect to storm drainage.
2. Need to obtain offsite easement for drainage/utilities and show dimension on plat layout.
3. Need 15' Exclusive easement to City of Pharr on both sides of the street.
4. Show all existing easements.

**SIDEWALK:
ADA:**

1. Change note #6, to state 5' sidewalks.

**FIRE
PROTECTION:**

1. See attach comments.

WATER:

1. Each water crossing for water service will be 2" with a 4" casing.
2. 1-1" water service to property line per lot.
3. Use polyethylene tubing for water services.
4. Provide 4 additional 8-inch water valves.
5. Meter box needs to be installed with water service and flush with

ground.

6. Proposed hydrants will be on the same side with proposed water line.
7. Loop water line to 12-inch water line so subdivision on the west side.
8. Need additional 2-8" valves and box on south west corner.
9. All bends will require megalock.
10. All wet taps shall be with stainless steel.
11. Follow City of Pharr construction standards manual.

SEWER:

1. North Sugar Rd. lift station needs to be upgraded or proposed sewer line to south east corner and upgrade Minnesota lift station and force main to Nolana manhole.
2. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Ditch excavation should be coordinated with other subdivision performing ditch widening as well.

OTHER:

1. Need to combine plat notes # 6 & 7.
2. Add plat note, owner's to maintain R.O.W. and perimeter of subdivision.
3. Need S.W.P.P.P. with C.N.O.I. filed.
4. Add plat note: Owners to maintain R.O.W/ frontage and perimeter of subdivision.
5. Add: Danny Wylie before chairman on the Planning & Zoning, signature block.
6. Plat note #4, benchmark numbers shown are for B.M.# 64 are not for #46, verify.
7. Provide dimension at N. Sugar Rd and W. Iroquois Ave.
8. Lot dimensions to be cleared from easements so they can be legible.
9. On metes & bounds label C.P.S.
10. Add plat note landscaping as per City of Pharr ordinance.
11. Show all existing subdivisions on location map.
12. Plat note #9, remove "should have no curb cut" and replace with "shall not have" and add "N" for north Sugar Rd.

Danny Wylie advised that this item did not require a Public Hearing and opened the item to the Planning and Zoning Commission for discussion and action.

There being no further discussion Tom Greuner **moved** to approve preliminary plat approval of the proposed West Oak Manor Subdivision. Charlie Ramirez second the motion and when put to a vote it polled as follows

D. Wylie: Approved

C. Ramirez: Approved

T. Greuner: Approved	R. Robles: Approved
R. Munguia: Approved	L. Madrigal: Approved
A. Castro: Approved	P. Rodriguez: Approved

Motion carried unanimously to approve preliminary plat approval of the proposed West Oak Manor Subdivision

**NAIN ENGINEERING, LLC.
REP. CIPRIANO GARZA BARAJAS**

**MAQUILA TRADES SUBDIVISION
SUB#170103**

Heriberto Martinez, Planner II, introduced the final items as follows:

NAIN Engineering, L.L.C., representing Cipriano Garza Barajas, is requesting preliminary plat approval of the proposed Maquila Trades Subdivision. The property is legally described as 8.53 acres of land being a re-plat of Lot 3, P.E.D.C. Subdivision #1, a re-plat of Lot 7, Bona Terra Subdivision and also, 3.86 acres out of Lot 363, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is located within the 700 Block of West Anaya Road. The property is currently zoned Limited Industrial District (L-I) and Planned Unit Development District (PUD). The adjacent zones are Agricultural and/or Open Space District (A-O) and Limited Industrial District (L-I) to the north, Planned Unit Development District (PUD) and Limited Industrial to the south and east and Limited Industrial District (L-I) to the west. The property is designated for commercial and single family residential use in the Land Use Plan. Property proposed use: Expansion to warehouse and extra parking. Variances: None Requested. Development Services recommends preliminary plat approval of the proposed Maquila Trades Subdivision subject to the following conditions:

STREETS, PAVING AND R.O.W.:	1. Need to show full street dimension for W. Bona Terra Dr.
	2. Parking lot with gravel not allowed.
	3. Street light details plan to be included at building permit.

EASEMENTS:	1. Proposed easements to be Exclusive to City of Pharr, and shall be 15'.
	2. Existing easements with water and sewer need to become exclusive.
	3. Need to provide approval letter for the easements being abandoned prior to construction phase.
	4. Show all existing easements.

SIDEWALK: ADA:	1. In compliance.
---------------------------	-------------------

FIRE PROTECTION:	1. See attach comments.
-----------------------------	-------------------------

WATER:

1. 1" water service detail is needed.
2. Use polyethylene tubing.
3. Proposed water line will not be placed in swales.
4. Proposed water line and proposed sewer line location need to switch. Proposed water line will be east of the property's sewer line.
5. Proposed waterline shall be placed on the 5' line in the 15' exclusive easement with proposed fire hydrants east of the proposed water line.
6. 2 additional 12" water valves.
7. All wet tap need to have stainless steel sleeves.
8. Meter box need to be installed and flush with ground.
9. Proposed water line will be DR18.
10. Follow City of Pharr construction standards manual.

SEWER:

1. Proposed sewer line will not be placed in swales.
2. Proposed sewer line needs to be SDR26.
3. Need details of sewer service connections.
4. Proposed sewer line by "others" shall be west of the proposed water line.
5. Who is others? And when will they install the proposed sewer line?
6. Will you be moving the stub out closer to the proposed building?
7. Follow City of Pharr construction standards manual.

DRAINAGE:

1. Project engineer shall coordinate the spotting of assume existing storm line within property with public works department.
2. Storm line inside 15' utility easement to be located and labeled.
3. Need detention on a per lot basis if multiple lots.
4. Need approved drainage report.

OTHER:

1. On metes & bounds need to specify name of subdivision.
2. Paragraph number 2 calling "+" but in plat layout it's a "X" verify.
3. Plat note #7, reword.
4. Need S.W.P.P.P. with C.N.O.I filed.
5. Plat note 7, add "along W. Anaya Rd. and north side of Bona Terra Dr.
6. Add plat note: Owners to maintain detention areas.
7. Add plat note: Detention areas 3' or deeper will require perimeter fence.
8. Add plat note: Owners to maintain R.O.W. and perimeter of subdivision.
9. Need to correct the spelling for Bonna to "Bona".
10. Provide three (3) hard copies of SWPPP, file CNOI and large construction site notice with TCEQ. (for construction phase)

Danny Wylie advised that this item did not require a Public Hearing and opened the item to the Planning and Zoning Commission for discussion and action.

Danny Wylie asked staff if it was a subdivision or commercial. Mr. Martinez advised it was industrial they were re-platting the property. Danny Wylie asked if it was for commercial for residential customers. Mr. Martinez advised commercial.

There being no further discussion Rafael Munguia **moved** to approve preliminary plat approval of the proposed Maquila Trades Subdivision. Charlie Ramirez second the motion and when put to a vote it polled as follows:

D. Wylie: Approved	C. Ramirez: Approved
T. Greuner: Approved	R. Robles: Approved
R. Munguia: Approved	L. Madrigal: Approved
A. Castro: Approved	P. Rodriguez: Approved

Motion carried unanimously to approve preliminary plat approval of the proposed Maquila Trades Subdivision

ANNOUNCEMENTS/OTHER BUSINESS: NONE

ABSENTEE REPORT: Alexandra Esparza announced the full Commission was present.

ADJOURNMENT: There being no further business, Luis Madrigal **moved** that the meeting be adjourned. Romeo Robles second the motion and when put to a vote, the motion carried by unanimous consent, the Planning and Zoning meeting adjourned at 6:50 p.m.

Danny Wylie, Chairman

ATTEST:

Tom Greuner, Secretary



MEMORANDUM

DATE: MONDAY, FEBRUARY 13, 2017

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: LIFE-OF-THE-USE CONDITIONAL USE PERMIT FOR TELECOMMUNICATION EQUIPMENT FILE NO. CUP#170210 (AMERICAN TOWER ASSET SUB, LLC)

GENERAL INFORMATION:

APPLICANT: William Bebb Francis, III, representing American Tower Asset Sub, LLC, has filed with the Planning and Zoning Commission a request for a Life-of-the-Use Conditional Use Permit to continue to allow an existing telecommunications tower in an Agricultural and/or Open Space District (A-O).

LEGAL DESCRIPTION: The property is legally described as being a 0.153 acre tract of land, more or less, out of Lot 7, Block 12, A. J. McColl Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property is physically located within the 1600 Block of West Las Milpas Road.

ZONING: The property is currently zoned Agricultural and/or Open Space District (A-O). The property to the north and west is zoned Limited Industrial District (L-I), Single-Family Residential District (R-1) to the east and High Density Multi-Family Residential District (R-4) to the south. This area is generally designated for single-family residential use in the Land Use Plan.

NOTIFICATION OF PUBLIC: Sixteen (16) surrounding property owners were notified by letter and a legal notice was published in the Advance News Journal. Staff received no response to the letters or to the legal notice.

**DEVELOPMENT
SERVICES**

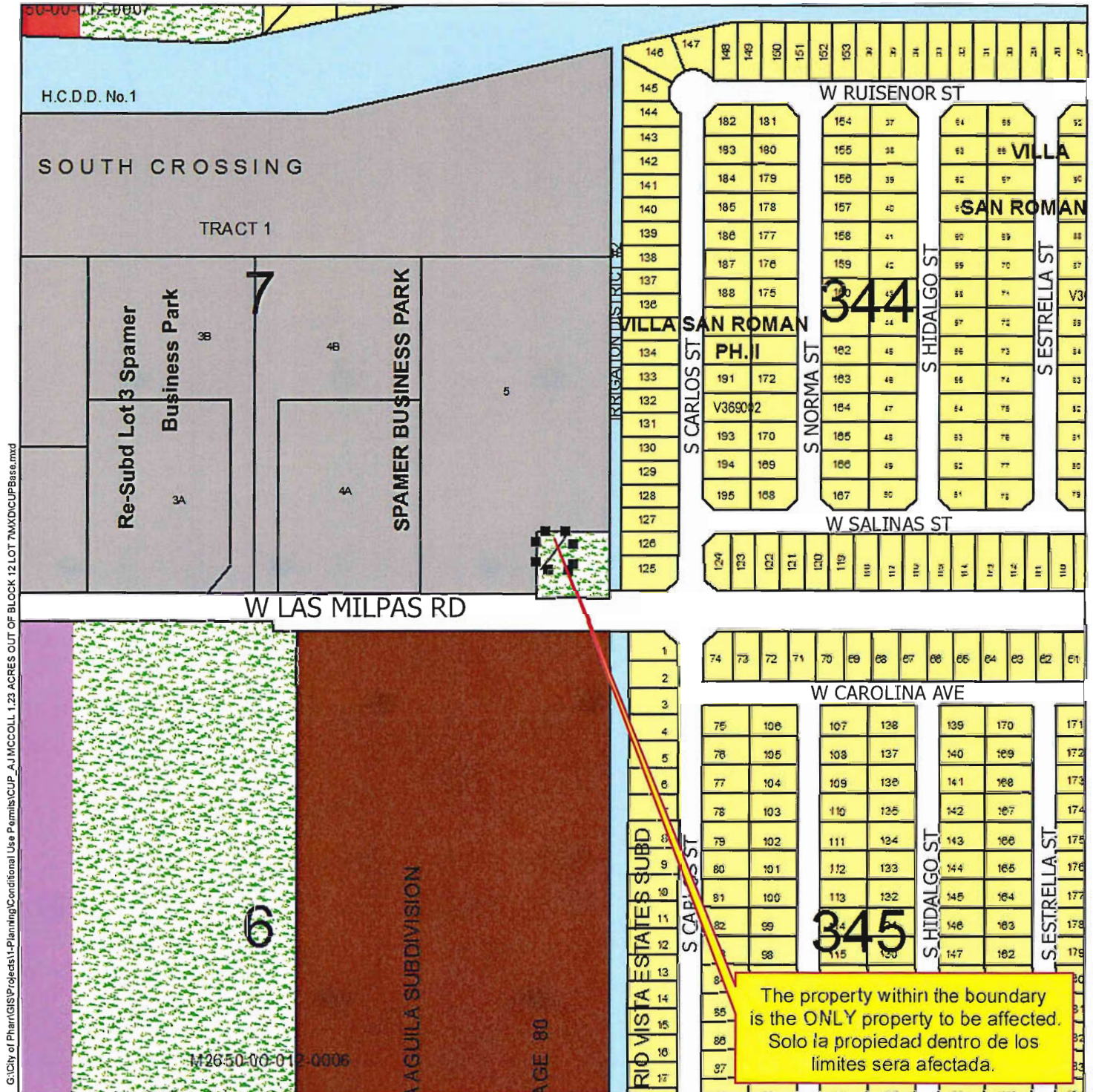
RECOMMENDATIONS:

Development Services is recommending **approval** of the request for a Life-of-the-Use Conditional Use Permit to continue to allow an existing telecommunication tower in an Agricultural and/or Open Space District (A-O) subject to the following conditions:

1. The applicant shall comply with all City of Pharr Ordinance requirements. Any violation of City Ordinance will terminate this Conditional Use Permit;
2. Any request to revise, alter or amend the conditions or requirements shall require the applicant to apply for a new Conditional Use Permit;
3. Any change in location, change in ownership or business entity owning or carrying out its operation on the property shall terminate this Conditional Use Permit;
4. This Conditional Use Permit shall be issued for the Life-of-the-Use; and
5. The existing telecommunications tower must continue to comply with all setback and height requirements.
6. The following shall be considered as grounds for the revocation of a Conditional Use Permit:
 - Any change in use or change in extent of use, area or location being used.
 - Failure to allow periodic inspections by representatives of the City of Pharr at any reasonable time.
 - Conditional Use Permits that have been revoked may not be applied for again until a period of one year has lapsed from the date of revocation.

NOTE: This item will go before the City Commission meeting of **March 20, 2017 at 5:00 pm.**

Proposed Conditional Use Permit
A.J. McColl 1.23Ac out of Block 12, Lot 7
William Bebb Francis, III/ American Tower Asset Sub, LLC

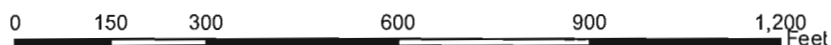


The property within the boundary is the ONLY property to be affected.
Solo la propiedad dentro de los límites sera afectada.

- | | | | | |
|-----------------------------|---------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | High Density Multi-Family | Government Owned | Heavy Industrial | Hidalgo ISD |
| Single Family | Mobile Home | General Business | Limited Industrial | Valley View ISD |
| Single Family Small Lot | Townhouse | Business District | Neighborhood Commercial | Planned Unit Development |
| Two Family | HUD Code | Drainage Easement | Office Professional | |
| Medium Density Multi-Family | Rail Road R.O.W. | Heavy Commercial | PSJA ISD | |

City of Pharr, Texas
Engineering Department
956.702.5355

Scale: 1 inch = 300 feet



Date: 2/17/2017

Proposed Conditional Use Permit
A.J. McColl 1.23Ac out of Block 12, Lot 7
William Bebb Francis, III/ American Tower Asset Sub, LLC



G:\City of Pharr\GIS\Projects\1-Planning\Conditional Use Permits\CUP_AJ.MCCOLL 1.23 ACRES OUT OF BLOCK 12 LOT 7\MXD\CUPBase.mxd

- | | | | | |
|-----------------------------|---------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | High Density Multi-Family | Government Owned | Heavy Industrial | Hidalgo ISD |
| Single Family | Mobile Home | General Business | Limited Industrial | Valley View ISD |
| Single Family Small Lot | Townhouse | Business District | Neighborhood Commercial | Planned Unit Development |
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City of Pharr, Texas
Engineering Department
956.702.5355

Scale: 1 inch = 300 feet



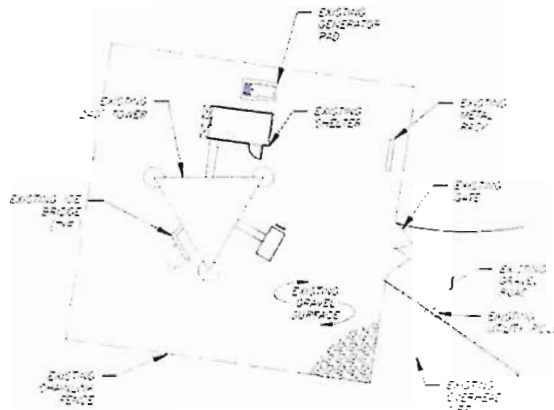
Date: 2/17/2017

NOTES

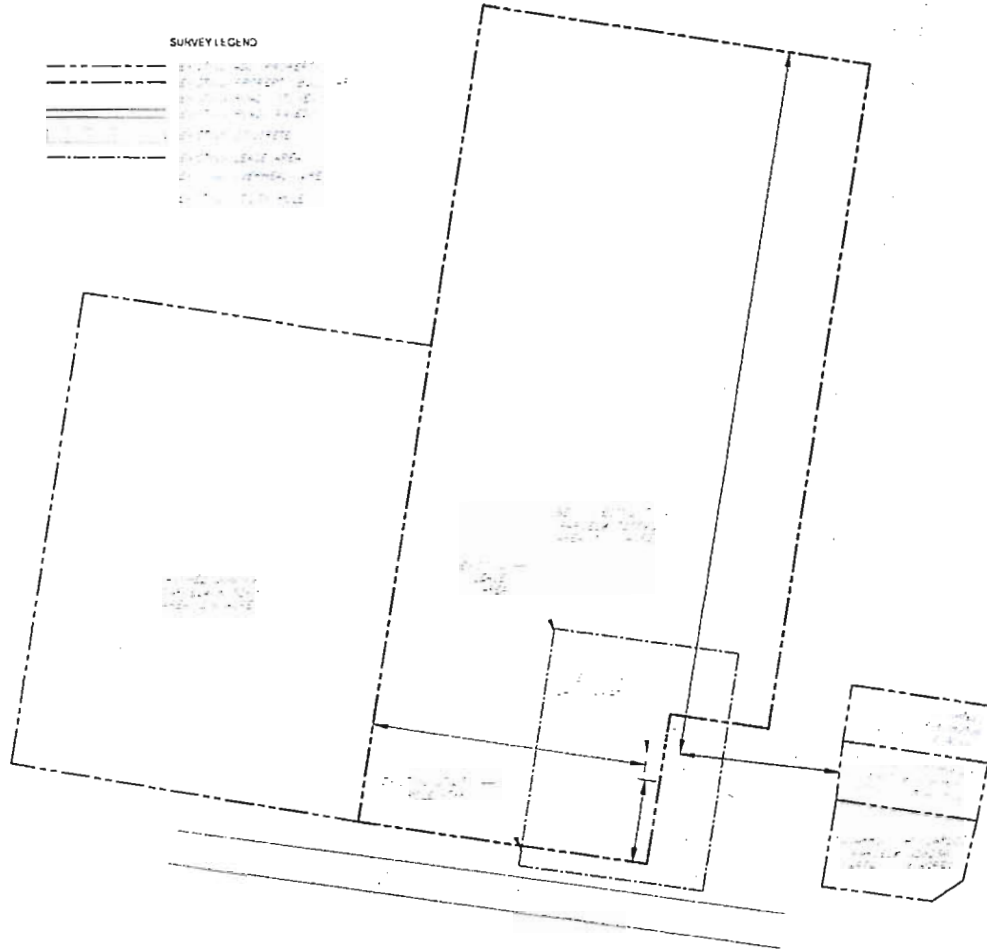
- THIS SET OF DRAWINGS IS INTENDED TO DEPICT EXISTING SITE CONDITIONS ONLY. THE PROJECT WILL NOT RESULT IN ANY PROPOSED WORK.
- FIELD SURVEY DATE: 04/05/2013
- BOUNDARY INFORMATION OBTAINED FROM: BRADLEY G. WELLS, PLS

SURVEY LEGEND

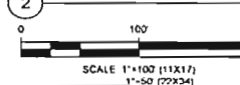
---	EXISTING PROPERTY LINE
---	EXISTING EASEMENT
---	EXISTING FENCE
---	EXISTING DRIVE
---	EXISTING UTILITY
---	EXISTING STRUCTURE
---	EXISTING SURFACE
---	EXISTING LOT



1 DETAILED SITE PLAN



2 OVERALL SITE PLAN



THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATION AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF AMERICAN TOWER. THEIR USE AND PUBLICATION SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY ARE PREPARED. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO AMERICAN TOWER OR THE SPECIFIED GAMER IS STRICTLY PROHIBITED. TITLE TO THESE DOCUMENTS SHALL REMAIN THE PROPERTY OF AMERICAN TOWER WHETHER OR NOT THE PROJECT IS EXECUTED. NEITHER THE ARCHITECT NOR THE ENGINEER SHALL BE PROVIDING ON-SITE CONSTRUCTION REVIEW OF THIS PROJECT. CONTRACTORS MUST VERIFY ALL DIMENSIONS AND ADVISE AMERICAN TOWER OF ANY DISCREPANCIES. ANY PRIOR EDITIONS OF THIS DRAWING IS SUPERSEDED BY THE LATEST VERSION ON FILE WITH AMERICAN TOWER.

REV.	DESCRIPTION	BY	DATE
1	FOR PERMITTING	JN	01/27/17
2			
3			
4			

ATC SITE NUMBER:

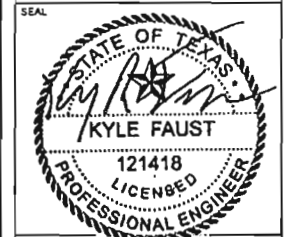
310046

ATC SITE NAME:

HIDALGO TX

SITE ADDRESS:

1000 W. LAS VILLAS ROAD
PHARR, TX 78577

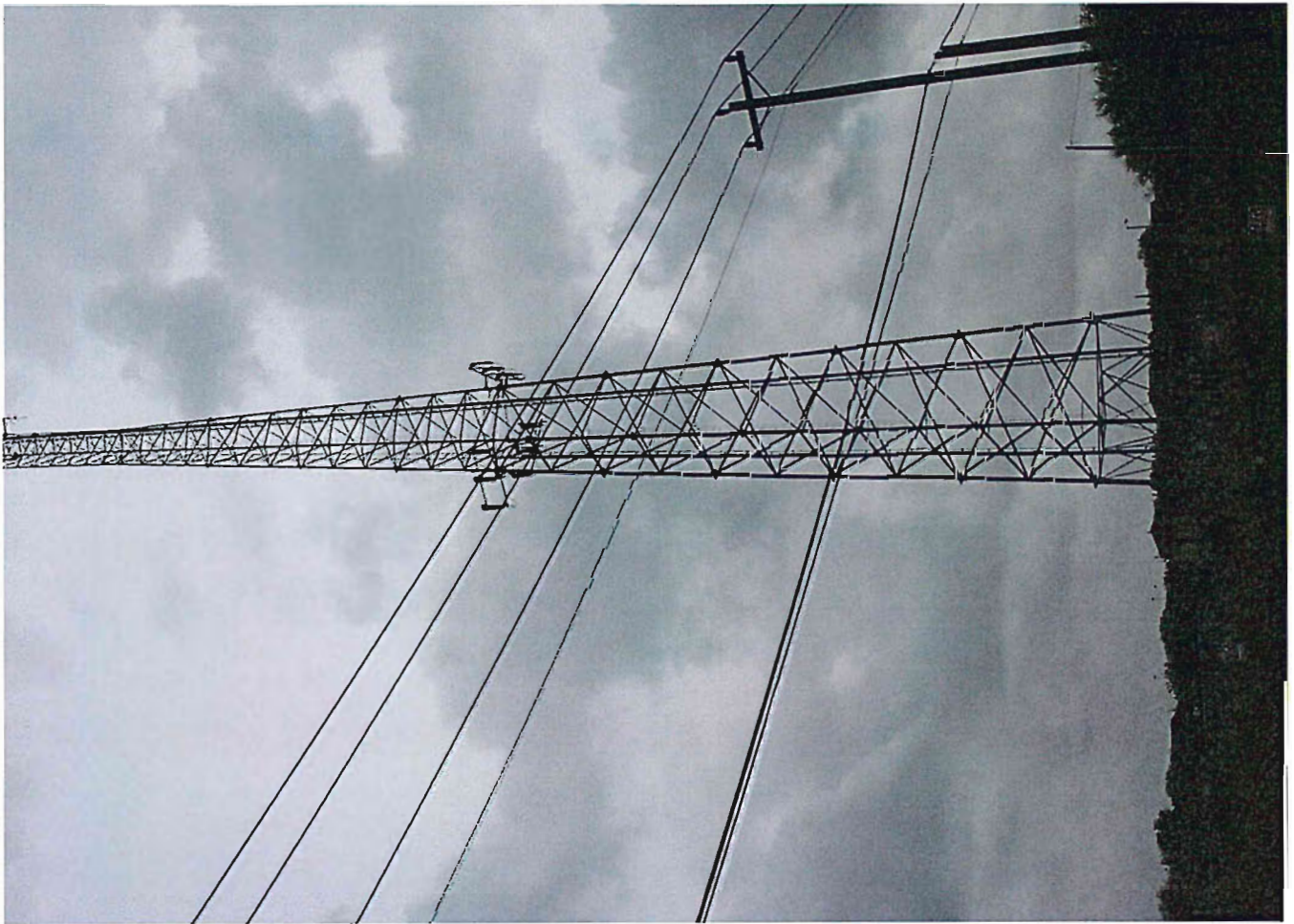


Jan 30 2017 10:47 AM cosign

DRAWN BY:	JN
APPROVED BY:	KRF
DATE DRAWN:	01/27/17
ATC JOB NO:	12032002

SITE PLAN

SHEET NUMBER	REVISION
C-101	0





STANDARDIZED RECOMMENDATION FORM

MEETING DATE: March 13, 2017

ROUTE TO BOARD:

☐ CITY COMMISSION

AGENDA ITEM: COZ:#170211

☒ PLANNING & ZONING COMMISSION

DATE SUBMITTED: February 17, 2017

1. **Applicant:** Shavi Mahtani/Domain Development, representing The Allen and Letitia Arnold Family Partnership, owners.
2. **Requested Action:** Re-zoning request from an Agricultural and/or Open Space District (A-O) to a Single-Family Residential District (R-1).
3. **Nature / Intent of Request:** In order to develop the property into a 146 lot single-family residential subdivision.

4. **Routing to Staff:**

A. Melanie Cano, Director	_____ Initials	_____ Date	☒ Approval ☐ Denial
B. Planning Staff Recommendations	_____ Initials	_____ Date	☒ Approval ☐ Denial
C. Planning and Zoning Commission	_____ Initials	_____ Date	☐ Approval ☐ Denial
D. City Attorney	_____ Initials	_____ Date	☐ Approval ☐ Denial
E. City Manager	_____ Initials	_____ Date	☐ Approval ☐ Denial



MEMORANDUM

DATE: MONDAY, MARCH 13, 2017

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: Re-zoning Request: From Agricultural and/or Open Space District (A-O) to a Single-Family Residential District (R-1): Being a tract of land containing 33.070 acres, more or less, out of Lot 87, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas. The property is physically located within the 5400 Block of North Sugar Road.

REZONING CHECKLIST / GOALS:

Comprehensive zoning and rezoning regulations and ordinances should be adopted and designed to facilitate, as much as possible, the following items:

1. To lessen congestion;
2. Secure safety from fire, panic and other dangers;
3. To promote health and general welfare;
4. To provide adequate light and air;
5. To protect the overcrowding of land and abutting traffic ways;
6. Avoid undue concentration of population, and;
7. To facilitate the adequate provisions of transportation, water, sewage, schools, parks, and other public requirements as per Local Government Code, Sect. 211.004.

DESCRIPTION OF PROPERTY:

Shavi Mahtani/Domain Development, representing The Allen and Letitia Arnold Family Partnership, is requesting a change of zone from Agricultural and/or Open Space District (A-O) to a Single-Family Residential District (R-1). The subject site is located on the east side of North Sugar Road and is physically located within the 5400 Block of North Sugar Road. The property is legally described as being a tract of land containing 33.070 acres, more or less, out of Lot 87, Kelly-Pharr Subdivision, Pharr, Hidalgo County, Texas.

The subject site currently consists of one (1) lot which has an approximate frontage of 1,091.30 feet along North Sugar Road and has an approximate depth of 1,320 feet. North Sugar Road is a 70' minor collector which runs north and south with a posted speed limit of 30 miles per hour or less as identified in the City of Pharr's Thoroughfare Plan.

The property is currently zoned Agricultural and/or Open Space District (A-O). The property to the north is zoned Residential Mobile Home District (R-MH), the property to the west is zoned Agricultural and/or Open Space District (A-O) and High Density Multi-Family District (R-4), the property to the south is zoned Agricultural and/or Open Space District (A-O) and the property to the east is zoned Agricultural and/or Open Space District (A-O) and Residential Townhouse District (R-TH). The property is generally designated for commercial and multi-family in the Land Use Plan.

The property to the north was rezoned to Planned Unit Development (P.U.D.) on August 21, 1984. On December 13, 1988 the property was changed from Planned Unit Development (P.U.D.) to Residential Mobile Home District (R-MH). On August 25, 2015, the property to the west was rezoned to High Density Multi-Family District (R-4) and on November 01, 2005, the property to the east was rezoned to Residential Townhouse District (R-TH).

The owner of the property is requesting a change of zone to a Single-Family Residential District (R-1) in order to develop the property into a 146 lot single-family residential subdivision.

The Single-Family Residential District is intended to be composed of single-family dwellings together with public, denominational and private schools, churches and public parks essential to create basic neighborhood units. Areas that are zoned for this use shall have water, wastewater, drainage and access to paved streets based on single-family usage. It is intended for areas that are properly buffered from nonresidential uses, and protected from pollution and/or environmental hazards or from high volume of non-single-family traffic.

Fourteen (14) letters were mailed out to the surrounding property owners and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice.

Planning staff is recommending **approval** of the request to re-zone to Single-Family Residential District (R-1) as the property meets area requirements and has adequate ingress and egress. If approved, applicant must subdivide and comply with all City Ordinances and City Department requirements.

NOTE: This item will go before the City Commission Meeting of **March 20, 2017** at **5:00 p.m.**

PLANNING COMMISSION OPTIONS:

1. Approve the rezoning request;
2. Table the item for:
 - a) consideration by the full board;
 - b) additional information;
 - c) additional time for applicant and adjacent property owners to meet;
3. Disapprove the request.



REQUEST FOR CHANGE OF ZONE & AMENDMENT TO LAND USE PLAN

Shavi Mahtani/Domain Development rep. The Allen and Letitia Arnold Family Partnership

APPLICANT

5400 Block of North Sugar Road

ADDRESS

Agricultural and/or Open Space District (A-O)

CURRENT ZONE

Single Family Residential District (R-1)

PROPOSED ZONE

		YES	NO
1	Does the property meet the minimum area requirements for the proposed zone?	X	
2	Does the property have adequate ingress and egress?	X	
3	Will the change of zone be compatible with surrounding properties? (Zoning and Land Use)	X	
4	Is the property located along a major thoroughfare?	X	
5	Will the property have adequate parking for the proposed use?	X	
6	Will the property have adequate landscaping as per City Ordinance?	X	
7	Will the zone change increase the volume of traffic?	X	
8	Will a buffer be required?	X	
9	Is the proposed change in line with the Future Land Use Plan?		X

STAFF RECOMMENDATIONS:

Approval

The property meets area requirements, has adequate ingress and egress and is compatible with

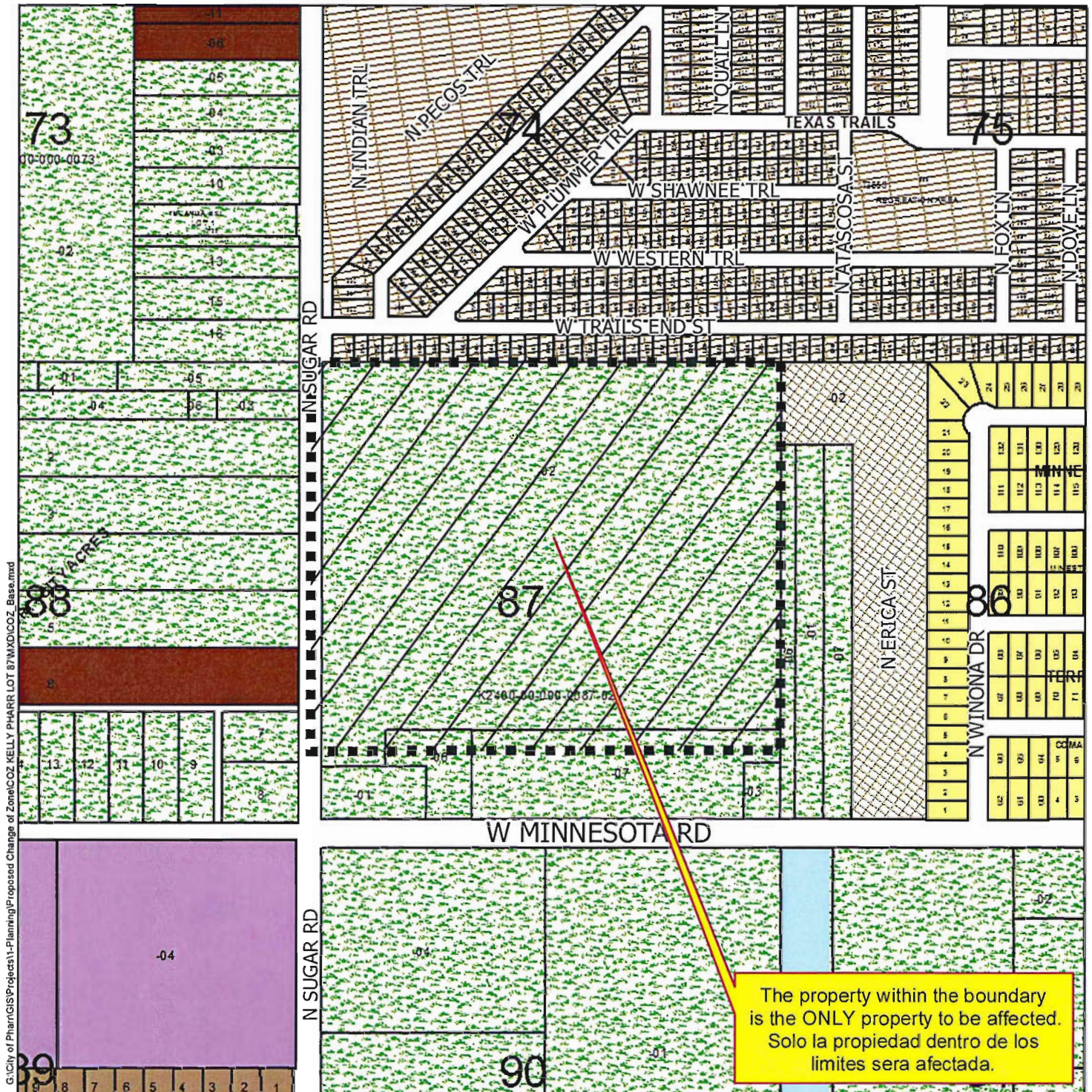
the surrounding properties.

Della Robles, Planner I

March 8, 2017

PREPARED BY

DATE



The property within the boundary is the ONLY property to be affected.
Solo la propiedad dentro de los limites sera afectada.

- | | | | | |
|-----------------------------|---------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | High Density Multi-Family | Government Owned | Heavy Industrial | Hidalgo ISD |
| Single Family | Mobile Home | General Business | Limited Industrial | Valley View ISD |
| Single Family Small Lot | Townhouse | Business District | Neighborhood Commercial | Planned Unit Development |
| Two Family | HUD Code | Drainage Easement | Office Professional | |
| Medium Density Multi-Family | Rail Road R.O.W. | Heavy Commercial | PSJA ISD | |



Proposed Change of Zone
Kelly Pharr Lot 87
Domain Development/ Shavi Mehtani



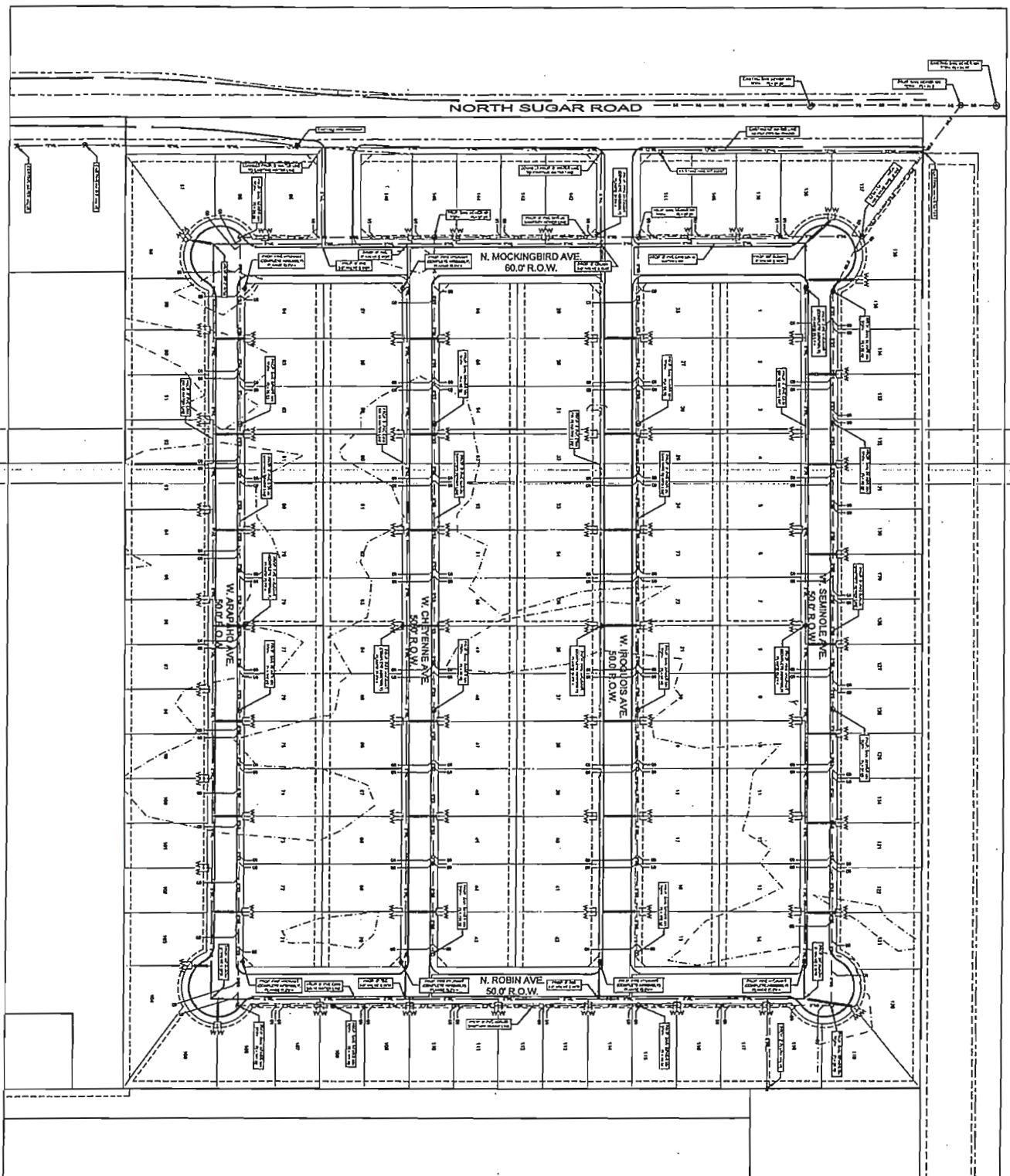
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|-----------------------------|---------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | High Density Multi-Family | Government Owned | Heavy Industrial | Hidalgo ISD |
| Single Family | Mobile Home | General Business | Limited Industrial | Valley View ISD |
| Single Family Small Lot | Townhouse | Business District | Neighborhood Commercial | Planned Unit Development |
| Two Family | HUD Code | Drainage Easement | Office Professional | |
| Medium Density Multi-Family | Rail Road R.O.W. | Heavy Commercial | PSJA ISD | |

City of Pharr, Texas
Engineering Department
956.702.5355

Scale: 1 inch = 400 feet



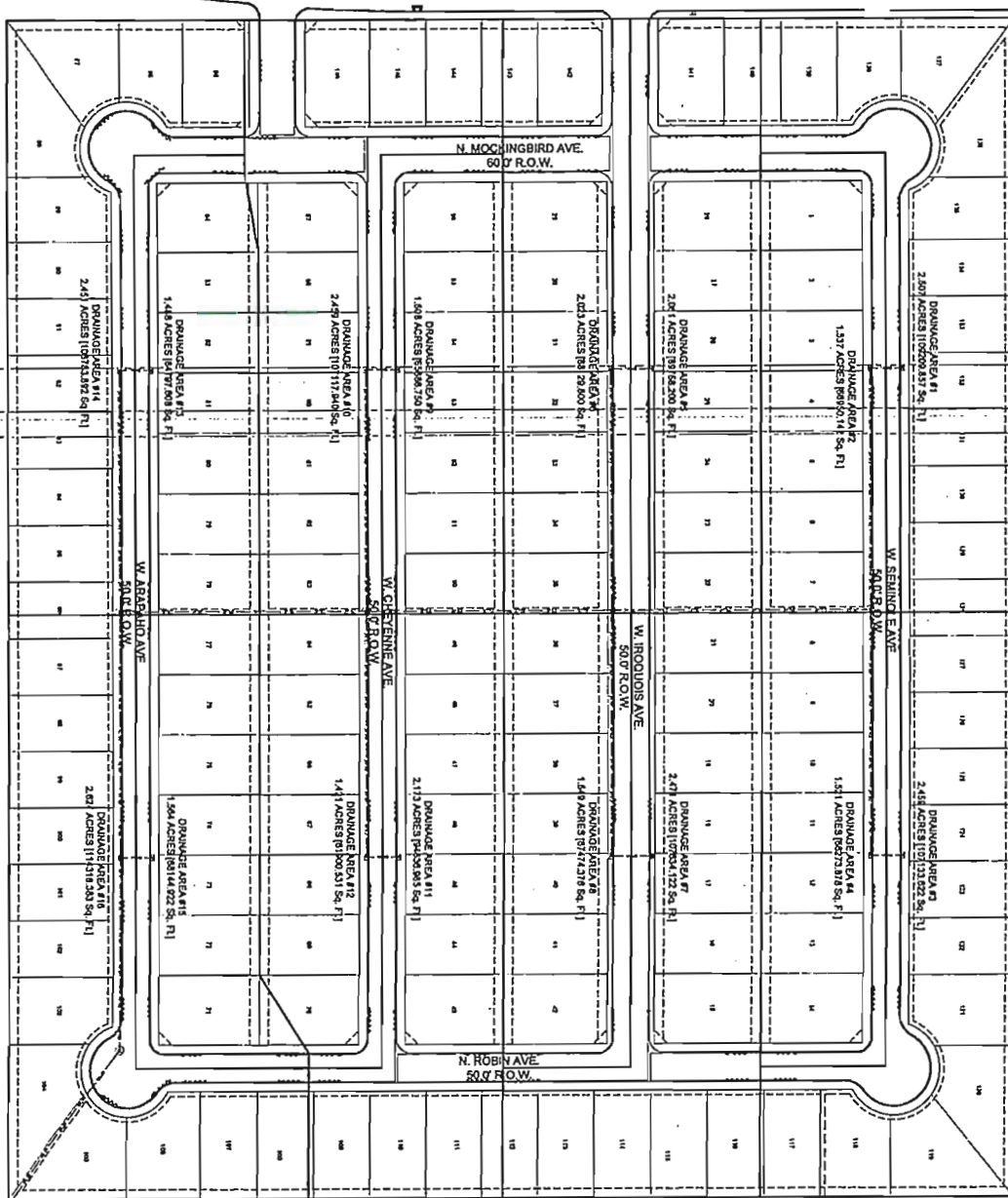
Date: 2/22/2017



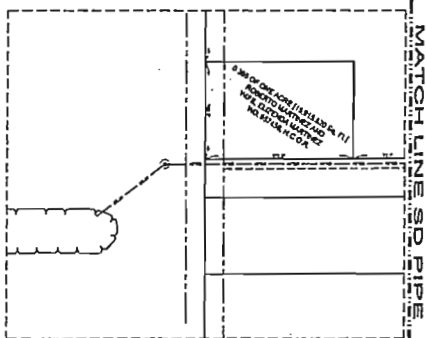
WATER AND SANITARY SEWER LAYOUT	WEST OAK MANOR CITY OF PHARR HIDALGO COUNTY, TEXAS		ENCL. TECH. R.O.W. PROJECT ENG. FIELD & CLIMATE 1. PROJECT 2. RELEASE DATE 3. RELEASE DATE 4. RELEASE DATE SCALE: 1" = 50'	 MELDREN & HUNT, INC. CONCRETE & SEWER INSTALLATION 1118 W. BAYVIEW CORPUS CHRISTI, TX 78401 P.O. BOX 1000 FAX: (361) 841-1000 WWW.MELDREN-HUNT.COM	DATE: 07/11/17 BY: JPH
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SHEET 2 OF X
 PROJECT: WEST OAK MANOR
 DATE: 07/11/17

NORTH SUGAR ROAD



MATCH LINE SD PIPE



DRAINAGE PARCELS

WEST OAK MANOR
CITY OF PHARR
HIDALGO COUNTY, TEXAS

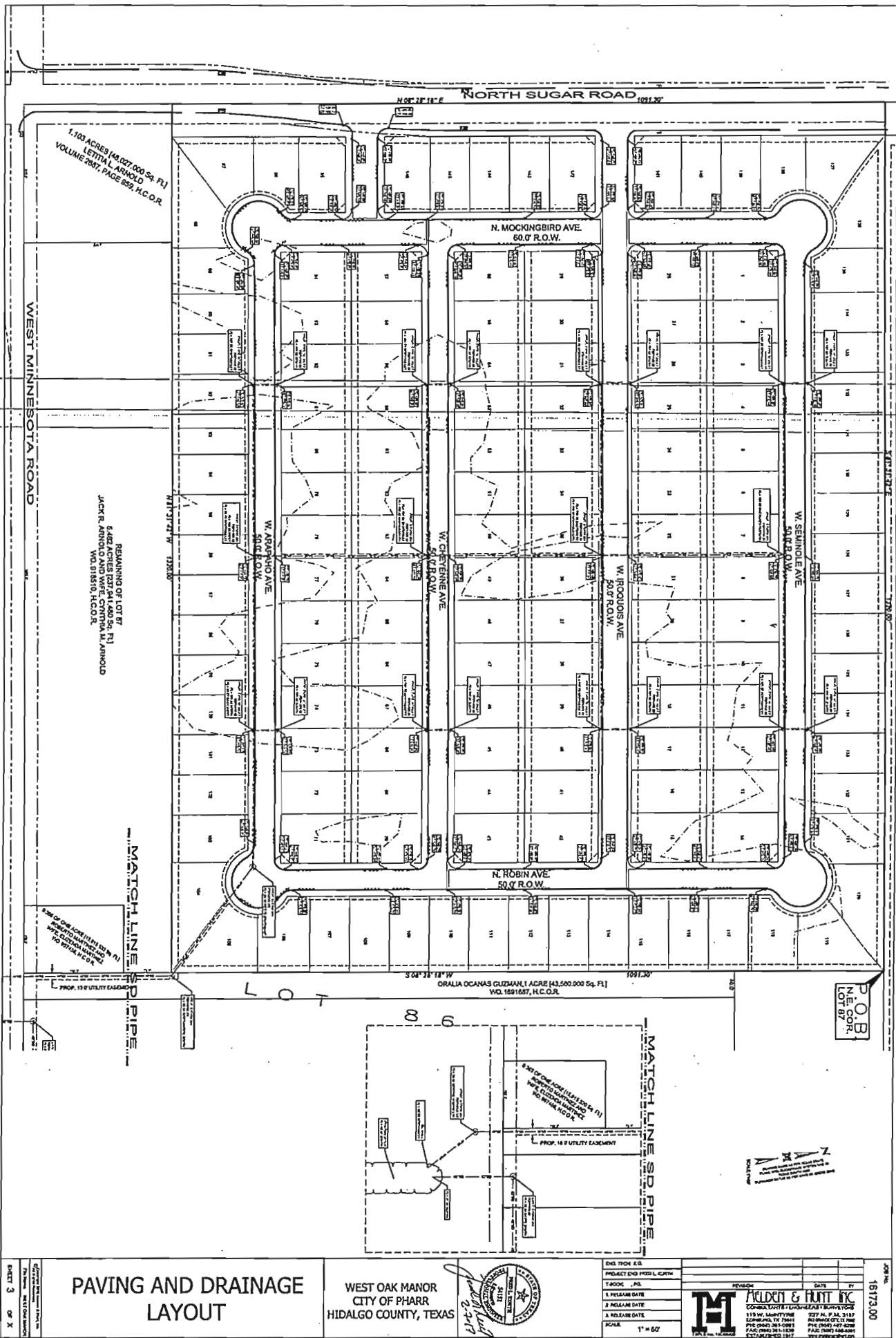


ENR. TECH. # 0
PROJECT ENR. FRED L. VERTIN
PROJECT # 100
1. RELEASE DATE: 03/27/14
2. RELEASE DATE: 03/27/14
3. RELEASE DATE: 03/27/14
SCALE: 1" = 60'

M MILDEN & HUNT INC.
CORPORATE & ENGINEERING SERVICES
1118 W. JAMES ST.
PHARR, TX 77581
PH: (361) 447-4000
FAX: (361) 447-4000
WWW.MILDEN-HUNT.COM

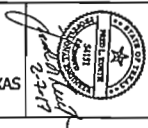
16173.00

Sheet X of X



PAVING AND DRAINAGE LAYOUT

WEST OAK MANOR
CITY OF PHARR
HIDALGO COUNTY, TEXAS



ENG. TROY E.G.
PROJECT ENG. FIELD CLERK
T.A.O.O.
1. RELEASE DATE
2. RELEASE DATE
3. RELEASE DATE
SCALE 1" = 60'



16173.00

DATE: 11/11/16
BY: TROY E.G.
CHECKED: TROY E.G.
DATE: 11/11/16





MEMORANDUM

DATE: MONDAY, MARCH 13, 2017

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: LIFE-OF-THE-USE CONDITIONAL USE PERMIT FOR CHURCH –
FILE NO. **CUP#170212** (CENTRO FAMILIAR CRISTIANO IGLESIA DEL
PUEBLO)

GENERAL INFORMATION:

APPLICANT: Sonia Garcia, representing Centro Familiar Cristiano Iglesia Del Pueblo, has filed with the Planning and Zoning Commission a request for a Life-of-the-Use Conditional Use Permit to allow a church in a Single-Family Residential District (R-1).

LEGAL DESCRIPTION: The property is legally described as being all of Lot 14, Las Fuentes Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property's physical address is 424 West Navarro Street.

ZONING: The property is currently zoned Single-Family Residential District (R-1). The property to the north is zoned Single-Family Residential District (R-1) and Two-Family Residential District (R-2), to the south and east the property is zoned Single-Family Residential District (R-1) and to the west the property is zoned Agricultural and/or Open Space District (A-O). This area is generally designated for single-family residential use in the Land Use Plan.

NOTIFICATION OF PUBLIC: Thirty-six (36) surrounding property owners were notified of the request by letter and a legal notice was published in the Advance News Journal. Staff received two (2) telephone calls in opposition of the item.

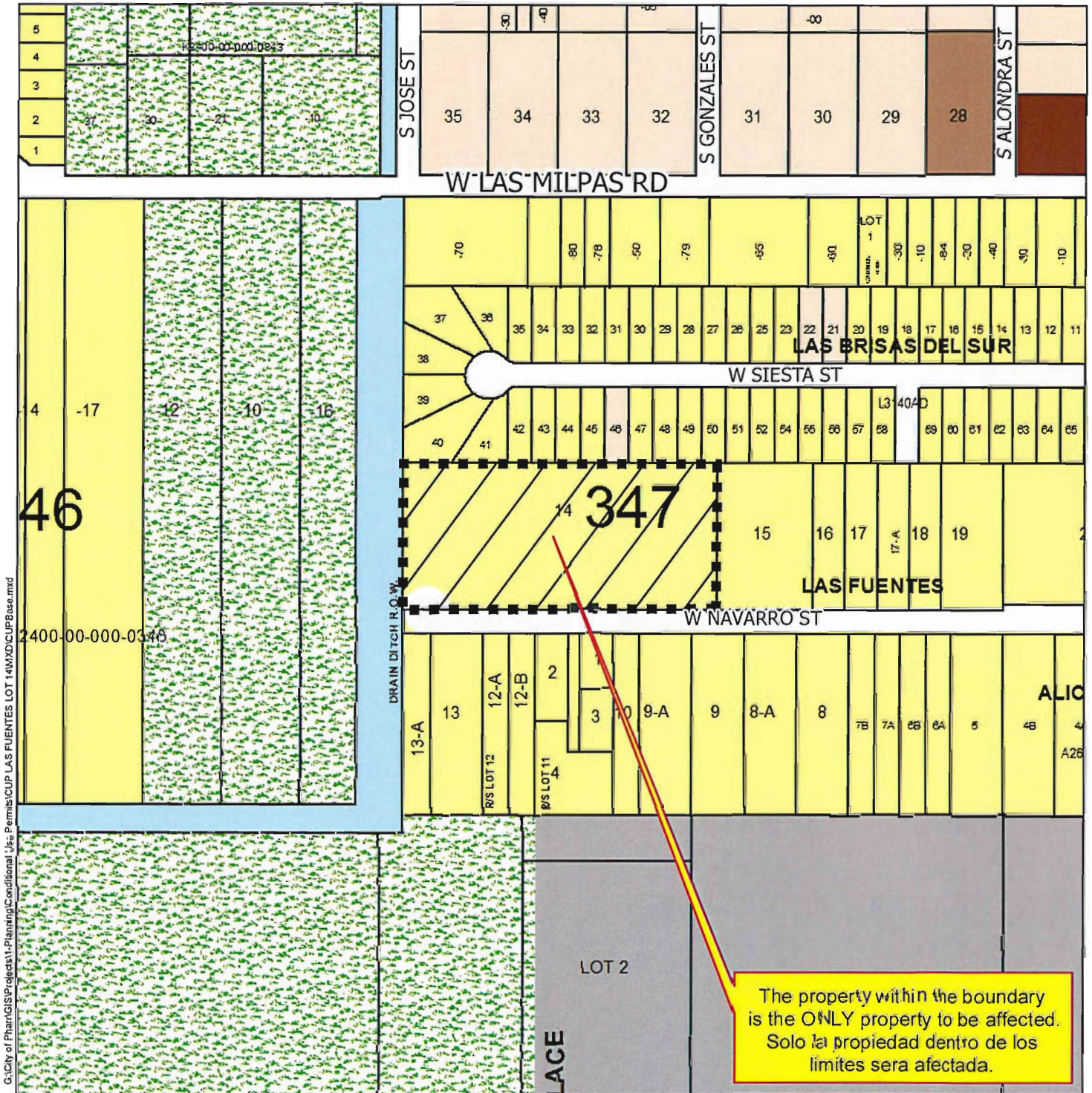
**DEVELOPMENT
SERVICES**

RECOMMENDATIONS:

Development Services is recommending **approval** of the request for a Life-of-the-Use Conditional Use Permit to allow a church in Single-Family Residential District (R-1) subject to the following conditions:

1. This Conditional Use permit shall be issued for the Life-of-the-Use and issued to the current owner only;
2. Parking requirements as per Ordinance;
3. If the need arises for expansion, applicant shall advise the city and it will be necessary for the Planning & Zoning Commission to reconsider this permit;
4. The applicant shall comply with the Landscaping and Sign Ordinance;
5. Any change in ownership or applicant conducting business shall terminate this Conditional Use Permit;
6. A building permit and Certificate of Occupancy will be required and current standard building codes must be observed; if applicable.
7. The following shall be considered as grounds for the revocation of a Conditional Use Permit:
 - Any change in use or change in extent of use, area or location of the building being used.
 - Failure to allow periodic inspections by representatives of the City of Pharr at any reasonable time.
 - Conditional Use Permits that have been revoked may not be applied for again until a period of one year has lapsed from the date of revocation.

NOTE: This item will go before the City Commission meeting of **March 20, 2017** at **5:00 p.m.**



G:\City of Pharr\GIS\Projects\1-Planning\Conditional Use Permits\CUP LAS FUENTES LOT 14\MXDCUPBase.mxd

- | | | | | |
|-----------------------------|---------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | High Density Multi-Family | Government Owned | Heavy Industrial | Hidalgo ISD |
| Single Family | Mobile Home | General Business | Limited Industrial | Valley View ISD |
| Single Family Small Lot | Townhouse | Business District | Neighborhood Commercial | Planned Unit Development |
| Two Family | HUD Code | Drainage Easement | Office Professional | |
| Medium Density Multi-Family | Rail Road R.O.W. | Heavy Commercial | PSJA ISD | |



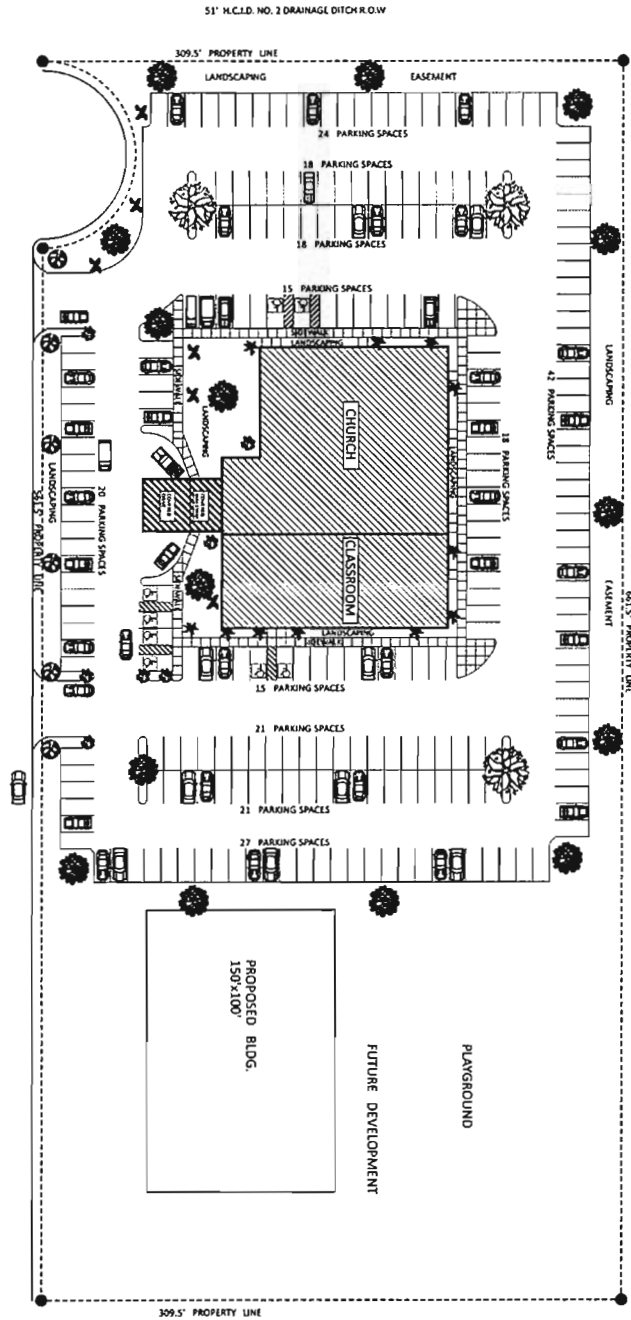
SITE PLAN

SCALE: 1" = 50'-0"



234 PARKING SPACES

MAYNARD STREET



APPROVED
DRAWING 2/10/2017



NEW FACILITIES FOR
CENTRO CHRISTIANO
FAMILIAR-DEL PUEBLO
PASTOR: RUBEN LERMA
PHARR TEXAS

THIS DRAWING IS THE PROPERTY OF DONALD L. McMASTERS AND ASSOCIATES. THIS DRAWING MAY NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART. THIS DRAWING MAY NOT BE USED WITH OUT THE WRITTEN CONSENT OF DONALD L. McMASTERS AND ASSOCIATES. ITS UNAUTHORIZED USE WITH OUT THE WRITTEN CONSENT OF DONALD L. McMASTERS AND ASSOCIATES MAY BE SUBJECT TO PENALTY BY LAW.

ARCHITECT:
**McMASTERS
AND ASSOCIATES INC.**
1101 WYTHE SUITE F
McALLEN, TEXAS (956) 560-2195

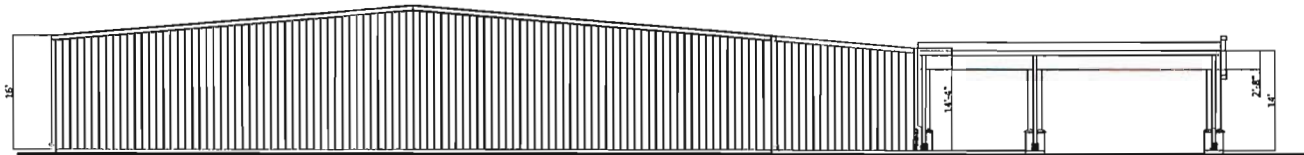




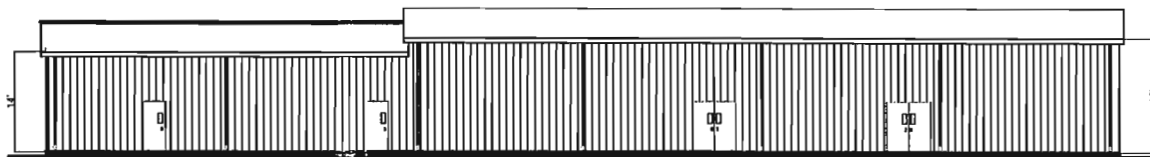




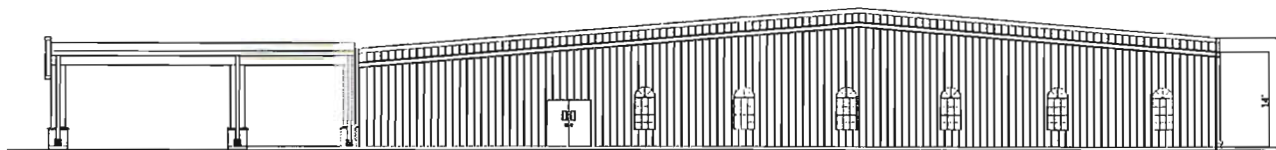
SOUTH ELEVATION SCALE: 1/8" = 1'-0"



WEST ELEVATION SCALE: 1/8" = 1'-0"



NORTH ELEVATION SCALE: 1/8" = 1'-0"



EAST ELEVATION SCALE: 1/8" = 1'-0"

APPROVED
REVISED 2/10/2017



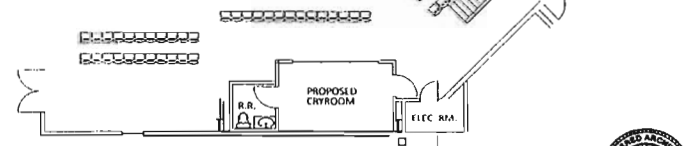
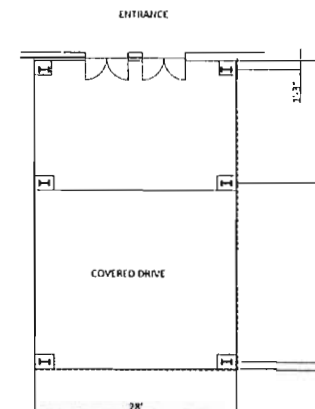
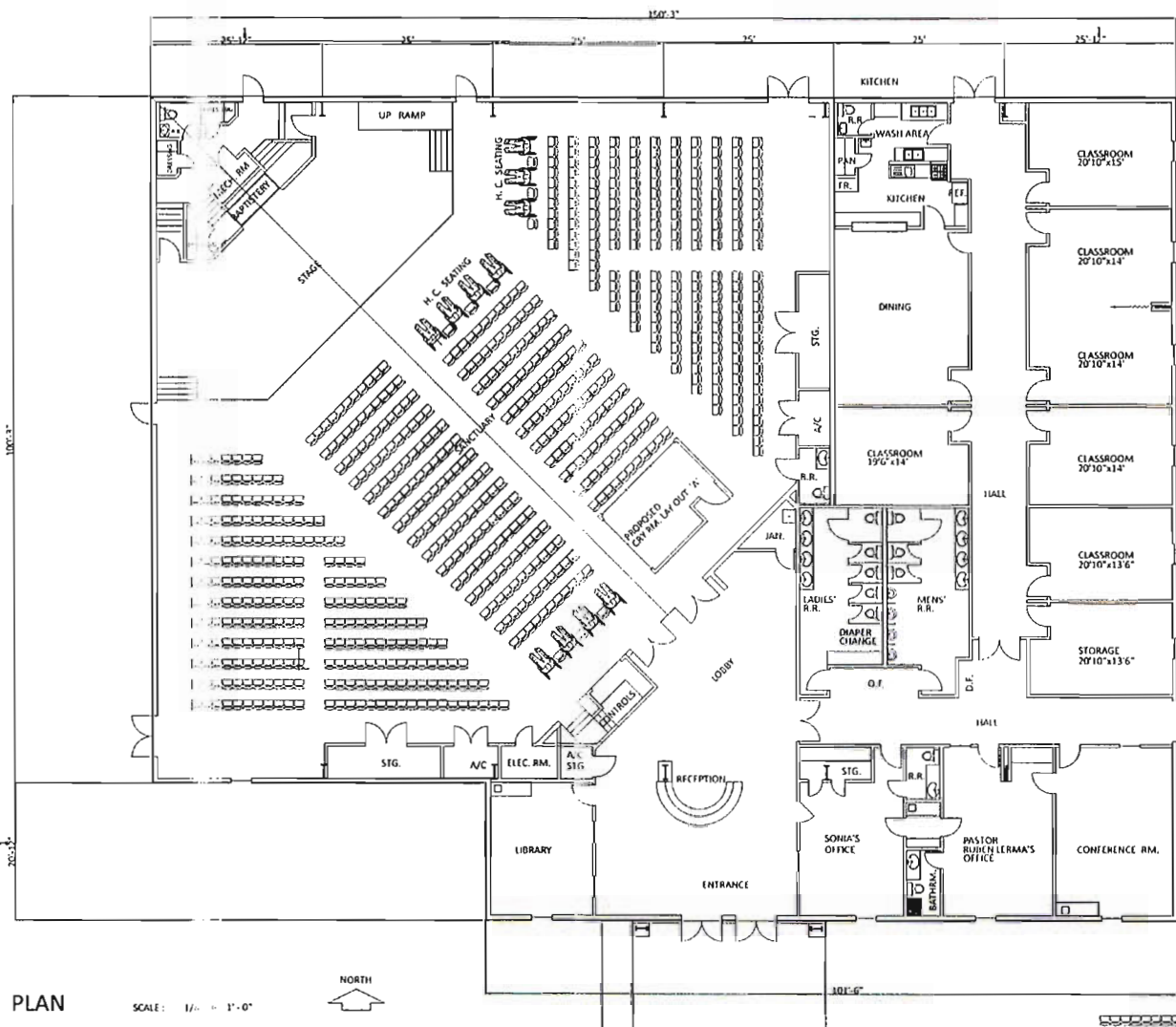
ARCHITECT:
**McMASTERS
AND ASSOCIATES INC.**
1101 VME, SUITE F
MCALLEN, TEXAS (956) 560-2194

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NEW FACILITIES FOR
FAMILIAR
CENTRO CHRISTIANO DEL PUEBLO
PASTOR: RUBEN LERMA
PHASE

FLOOR PLAN

SCALE: 1/4" = 1'-0"



APPROVED
REVISED 2/10/2017

PROPOSED
CRYROOM LAY OUT 'B'



ARCHITECT:
**McMASTERS
AND ASSOCIATES INC.**
1301 WINE, SUITE E
MCALLEN, TEXAS (956) 940-2155

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NEW FACILITIES FOR
**CENTRO FAMILAR
CHRISTIANO DEL PUEBLO**
PASTOR : RUBEN LERMA
PHASE

TEXAS





MEMORANDUM

DATE: MONDAY, MARCH 13, 2017

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: LIFE-OF-THE-USE CONDITIONAL USE PERMIT FOR INSTITUTIONAL USE - FILE NO.CUP#170213 (PATHWAY TO INDEPENDENCE)
--

GENERAL INFORMATION:

APPLICANT: Rene Campos, representing Pharr-San Juan-Alamo ISD has filed with the Planning and Zoning Commission a request for a Life-of-the-Use Conditional Use Permit to allow an Institutional Use in a Single-Family Residential District (R-1).

LEGAL DESCRIPTION: The property is legally described as being all of Lot 8, Ford's Subdivision and all of Lots 1 and 8, Block 1, McDaniel Subdivision, Pharr, Hidalgo County, Texas.

LOCATION: The property's physical address is 325 West Jones Avenue.

ZONING: The property is currently zoned Single-Family Residential District (R-1). The surrounding property is zoned Single-Family Residential District (R-1) to the north, south, west and east. This area is generally designated for single-family residential use in the Land Use Plan.

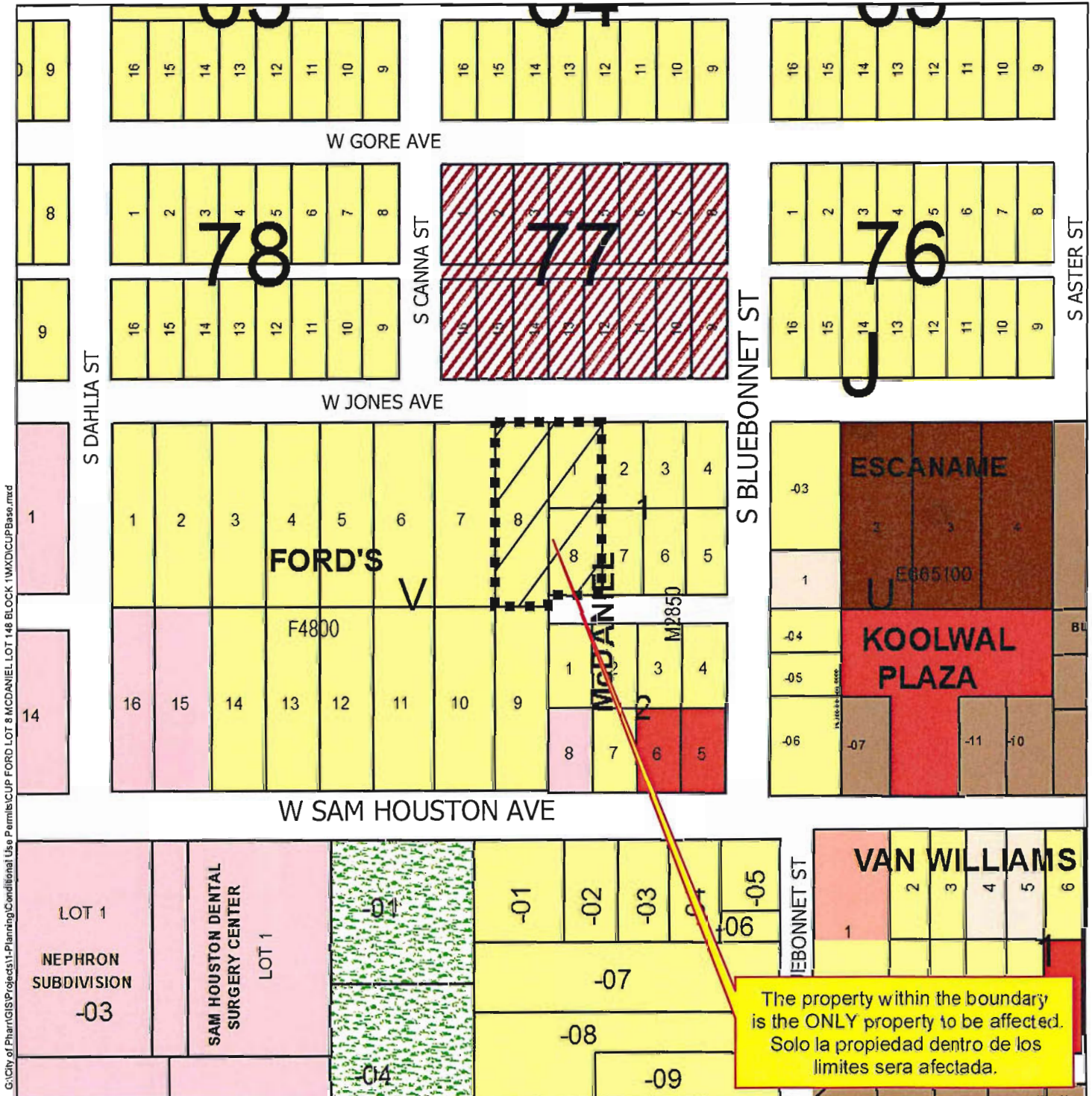
NOTIFICATION OF PUBLIC: Thirty-one (31) surrounding property owners were notified of the request by letter and a legal notice was published in the Advance News Journal. Staff received no response to the letters or the legal notice.

DEVELOPMENT SERVICES RECOMMENDATIONS: Development Services is recommending approval of the Conditional Use Permit to allow an Institutional Use in a Single-Family Residential District (R-1) subject to the following conditions:

1. A fire alarm system must be installed in every unit/room;
2. An all-weather surface must be provided for emergency access; and
3. The applicant shall comply with all City of Pharr Ordinance requirements; any violation of City Ordinance will terminate this Conditional Use Permit;
4. The following shall be considered as grounds for revocation of the Conditional Use Permit:
 - Any change in use or change in extent of use, area or location of the dwelling being used.
 - Failure to allow periodic inspections by representatives of the City of Pharr at any reasonable time.

NOTE: This item will go before the City Commission Meeting of **March 20, 2017** at **5:00 p.m.**

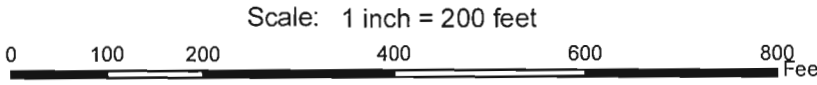
Proposed Conditional Use Permit
 Ford's Lot 8 & McDaniel Lots 1 & 8
 Rene Campos/ Pharr-San Juan-Alamo ISD



G:\City of Pharr\GIS\Projects\1-Planning\Conditional Use Permits\CUP Ford Lot 8 & McDaniel Lot 1 & 8 Block 1\MXDCUPBase.mxd

- | | | | | |
|-----------------------------|---------------------------|-------------------|-------------------------|--------------------------|
| Agricultural Open Space | High Density Multi-Family | Government Owned | Heavy Industrial | Hidalgo ISD |
| Single Family | Mobile Home | General Business | Limited Industrial | Valley View ISD |
| Single Family Small Lot | Townhouse | Business District | Neighborhood Commercial | Planned Unit Development |
| Two Family | HUD Code | Drainage Easement | Office Professional | |
| Medium Density Multi-Family | Rail Road R.O.W. | Heavy Commercial | PSJA ISD | |

City of Pharr, Texas
 Engineering Department
 956.702.5355



W. JONES ST.

NORTH

7/10/17
Note: will proceed
with the project
on later time.

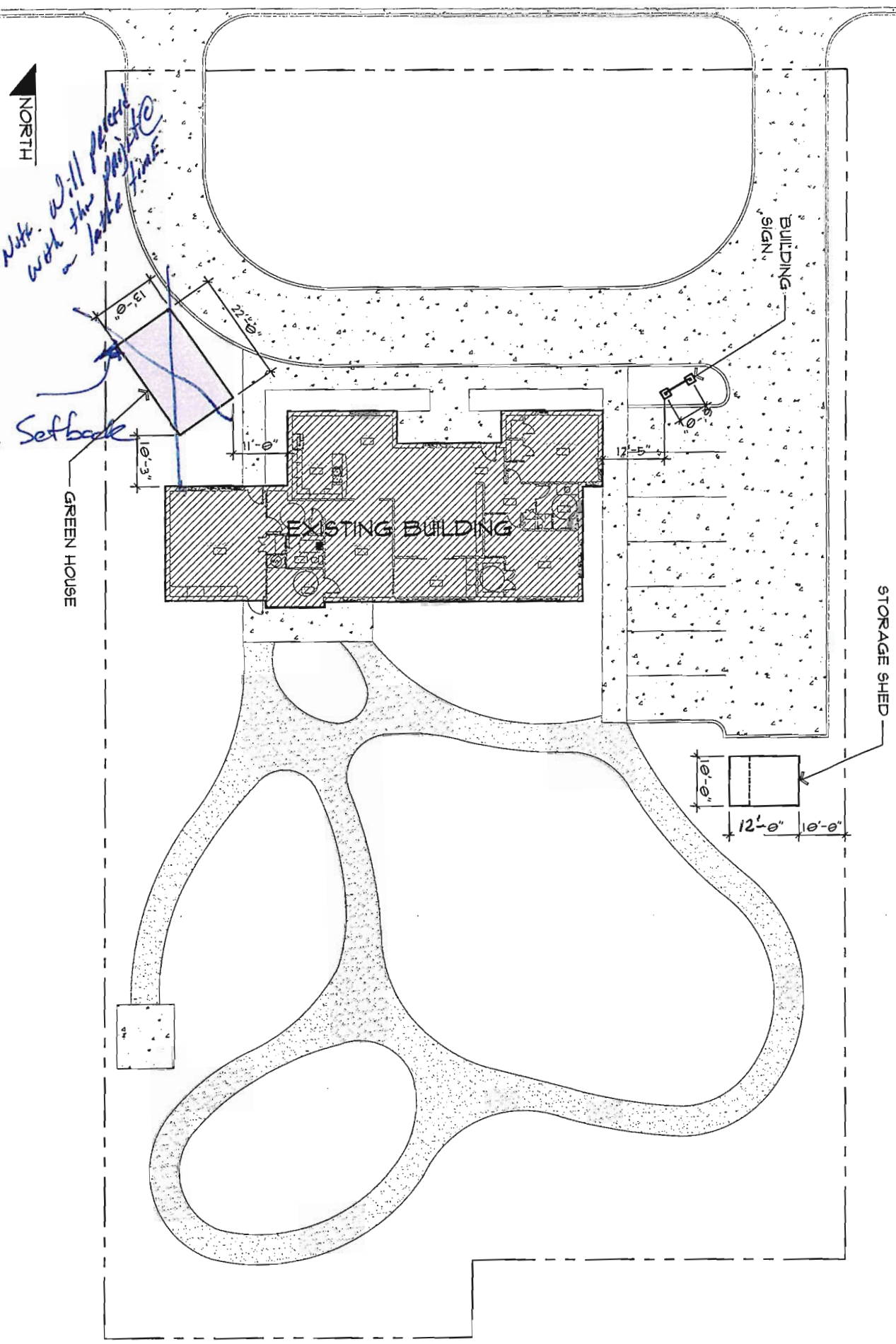
5'
Side Setback

GREEN HOUSE

BUILDING
SIGN

EXISTING BUILDING

STORAGE SHED



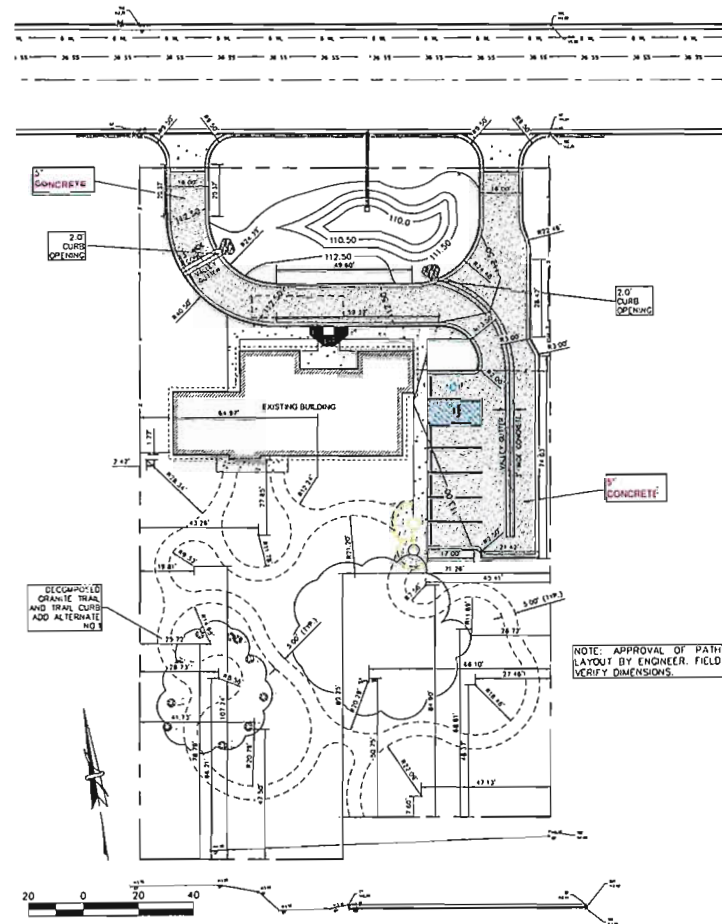
PAVEMENT DESIGN NOTES			
LOCATION	TYPE	BASE	TREATED SUBGRADE
DRIVEWAY	5" CONCRETE	6"	6"
PARKING LOT	5" CONCRETE	6"	6"
DRIVEWAY ENTRANCE	5.5" CONCRETE	N/A	N/A
SIDEWALK	4" CONCRETE	N/A	N/A

CAUTION NOTES

- ENTRANCE AND PARKING LOT SHALL BE PAVED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY TERRACON DATED 8/11/14. CITY OF PHOENIX AND MARICOPA COUNTY (THOUGHTS)
- PARKING LOT LANES AND STRIPING SHALL BE CLEARLY MARKED BY WHITE PAINT
- ALL CONCRETE SHALL BE MIN 3500 PSI CONCRETE
- ALL SURFACE WORK FROM REMOVAL OF EXISTING PAVING SHALL BE BACKFILLED COMPLETELY WITH MOTISTONE CONCRETION, COMPACTED, ENGINEERED FILL IN ACCORDANCE WITH GEOTECHNICAL REPORT

LOCATION NOTES

- THE CONTRACTOR SHALL USE CAUTION WHEN DESIGN UTILITIES PRESENTED ON THESE DRAWINGS ARE 5'-0" OR DEEPER BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TREAT ONE CALL 800-249-4343 AND LOC ONE STAR ONE CALL 800-887-8344 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.

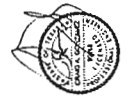


GRADING PLAN

REVISIONS

REV.	DESCRIPTION	DATE

SITE IMPROVEMENTS FOR
PATHWAYS TO INDEPENDENCE
PHARR, TEXAS
PAVING AND GRADING PLAN



URBAN
INFRASTRUCTURE
GROUP, INC.

407 N. CALIFORNIA BLVD.
PO BOX 129
DUNN, TEXAS 75831
(936) 267-9710

WWW.URBANINFRASTRUCTURE.COM

PROJECT NO. 113600

DATE: JUNE 2016

SHEET

SHEET NUMBER

C5







MEMORANDUM

DATE: MONDAY, MARCH 13, 2017

TO: PLANNING AND ZONING COMMISSION

FROM: DEVELOPMENT SERVICES

SUBJECT: SOUTH TEXAS COLLEGE REGIONAL CENTER FOR PUBLIC SAFETY
EXCELLENCE SUBDIVISION SUB#161126

GENERAL INFORMATION:

APPLICANT: HALFF Associates, Inc., representing South Texas College is requesting preliminary plat approval of the proposed South Texas College Regional Center For Public Safety Excellence Subdivision.

LEGAL DESCRIPTION: The property is legally described as being a 62.38 acres out of Lots 255, 258, 259 and 260 Kelly-Pharr Subdivision of Porciones 69 and 70, Pharr, Hidalgo County, Texas.

LOCATION: The property is located at the 3900 Block of South Cage Boulevard.

ZONING: The property is currently zoned Agricultural and/or Open Space District (A-O). The adjacent zones are Agricultural and/or Open Space District (A-O), Planned Unit Development District (PUD) and City of Pharr ETJ to the North, Agricultural and/or Open Space District (A-O) and City of Pharr ETJ to the South, City of Pharr ETJ to the East and Agricultural and/or Open Space District (A-O) and General Business District (C) to the West. The property is designated for public/semi public and single family residential use in the Land Use Plan.

PROPERTY PROPOSED USE: South Texas College

VARIANCES: None requested.

RECOMMENDATIONS: Development Services recommends preliminary plat approval of the proposed South Texas College Regional Center For

**STREETS, PAVING
AND R.O.W.:**

1. Will require copy of TxDot Driveway permit.
2. Verify and label R.O.W. need 120'-150' on US 281 and 70' on E. Rancho Blanco road.
3. Will require street light plan at building permit.

EASEMENTS:

1. Verify name, county water improvement District #2.
2. Need to provide easements for interior waterlines.
3. Exclusive 15' easement intersects with HCID #2 easement, is HCID# 2 ok with this? Verify.

**SIDEWALK:
ADA:**

1. Plat note #8: reword to read "Wheelchair ramps and landings per ADA requirements to be constructed at subdivision stage. Sidewalks to be constructed at building permit stage".

FIRE PROTECTION:

1. See attach comments.

WATER:

1. Need a 2-inch service for property.
2. Need a 12-inch waterline valve close to the 90 degrees bends.
3. PVC needs to be DR18.
4. Fire hydrant line needs a 12" casing.
5. Need a 12-inch valve and stub out with cap at end of propose waterline.
6. All bends will have megalock.
7. Connection will be wet tap with the proper valves, stainless steel taps, etc.
8. Need to show detail of water service.
9. Need to install meter box.
10. Follow City of Pharr construction standard manual.

SEWER:

1. Need a stub out and plug at the manhole.
2. Need a 6-inch sewer service stub out/ show sewer service stub out.
3. Cannot connect directly to manhole.
4. Sewer lines needs to be SDR26.
5. Need detail of stub out and connection
6. Follow City of Pharr construction standard manual.

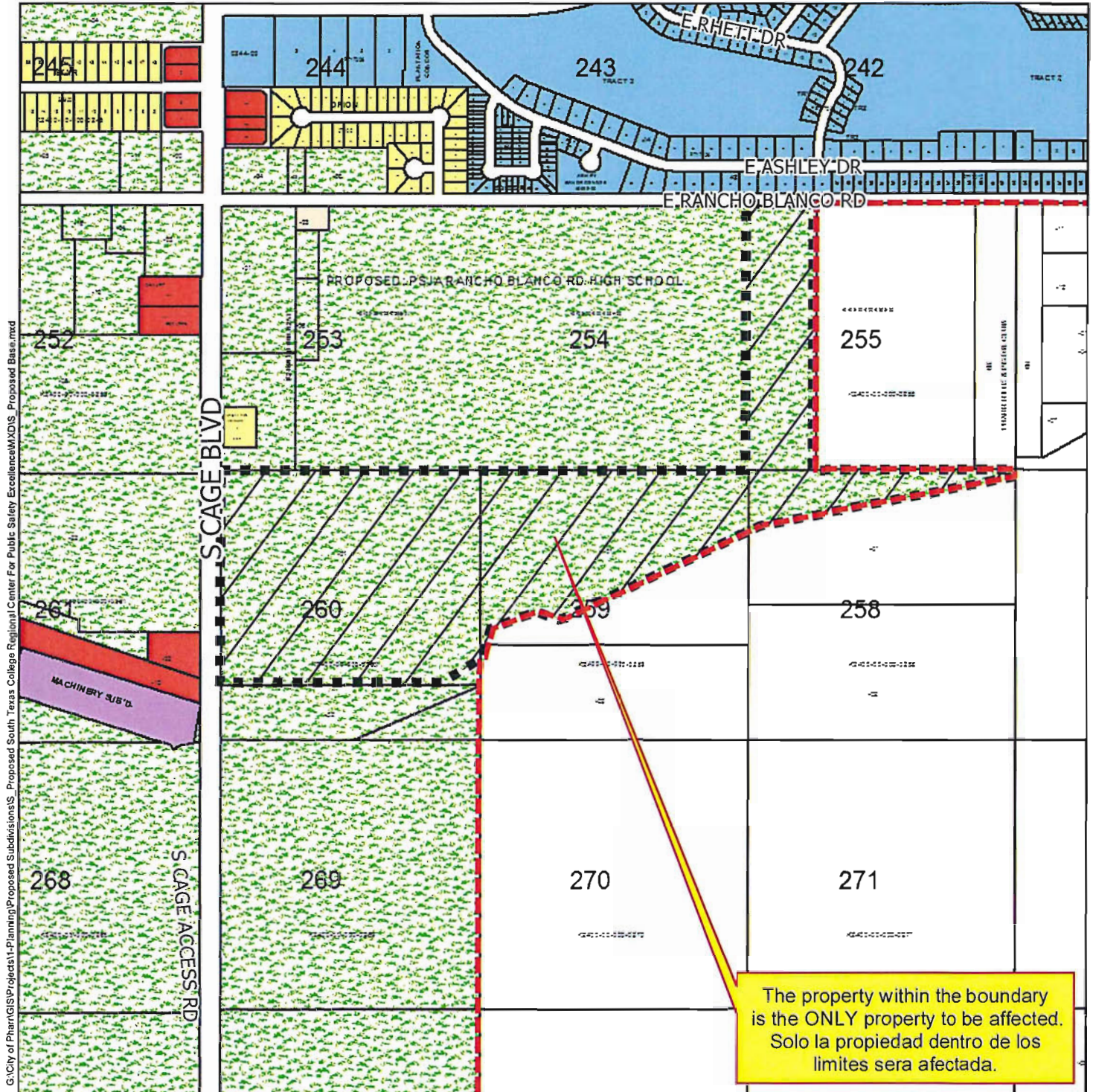
DRAINAGE:

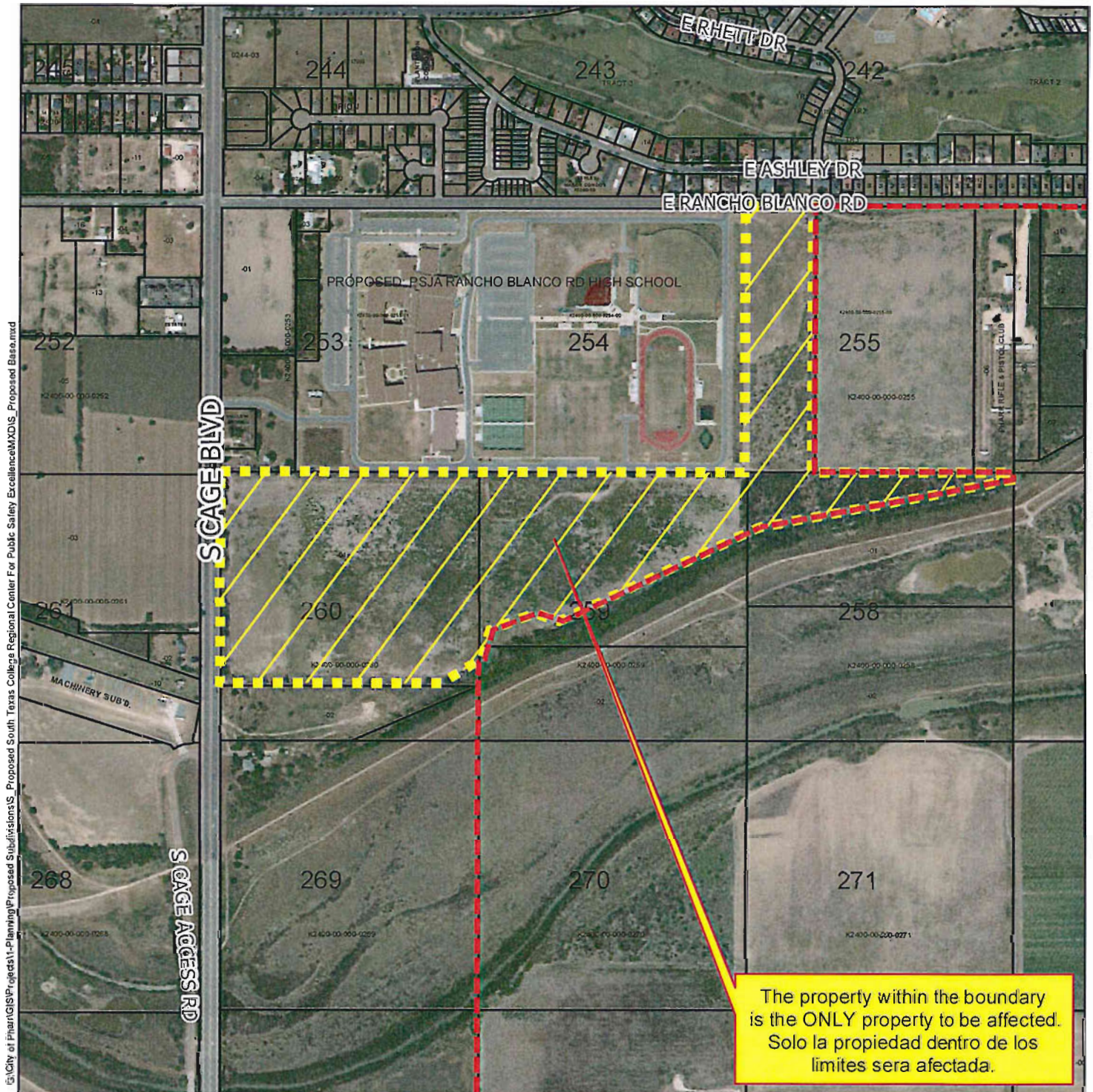
1. Show flood zones on plat layout.
2. Will require discharge permit from TxDot and Connection permit from City on Rancho Blanco.
3. Plat note #15: reword to read "All drainage areas to be maintained by owner".
4. Need approved drainage report.

4. Need approved drainage report.

OTHER:

1. Provide bearings & distances for easements.
2. Verify iron rod just south east of Irma Lee property.
3. Make sure to match what on metes & bounds and plat layout O.R.H.C.T. & D.R.H.C.T.
4. Label the Kelly-Pharr Lots.
5. Remove plat note #9.
6. Plat note #11, need to provide figures.
7. Add: Danny Wylie, for the Planning & Zoning signature block.
8. Change year to 2017, on plat.
9. On location map, show S. Veterans Blvd. ("I" Rd.) and north arrow to be true north.
10. Add plat note: Fire sprinkler protection shall be installed by a Texas license fire protection company with a minimum RME-U License to install the fire sprinkler underground.
11. Add plat note: Erosion and Sediment control during construction shall be in accordance with the current Texas Pollution Discharge Elimination System (TPDES). And delete plat note #12 and 14.
12. Provide correct square feet on metes & bounds and description.
13. Need S.W.P.P.P. with C.N.O.I filed (SWPPP will include entire property owned; but BMP's will only be needed where there is ground disturbance).
14. T.I.A. report will be turned in before second phase of building permit.
15. Note #8 add- "along east side US 281 and south side of E. Rancho Blanco Road.
16. A conditional use permit (C.U.P). will be required for any institutional use.







Pharr Fire – Rescue

118 S Cage Blvd., 3rd Floor

Pharr, Texas 78577

Tel: (956) 402-4400 Fax: (956) 475-3433



Subdivision: STC Regional Center For Public Safety Excellence (Staff Review)

Reviewed By: Felipe Pedraza, Asst. Fire Marshal Date: February 28, 2017

1. All designed waterlines shall be a minimum of eight (8) inch for residential and (8-12) inch in diameter for commercial and (12) inch or better for industrial areas unless fire flow requires larger lines for commercial areas.
2. All designed waterlines shall be looped on a fire department approved water main (Utilities shall be in place including fire hydrants before any construction above the slab)
3. Fire hydrants shall be installed at a maximum of 300 ft. intervals in any mercantile district and every 600 ft. in residential areas and shall be FACTORY YELLOW from the manufacture with a minimum arrangement being so as to have a hydrant available for distribution to hose to any portion of any building in the premises at distances not exceeding 400 ft., but in no case shall hose lengths be greater than 400 ft. The distance shall be measured on a roadway surface meeting the fire department access requirements of 503.1 International Fire Code 2012.
4. All premises where building or portions of buildings are located more than 300 ft. from a main street fire hydrant: system shall be provided with approved on site fire hydrant (s) and water mains capable of supplying adequate fire flow approved by the Fire Officials.
5. Street names shall be provided prior to or during the pre-construction meeting for review and approval. No street name shall be duplicated within the City of Pharr and its E.T.J. Alignment of new streets with existing streets shall take precedence over new street name assignment.
6. During construction, when combustibles are brought on the site in such quantities as deemed hazardous by the Fire Official, access roads and a suitable temporary supply of water acceptable to the Fire Department shall be provided and maintained.
7. \$25.00 fee for each Blue Marker to be affixed on payment by city to indicate location of a fire hydrant. FIRE HYDRANT COLOR MUST BE FACTORY YELLOW FROM MANUFACTURE PRIOR TO INSTALLATION.
8. Contractor testing waterlines shall dispose highly chlorinated water. (Hazardous Waste)
9. Fire lanes must be painted RED: 15 feet on each side of hydrant (total 30 feet)* with lettering at least 3 inches tall. FIRE LANE – TOW AWAY ZONE.
10. Any new subdivision with GATED COMMUNITY SECURITY SYSTEMS must obtain the Fire Department approved Knox Box Switch –Rapid Entry System made by the Knox Company (Phone Number 800-552-5669 Fax 949-623-4647) or an approved fire department siren system before subdivision's final approval of 503.5 in International Fire Code 2012: Where security gates are installed, with a minimum of 20 ft. (6096 mm) clearance shall be maintained and a means for emergency operations shall be provided and maintained as approved by the fire official.
11. Designed fire lanes or roads deemed necessary for fire department access by the fire official shall be established and maintained in an operable condition. 503.1 International Fire Code 2012: All weather surfaces must be in place before any final inspection is approved. Facilities, buildings or portions of buildings hereafter constructed shall be accessible to the department apparatus by a way of an approved fire apparatus access road with an asphalt, or concrete driving surface capable of supporting the imposed load of fire apparatus weighting at least 75,000 pounds.
12. Access road width with a hydrant. Where a fire hydrant is located on a fire apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders.
13. All water valves (hydrant and main) shall be open prior to final inspection.
14. Public utilities personnel must be advised prior to opening and closing existing water valves.
15. Must meet City of Pharr Standards Manual Construction & Development Guide.

Additional Comments:

- ☒ Need to follow all the steps listed above.
- ☒ Need to provide proper scale on the plate drawing and properly space the fire hydrants.
- ☒ Add note 18 to read as follow: "Fire sprinkler protection shall be installed by a Texas license fire protection company with a minimum RME-U License to install the fire sprinkler underground".

Subdivision: STC Regional Center For Public Safety Excellence (Staff Review)
Reviewed By: Felipe Pedraza, Asst. Fire Marshal *[Signature]* Date: February 28, 2017

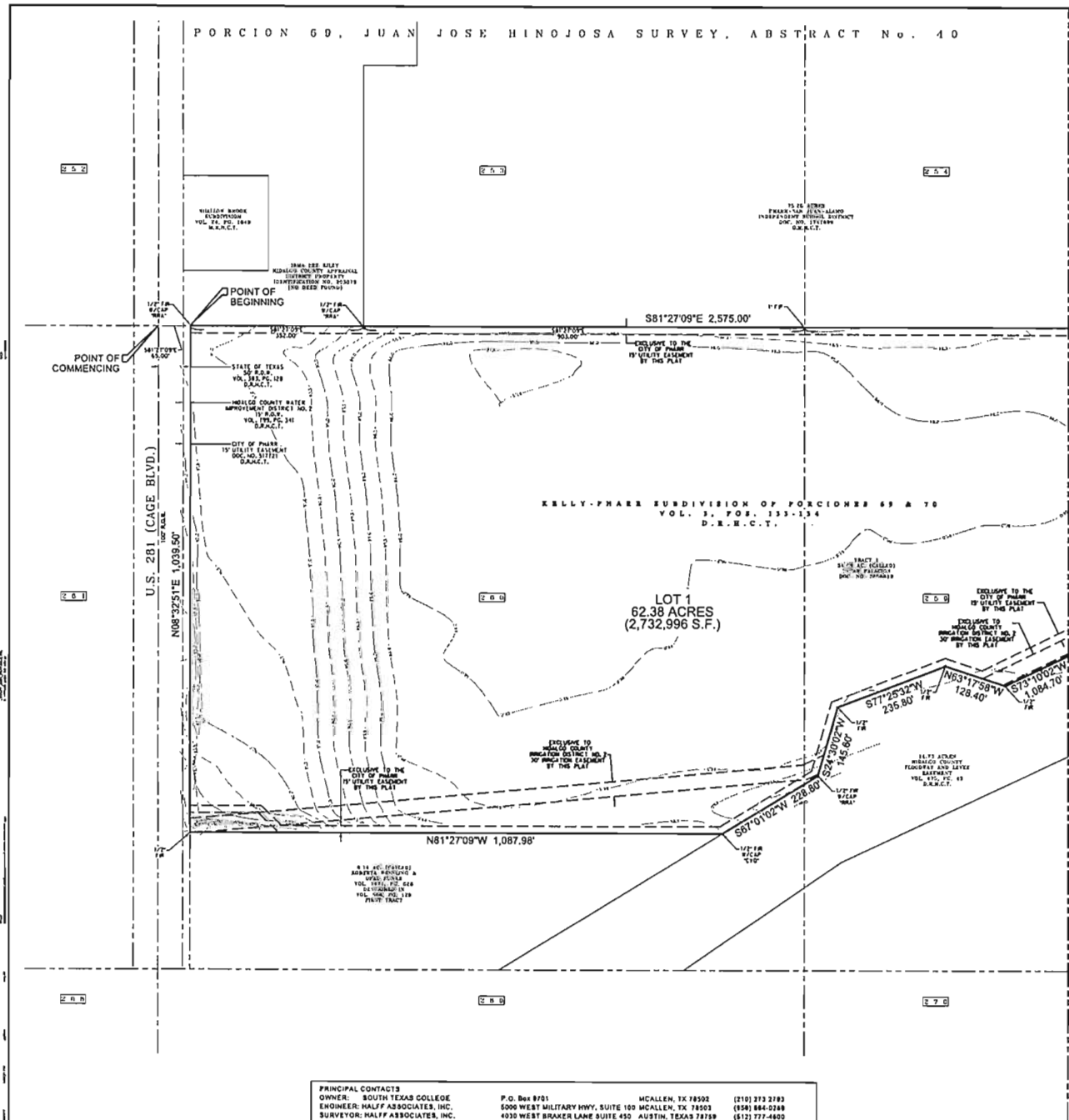
CONTINUE

☒ Fire hydrant shall have a 3 foot clearance radius, with a 15 foot clearance to each side of the fire hydrant from any trees, high growing decoration plants, or shrubs that may obstruct the fire hydrants from view.

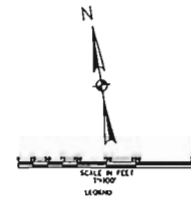
☒ Access road shall be a minimum of 26 feet wide for aerial fire apparatus, Appendix D, Section D105.2. This access is also included for the proposed lots.

☐ _____

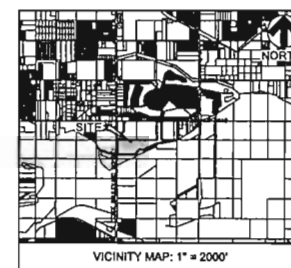
PORCION 60, JUAN JOSE HINOJOSA SURVEY, ABSTRACT No. 40



MATCH LINE SHEET 2



LEGEND
 FM - FLOOD PROOF
 D - 18\"/>



METES AND BOUNDS

BEING a 62.38 acre tract of land situated in the JUAN JOSE HINOJOSA SURVEY, ABSTRACT NUMBER 40, City of Pharr, Hidalgo County, Texas, and being part of Lots 255, 258 and 260, KELLY-PHARR SUBDIVISION OF PORCIONES 69 AND 70, a larger subdivision according to the plat of record recorded in Volume 3, Page 1131-14 of the Public Records of Hidalgo County, Texas (D.H.C.T.), said tract also being all of a 64.06 acre tract of land described in deed to Cesar Pharras as recorded in Instrument Number, 265818, D.H.C.T., and being a portion of a 64.06 acre tract of land described in deed to Pharras Juan-José Independent School District as recorded in Instrument Number 1741899, D.H.C.T., and being more particularly described by metes and bounds as follows:

COMMENCING at the northeast corner of said Lot 260 same being the southeast corner of Lot 293 of said KELLY-PHARR SUBDIVISION OF PORCIONES 69 AND 70;

THENCE S81°27'09\"/>

GENERAL NOTES:

- The bearings shown herein are referenced to the Texas Coordinate System of 1983, South Zone (TSS).
- RECORDING INFORMATION: City of Pharr, Instrument No. 23, Located on the west side of S. Cape Blvd. (N1989077.043, 6150458.209), Elevation = 90.13 feet (NAVD 83).
- By graphically stating the parcel described herein lies within Zone "H" and Zone "M" as indicated on the Pharr Hazard Risk Map for Hidalgo County, Texas (Unincorporated Areas), Community Profile No. 483334-0424, revised November 15, 1992, as published by the Federal Emergency Management Agency, Zone "H" is defined as areas subject to 100-year flooding with average depth of less than one (1) foot or where the contributing drainage area is less than one square mile, or areas protected by levees from the base flood. Zone "M" is defined as "Areas of 100-year shallow flooding where depths are between one (1) and three (3) feet; base flood elevation are shown, but no flood hazard factors are determined." The surveyor used the above referenced flood plain information for the determination of flood depth and flood factors. Flood hazard information has or has not been published by the Federal Emergency Management Agency or some other source since the information last reviewed.
- Minimum building setback lines shall be per City Zoning and Ordinances.
- Minimum Brian floor elevation is to be 5.0'.
- No building permitted over any easement.
- All areas that have been or are to be used with a cap stamped "HALF" unless otherwise noted.
- If a detest with ADA ramps and landings with no obstructions will be required at building grade elevations.
- If a floodway index exceeds 15, levee rehabilitation will be required.
- Landscaping as per City of Pharr Ordinance.
- Storm water detention is required for this property. The engineer of record for this subdivision shall determine that as some of approximately _____ acres and a volume of approximately _____ acre feet will be required for this use. This is an estimate only and detailed analysis may reveal different requirements. The building permit shall be issued for this planned property until a storm water detention system design has been approved by the City of Pharr for this commercial development.
- Storm water pollution prevention plan will be required at time of subdivision construction.
- Additional fire protection may be required during the plan review phase in order to provide any additional fire protection requirement.
- Sites will adhere to all TPDES Guidelines.
- Owners to maintain detention areas and drainage ditches.
- If detention ponds/retention tanks or deeper, will require fences.
- Enforcement of all plat rules and regulations shall be the responsibility of the agency or entity to whom the dedication is granted.

**PRELIMINARY PLAT OF
 SOUTH TEXAS COLLEGE
 REGIONAL CENTER FOR
 PUBLIC SAFETY EXCELLENCE
 SUBDIVISION**

62.38 ACRES (2,732,996 S.F.)
 OUT OF
 LOTS 255, 258, 259 & 260
 KELLY-PHARR SUBDIVISION OF
 PORCIONES 69 & 70

SITUATED IN THE
 CITY OF PHARR, HIDALGO, TEXAS
 FOR
 SOUTH TEXAS COLLEGE

BY
HALFF

4000 WEST BRANLEY LANE, SUITE 400
 HOUSTON, TEXAS 77056-1771
 TEL: 713-866-1000 FAX: 713-866-1001

PRINCIPAL CONTACTS
 OWNER: SOUTH TEXAS COLLEGE
 ENGINEER: HALFF & ASSOCIATES, INC.
 SURVEYOR: HALFF & ASSOCIATES, INC.

P.O. Box 8701
 6000 WEST MILITARY HWY., SUITE 100
 4030 WEST BRANLEY LANE, SUITE 400

MCALLEN, TX 78502
 MCALLEN, TX 78503
 AUSTIN, TEXAS 78758

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